

March 26, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 1, LPC-24-05386

239 Dean Street – Boerum Hill Historic District
Borough of Brooklyn

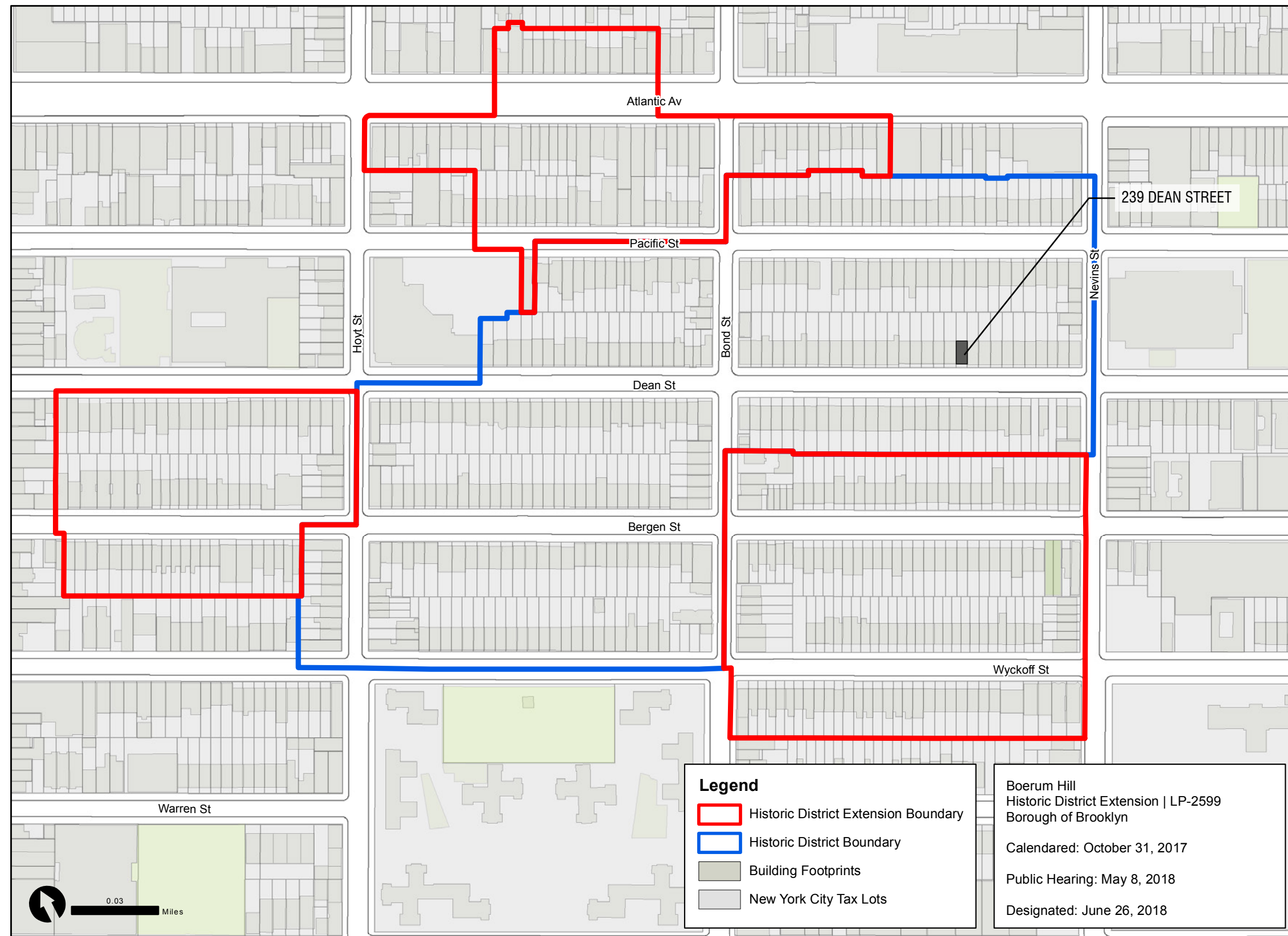
To testify virtually, please join Zoom

Webinar ID: 816 5096 3710

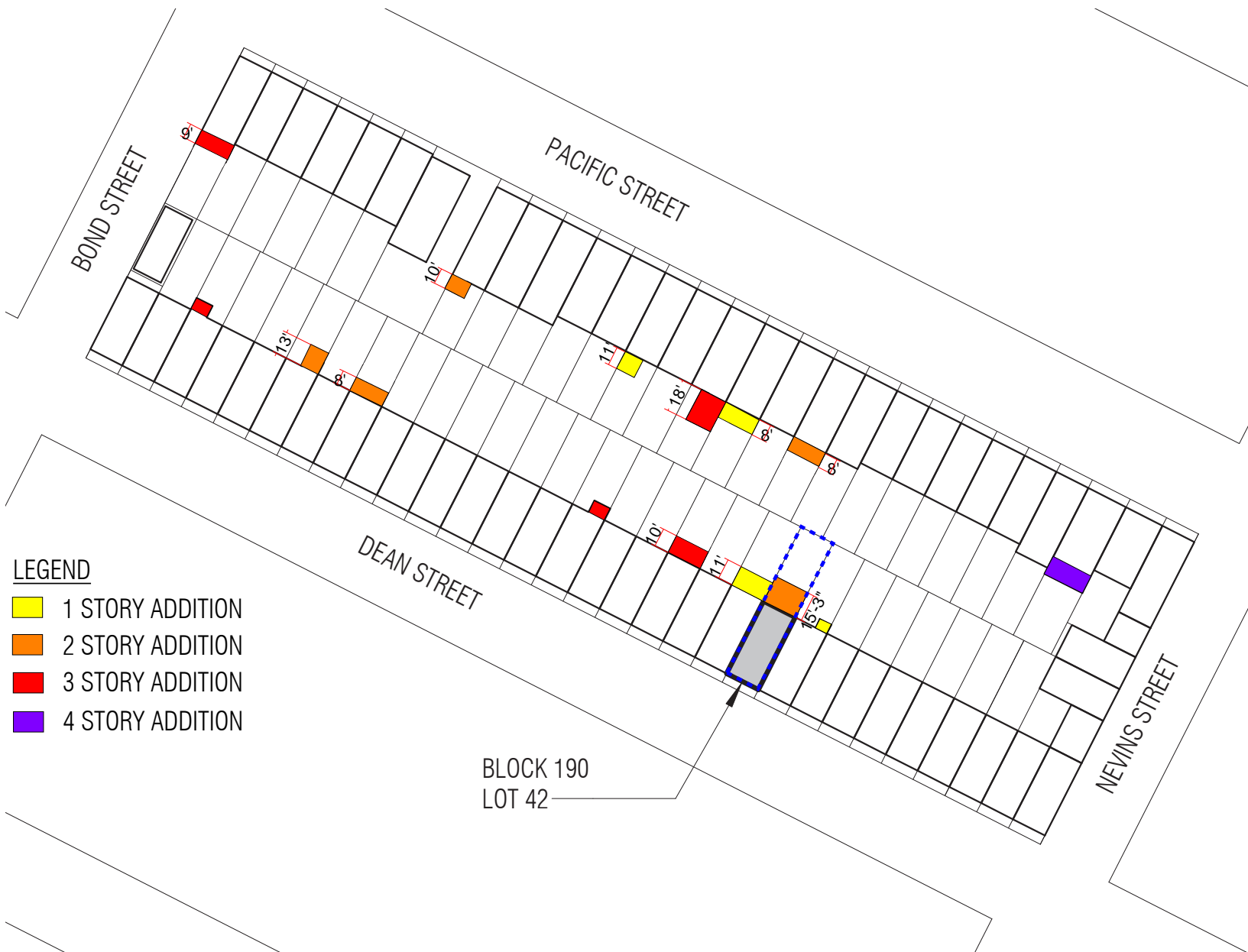
Passcode: 829592

By Phone: 1 646-558-8656 US (New
York) 877-853-5257 (Toll free) US
888 475 4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.



Graphic Source: Map PLUTO, Edition 18v1, Author: New York City Landmarks Preservation Commission, LCR Date: 1.2.2019



- LEGEND**
- 1 STORY ADDITION
 - 2 STORY ADDITION
 - 3 STORY ADDITION
 - 4 STORY ADDITION

BLOCK 190
LOT 42



239 DEAN STREET



1. VIEW TOWARD WEST NEIGHBORS



2. MOCK-UP: VIEW TOWARD WEST



3. MOCK-UP VIEW



4. EXISTING REAR YARD: VIEW TOWARD

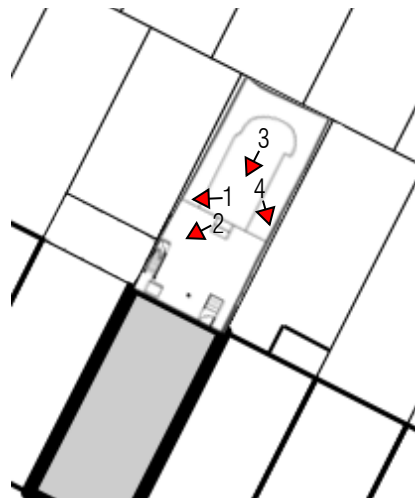


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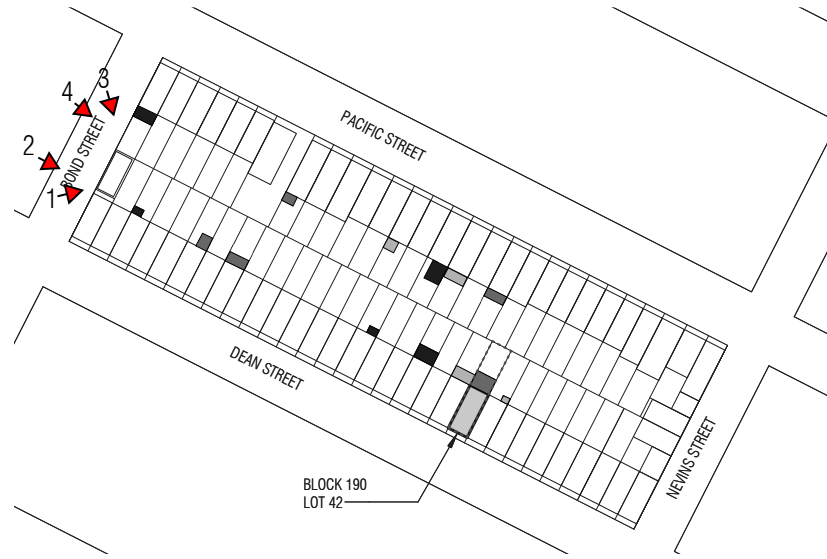


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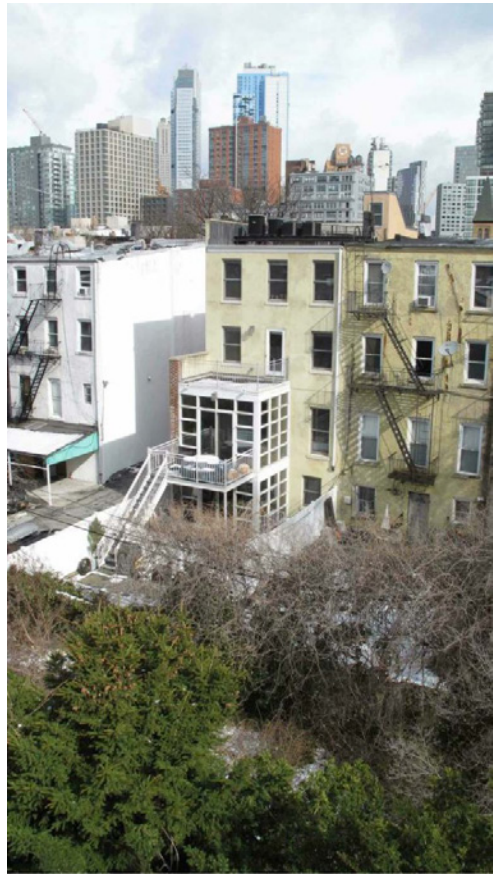


1. VIEW FROM BOND STREET - REAR YARD NOT VISIBLE 2. VIEW FROM BOND STREET - REAR YARD NOT VISIBLE



3. VIEW FROM BOND STREET - REAR YARD NOT VISIBLE

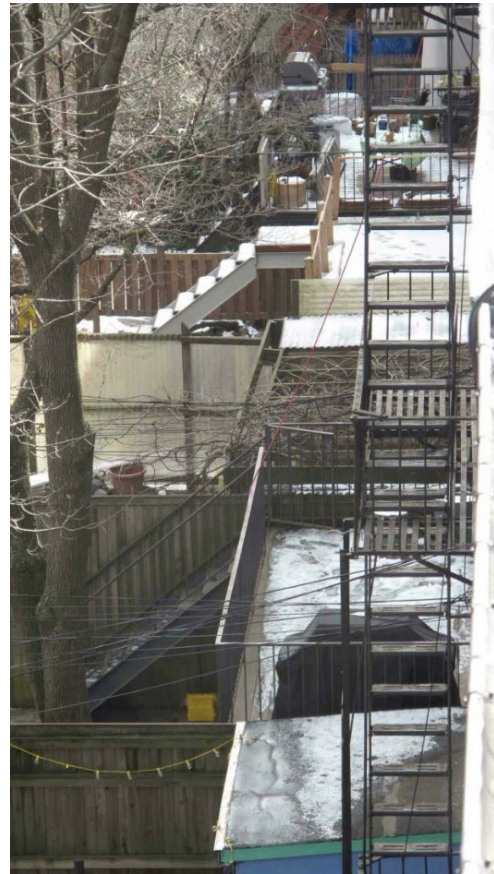
4. MOCK-UP FROM BOND STREET - ADDITION NOT VISIBLE



1.



2.



3.



4.

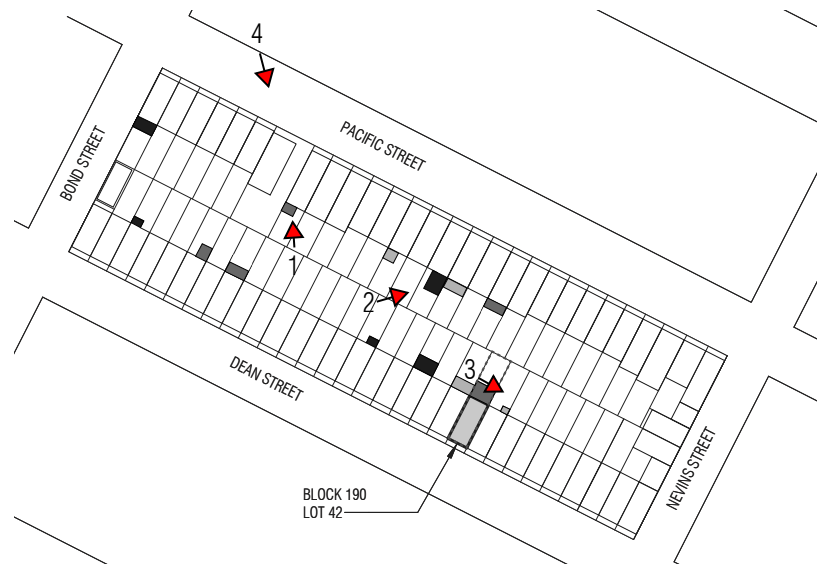


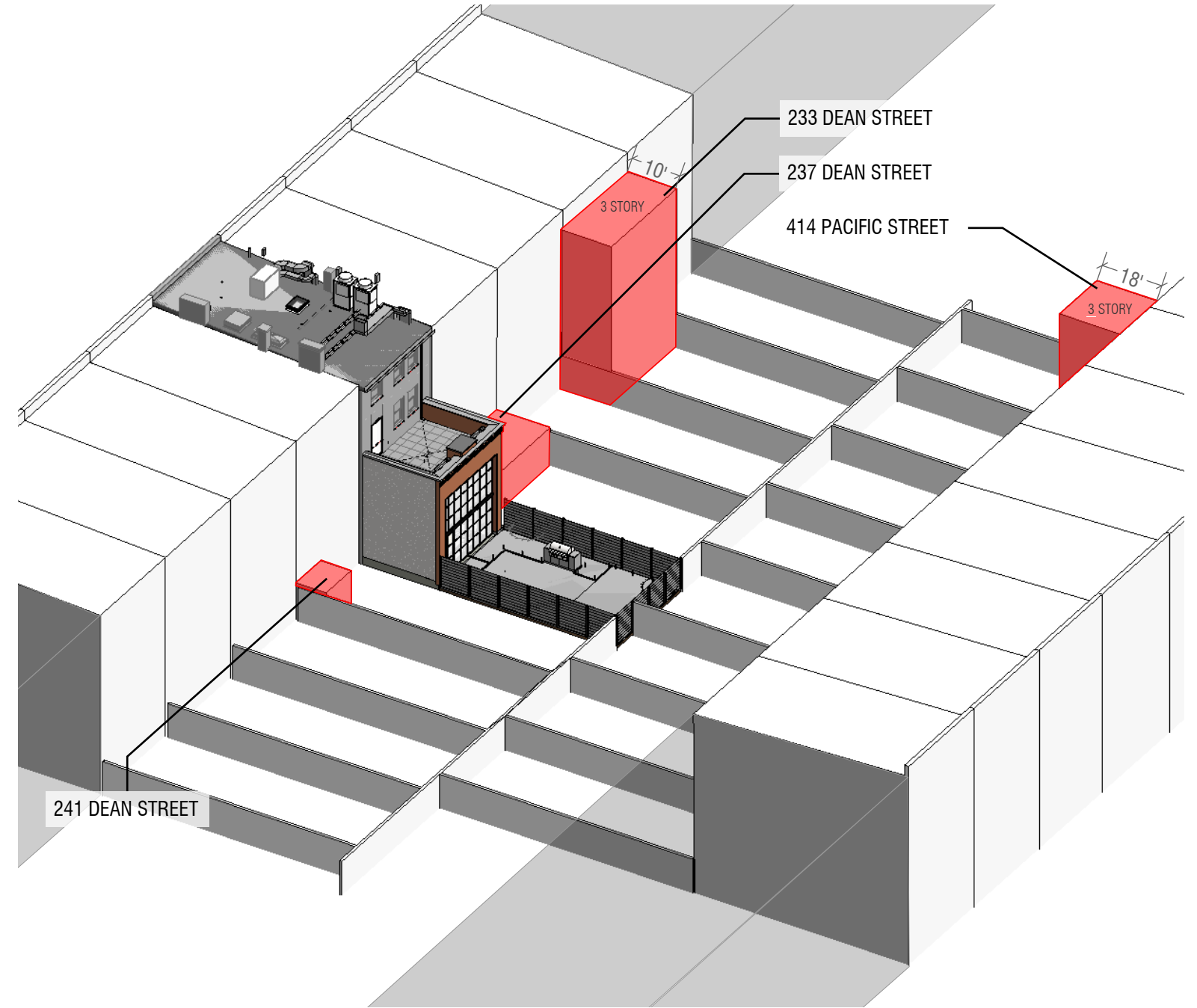
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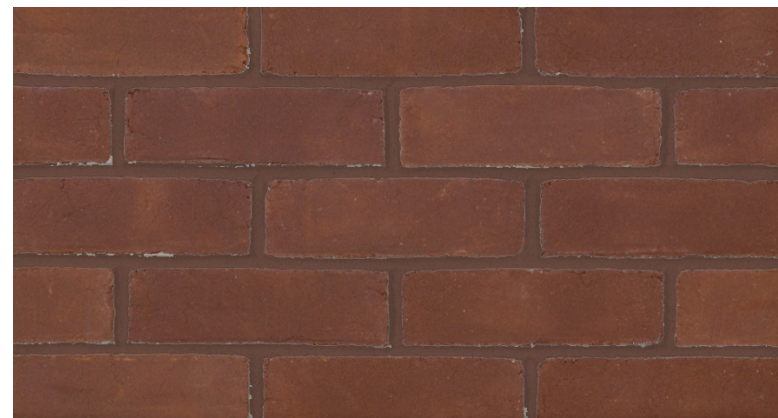
410 PACIFIC ST 414 PACIFIC ST 416 PACIFIC ST 420 PACIFIC ST



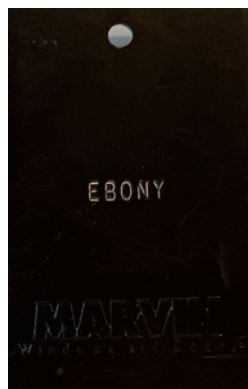
233 DEAN STREET

239 DEAN STREET





GLEN-GERY CUSHWA SERIES MOLDED BRICK
52-DD WITH GROUT IN QUARRY RED



MARVIN MODERN WINDOW AND DOOR
FINISH IN EBONY



PROPOSED ADDITION RENDERING



STUCCO FINISH ON SIDES TO MATCH
EXISTING REAR FACADE



STYLE OF PROPOSED FENCING



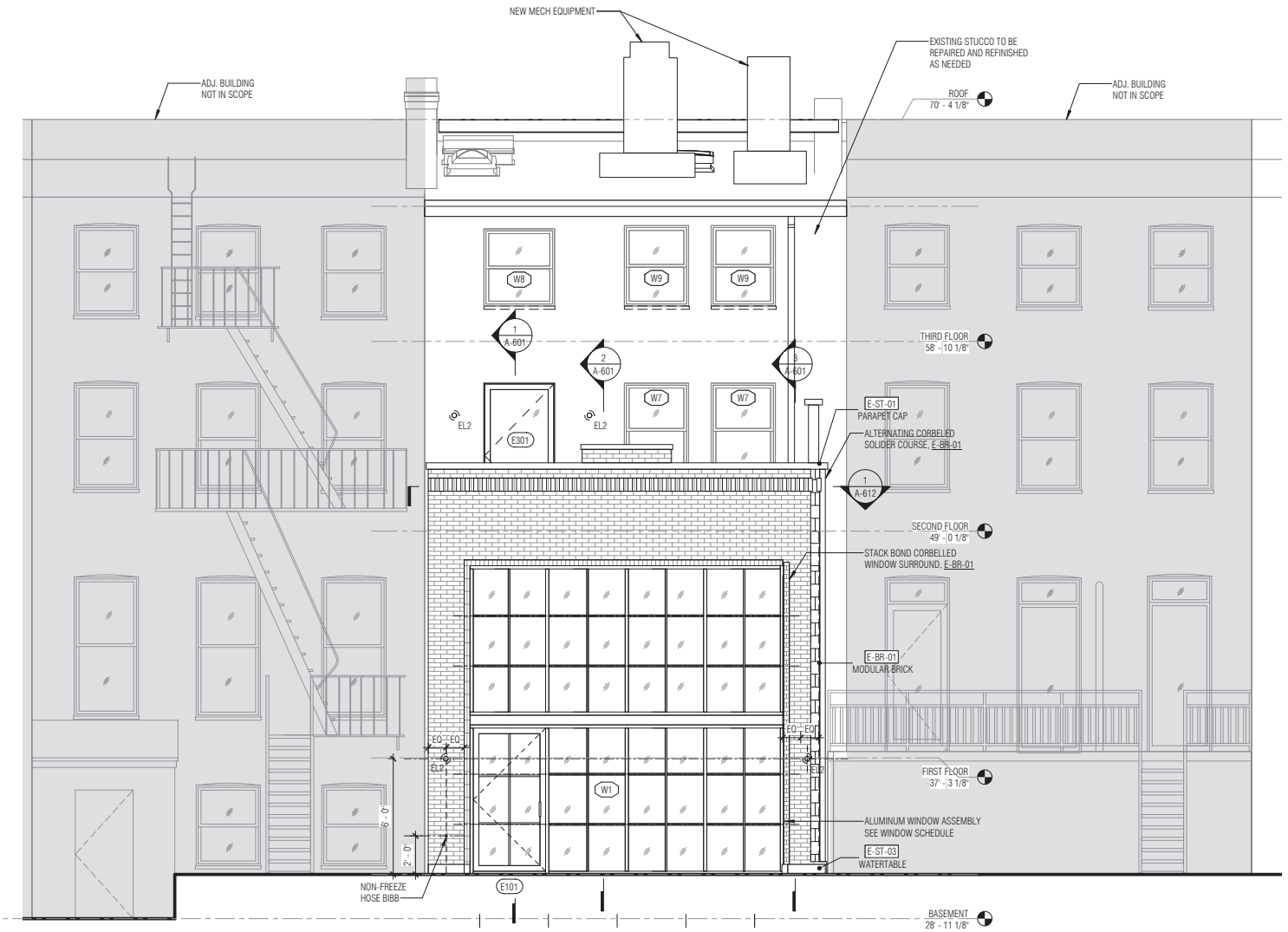
PROPOSED BRICK, GROUT AND WINDOW FINISH



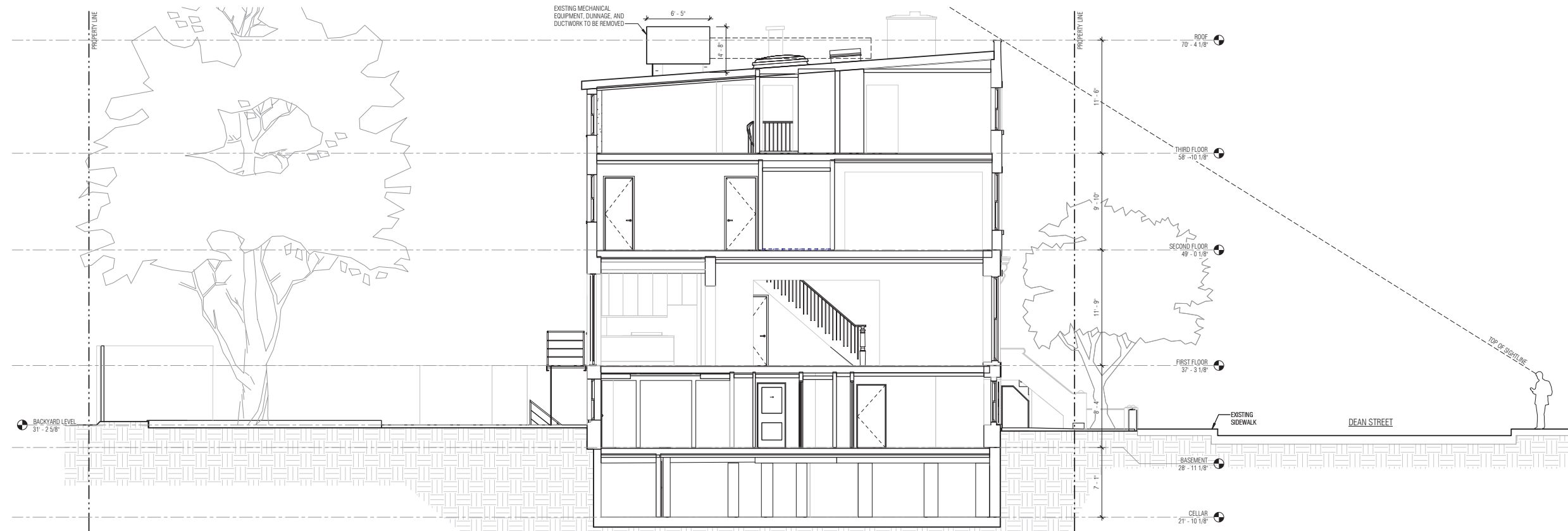
12 x 24 BLUESTONE PAVERS



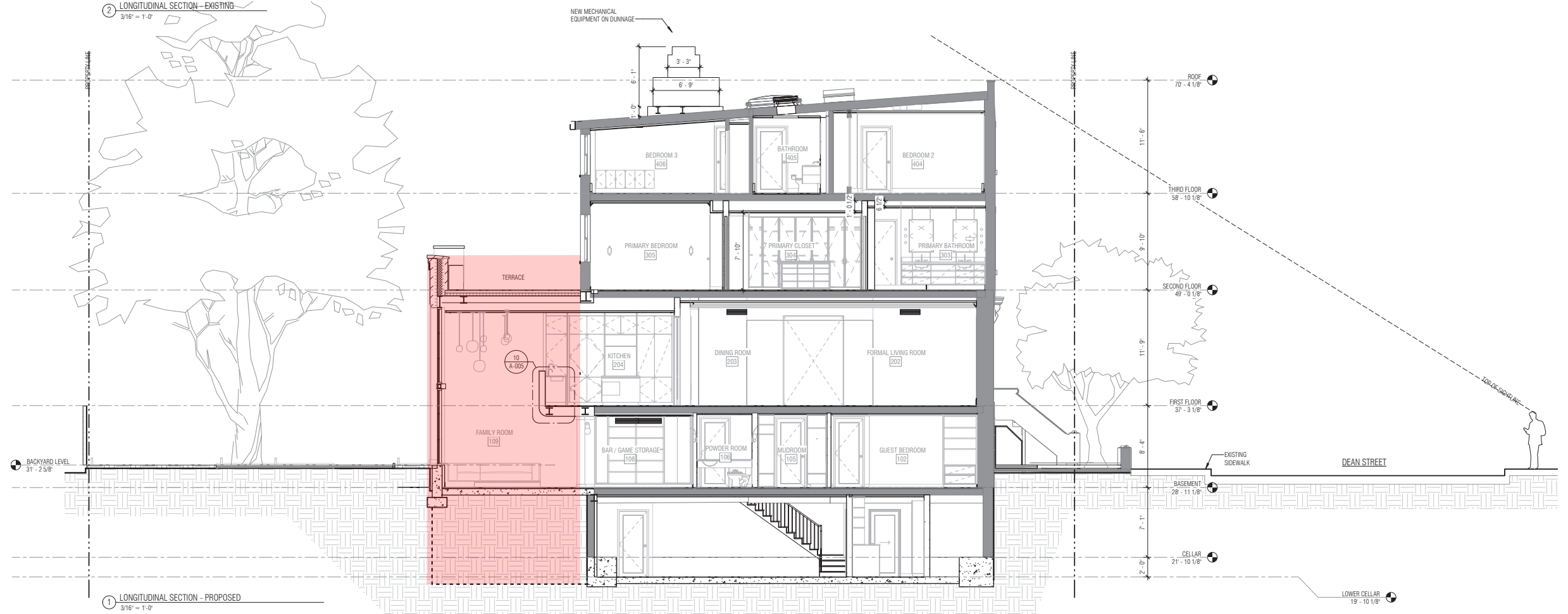
NORTH ELEVATION - DEMO



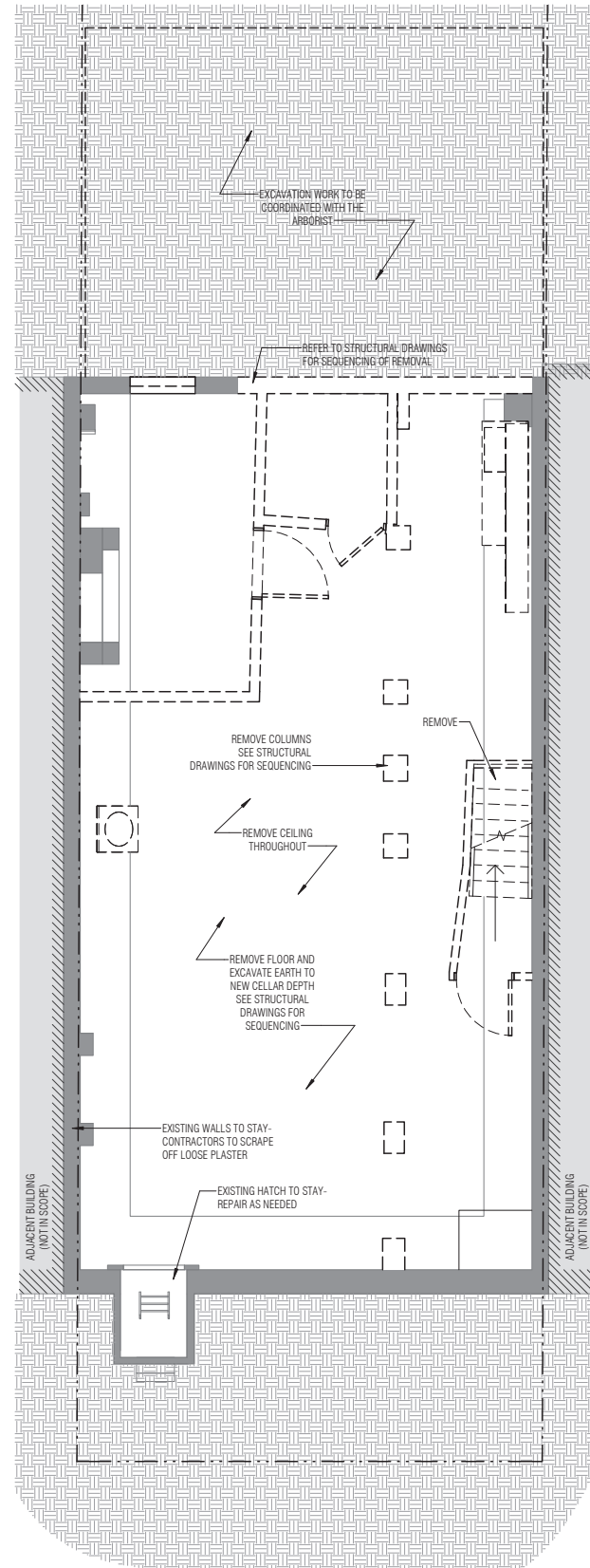
NORTH ELEVATION - PROPOSED



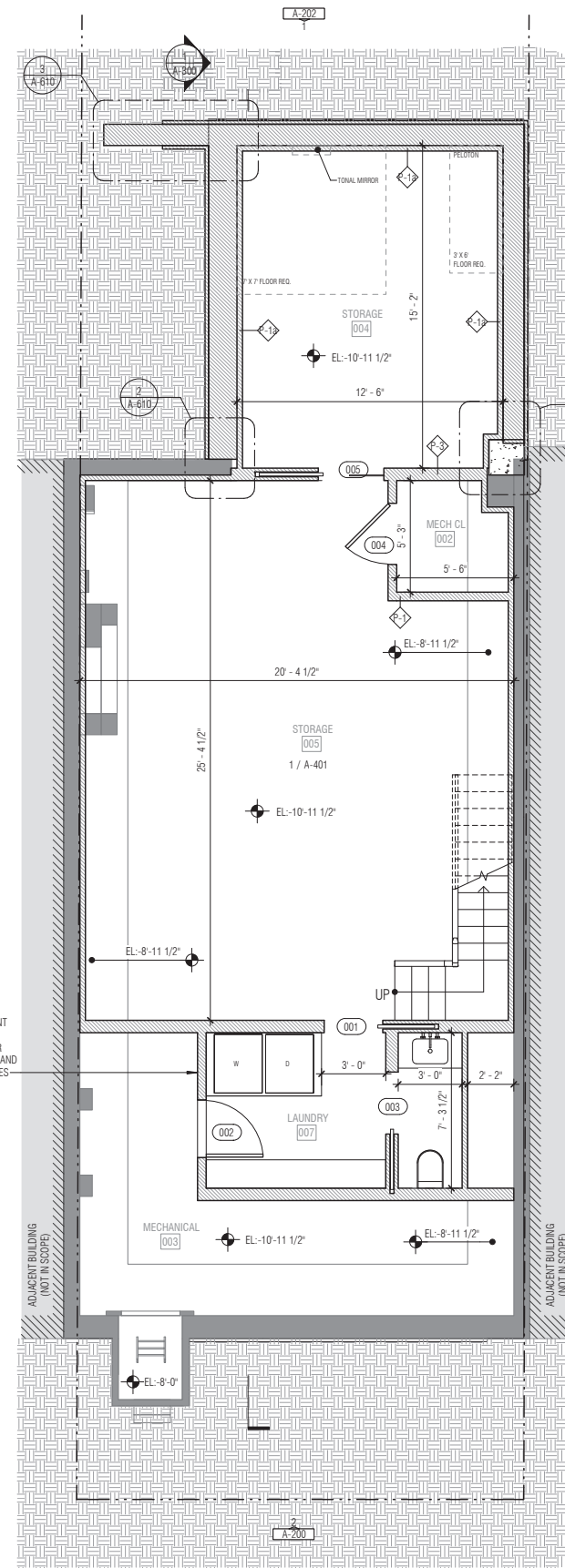
2 LONGITUDINAL SECTION - EXISTING
3/16" = 1'-0"



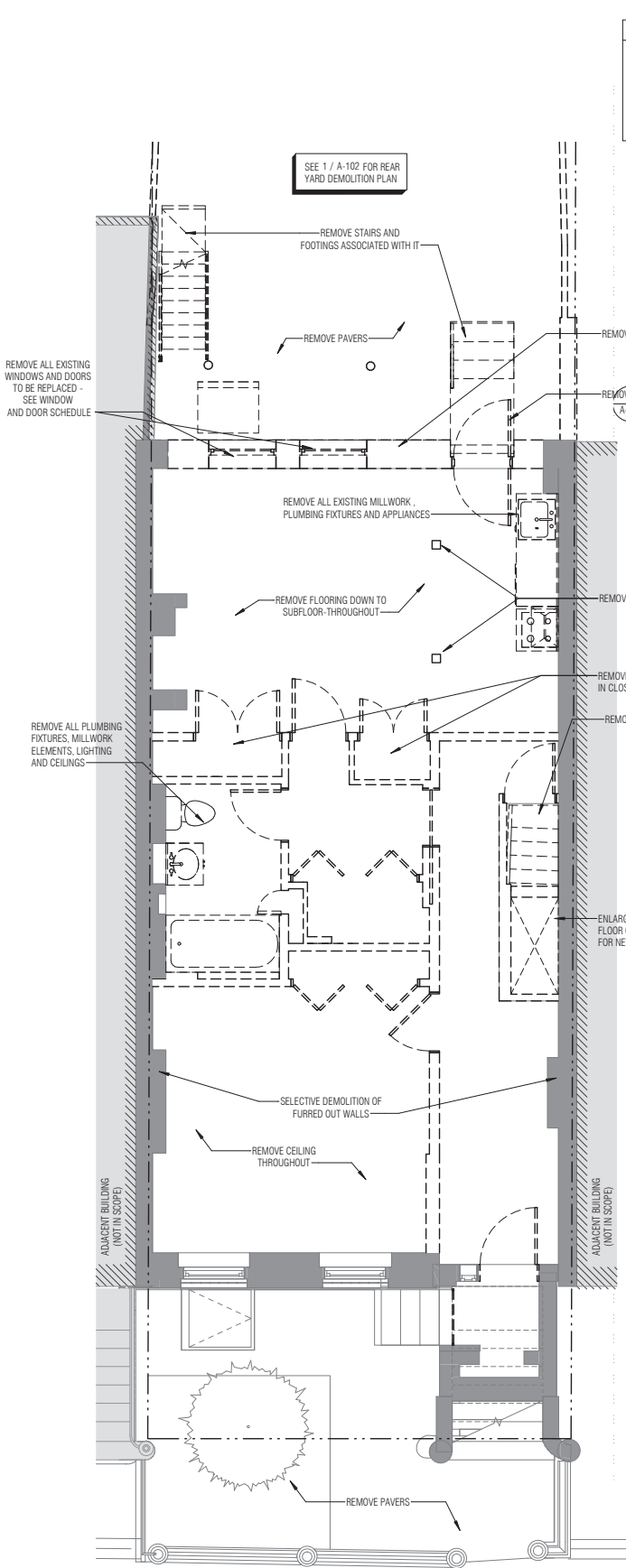
1 LONGITUDINAL SECTION - PROPOSED
3/16" = 1'-0"



CELLAR PLAN - DEMO

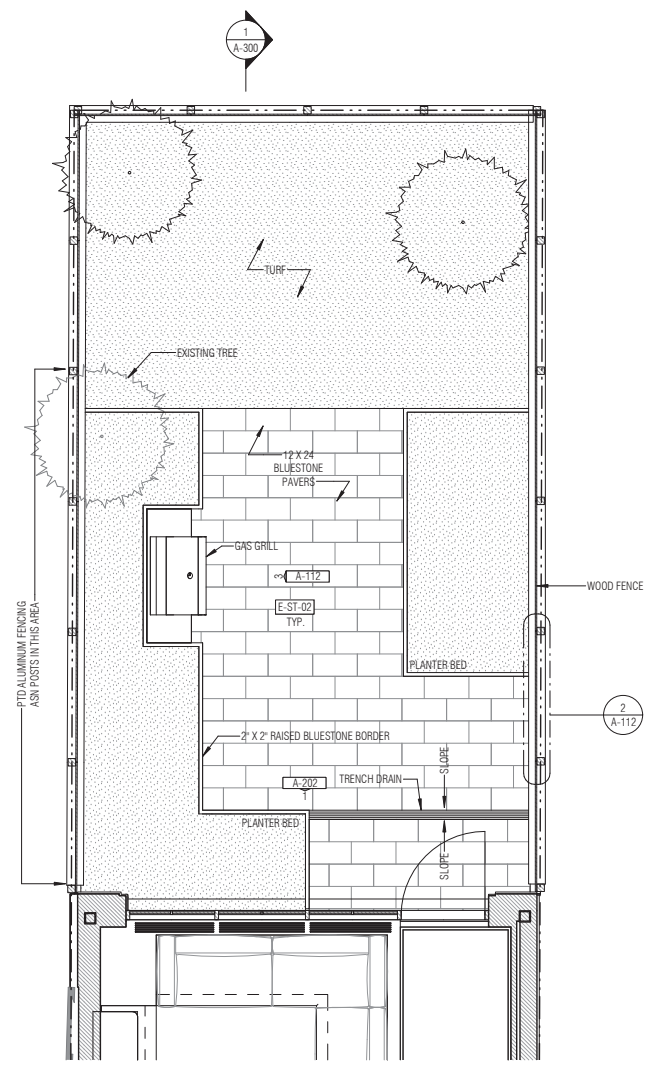
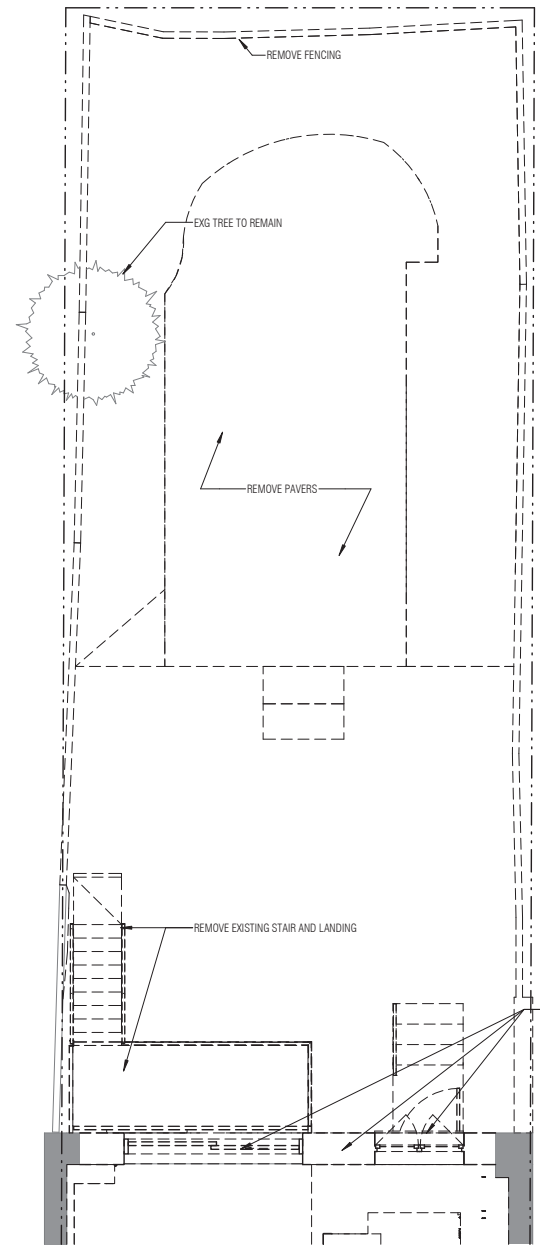
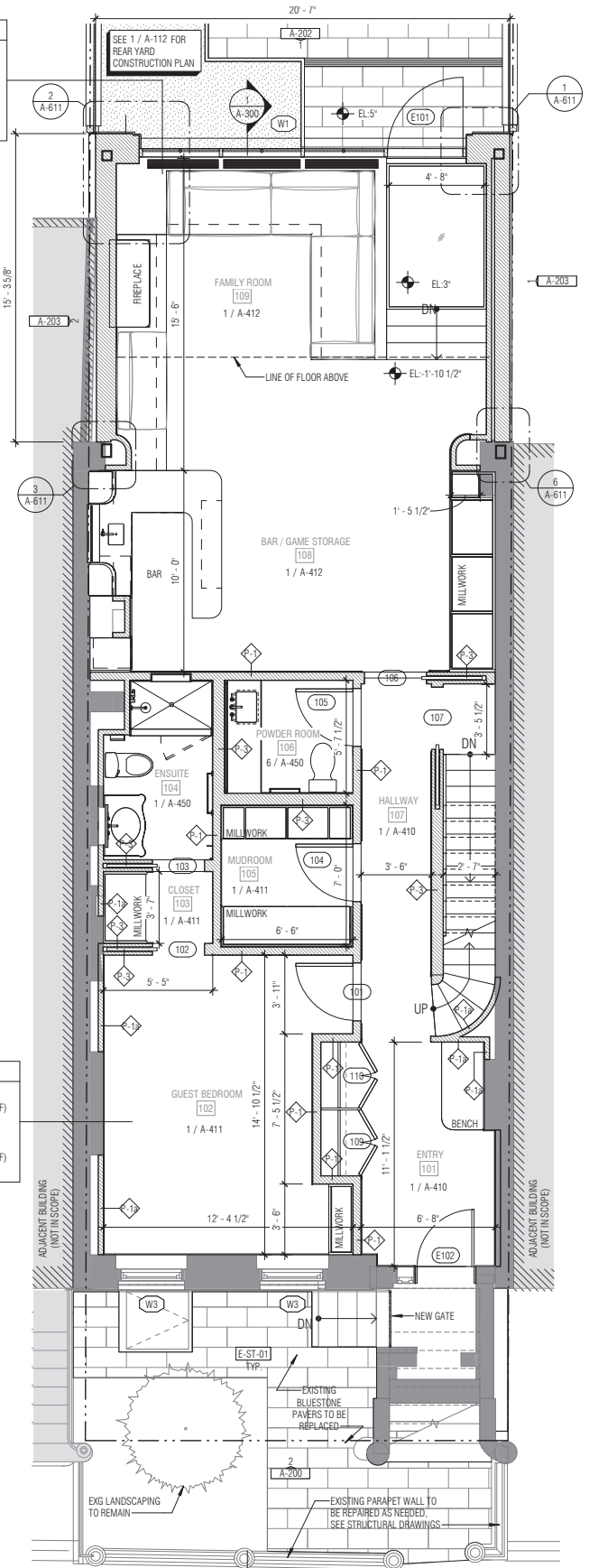


CELLAR PLAN - PROPOSED



FAMILY ROOM - 109		
LIGHT		
RM. AREA (SF)	10% REOD (SF)	PROPOSED (SF)
253 SF	25 SF	219.6
VENTILATION		
RM. AREA (SF)	5% REOD (SF)	PROPOSED (SF)
253 SF	13 SF	27.7

GUEST BEDROOM - 102		
LIGHT		
RM. AREA (SF)	10% REOD (SF)	PROPOSED (SF)
170 SF	17 SF	17.6
VENTILATION		
RM. AREA (SF)	5% REOD (SF)	PROPOSED (SF)
170 SF	8 SF	10.6

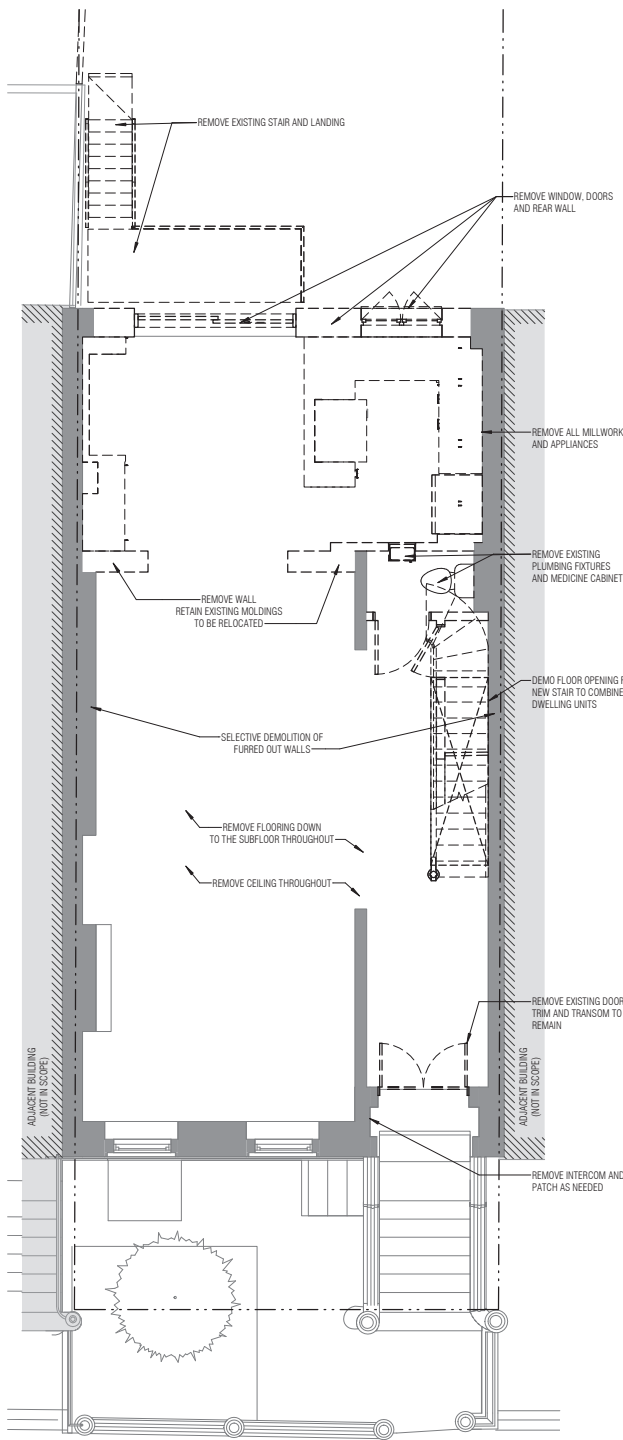


BASEMENT PLAN - DEMO

BASEMENT PLAN - PROPOSED

REAR YARD PLAN - DEMO

REAR YARD PLAN - PROPOSED



KITCHEN - 204

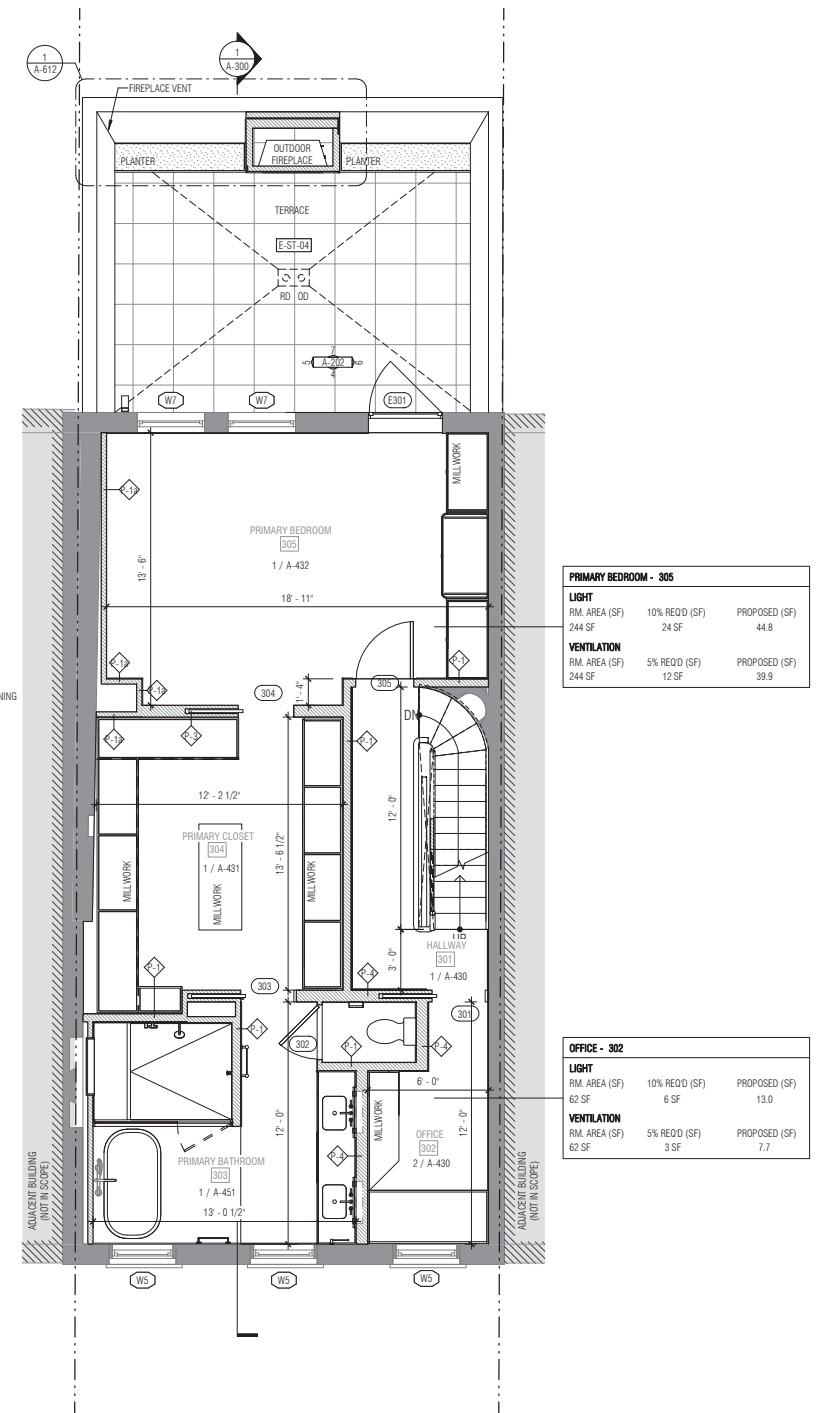
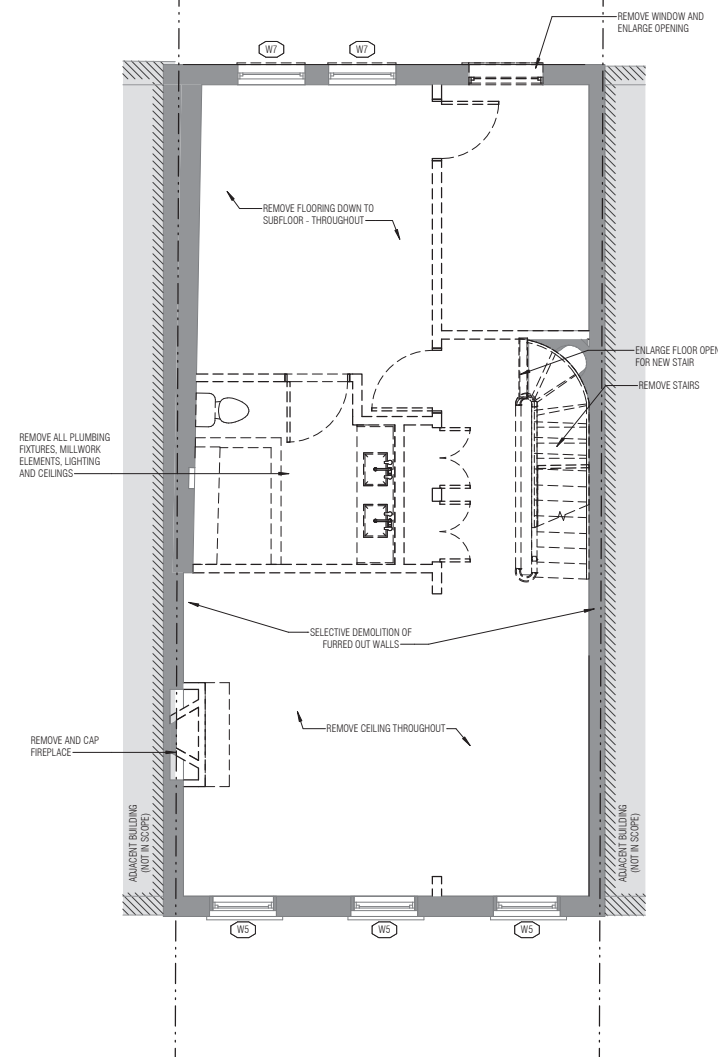
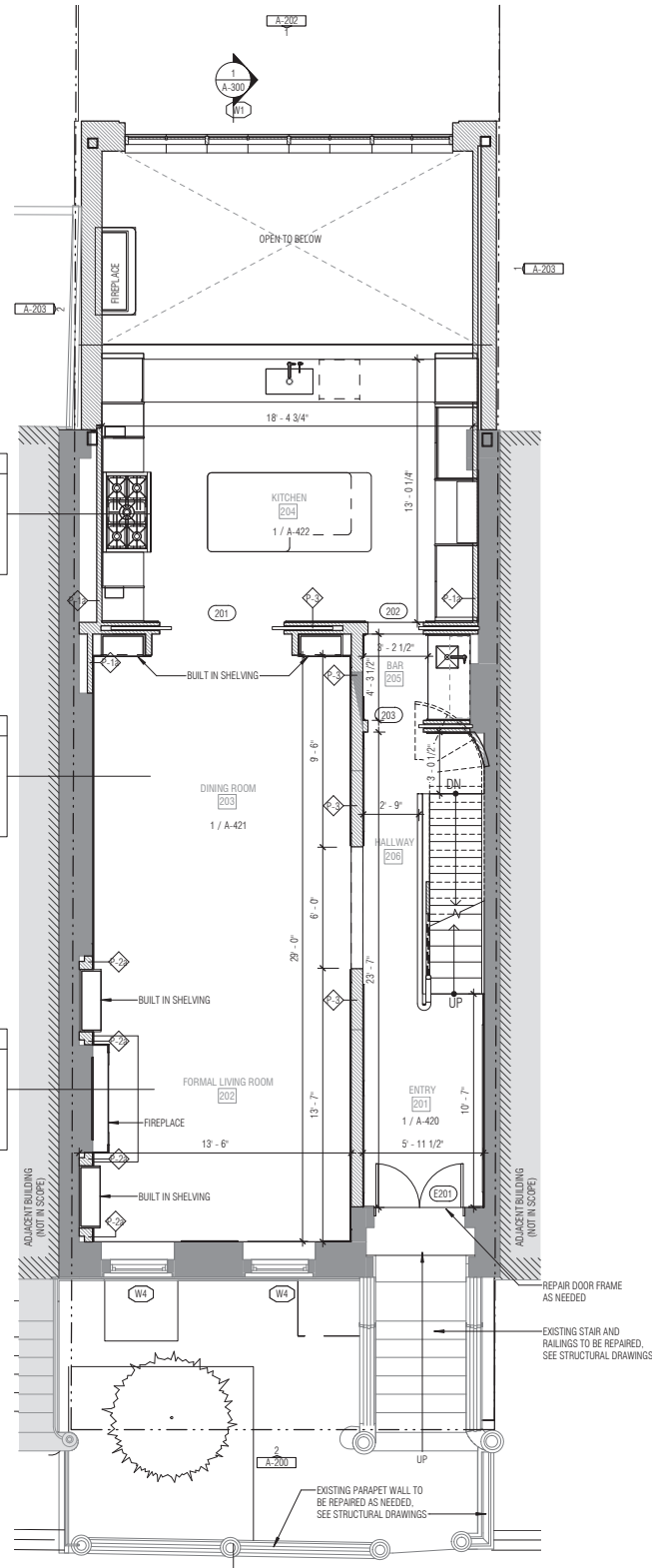
LIGHT	RM. AREA (SF)	10% REOD (SF)	PROPOSED (SF)
	241 SF	24 SF	219.6
VENTILATION	RM. AREA (SF)	5% REOD (SF)	PROPOSED (SF)
	241 SF	12 SF	22.7

DINING ROOM - 203

LIGHT	RM. AREA (SF)	10% REOD (SF)	PROPOSED (SF)
	135 SF	13 SF	36.6
VENTILATION	RM. AREA (SF)	5% REOD (SF)	PROPOSED (SF)
	135 SF	7 SF	21.4

FORMAL LIVING ROOM - 202

LIGHT	RM. AREA (SF)	10% REOD (SF)	PROPOSED (SF)
	251 SF	25 SF	36.6
VENTILATION	RM. AREA (SF)	5% REOD (SF)	PROPOSED (SF)
	251 SF	13 SF	21.4



PRIMARY BEDROOM - 305

LIGHT	RM. AREA (SF)	10% REOD (SF)	PROPOSED (SF)
	244 SF	24 SF	44.8
VENTILATION	RM. AREA (SF)	5% REOD (SF)	PROPOSED (SF)
	244 SF	12 SF	39.9

OFFICE - 302

LIGHT	RM. AREA (SF)	10% REOD (SF)	PROPOSED (SF)
	62 SF	6 SF	13.0
VENTILATION	RM. AREA (SF)	5% REOD (SF)	PROPOSED (SF)
	62 SF	3 SF	7.7

FIRST FL PLAN - DEMO

FIRST FL PLAN - PROPOSED

SECOND FL PLAN - DEMO

SECOND FL PLAN - PROPOSED

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