

April 9, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 13, LPC-24-05494

19 Circle Road – Douglaston Historic District Borough of Queens

To testify virtually, please join Zoom

Webinar ID: 835 5784 7531

Passcode: 865955

By Phone: 1 646-558-8656 US (New
York) 877-853-5257 (Toll free) US
888 475 4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

April 4, 2024

19 Circle Rd., Queens *Douglaston Historic District*

Legalize the replacement of retaining wall in front of garage without LPC permit



Current conditions

Location



The property is located in the Douglas Manor Historic District.

Graphic Source: Map PLUTO, Edition 18v1. Author: New York City Landmarks Preservation Commission, LCR Date: 1/29/2019

Streetscape Context



Street view of property of 19 Circle Road.

Historic Conditions



"Tax" Department Photograph, ca. 1940



Google Street Photo

Work In Progress

Property is in the process of erecting a 5 ft. retaining wall due to erosion and unsafe conditions.



Work In Progress



1-Retaining wall is holding back a partially built retaining wall and mostly soil.

2The exposed dirt on the old retaining wall (upper left corner) will be replaced with bricks of similar design and (LPC approved) mortar.



Retaining wall is holding back soil. Per the architectural design a wrought iron railing with bars will be installed on top of the retaining wall.



Architectural Design

**19 CIRCLE RD,
QUEENS, NY 11363**

SCOPE OF WORK:

APPLICATION HEREBY FILED FOR RETAINING WALL AT FRONT YARD TO B-LARGE DRIVEWAY. NO CHANGE TO USE, EGRESS OR OCCUPANCY.

DRAWING INDEX:

PG.#	DWG.#	DRAWING TITLE
1	G-100	PLOT PLAN, MAPS AND NOTES
2	DMA-100	DEMOLITION PLAN, SECTION & DETAIL
3	A-100	CONSTRUCTION PLANS AND NOTES

ZONING DATA:

ADDRESS: 19 CIRCLE RD. QUEENS, NY 11363
 BLOCK: 8885 LOT: 73
 ZONE: R1-2 MAP: 114
 OCCUP. CLASS: RESIDENTIAL (PRIOR 1986)
 CONST. CLASS: 4-FRAME STRUCTURAL (PRIOR 1986)
 USE GROUP: 1
 C.E.#: 22762



PLOT PLAN
SCALE 1/8" = 1'-0"

GENERAL NOTES:

- THESE PLANS ARE TO BE USED IN CONJUNCTION WITH THE OUTLINE SPECIFICATIONS, WHEN PROVIDED.
- THE FLOOR PLANS SHOWN SHALL BE AS A MINIMUM RESIDUES OF 1" TO CLEAR ROAD. QUEENS, NY 11363. THE PROPERTY IS LOCATED IN R-1C2 RESIDENTIAL ZONING DISTRICT. MAP #114, AS PER THE NYC ZONING RESOLUTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH NYC STATE AND LOCAL BUILDING CODES AND REGULATIONS, AS PER THE NYC ADMINISTRATIVE CODE BOOK SECTION 24-09-A.1.3. BOTH THE NYC BUILDING CODE BOOKS & THE NYC OLD CODES-RESCAN ONLY BE USED IF THE BUILDING WAS BUILT IN ACCORDANCE WITH THESE CODES. HOWEVER, THE 2006 VERSIONS OF THE PLUMBING, MECHANICAL, P.E. & FUEL GAS CODES SHALL APPLY.
- THE GENERAL CONTRACTOR AND ALL HIS SUBCONTRACTORS MUST COMPLY WITH ALL BUILDING RULES AND REGULATIONS AT ALL TIMES.
- THE DEMOLITION OF ALL PARTITIONS AND FINISHING OF THE INTERIOR SHALL CONFORM WITH THE NYC BUILDING CODE BOOK.
- ELECTRIC DEMOLITION WORK TO CONFORM TO THE NATIONAL ELECTRICAL CODE (NEC) AND THE NYC ELECTRICAL CODE (NYC E.C.C.).
- ALL EXPOSED HOT WATER & COLD WATER PIPING TO BE CAPPED TO WALLS.
- THESE PLANS ARE DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE NYC BUILDING CODE BOOK. VERIFY ANY CHANGE IN CODE THAT MAY AFFECT CONSTRUCTION WITH THE BUREAU OF BUILDINGS BEFORE CONSTRUCTION.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK. THERE ARE NO WARRANTIES, NOR ANY MERCHANTABILITY OF FITNESS FOR A SPECIFIED USE EXPRESSED OR IMPLIED IN THE USE OF THESE PLANS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY.
- ALL ELECTRIC HEAT, ETC. SHALL CONFORM TO CODE (NYEC, NEC, & NER) REQUIREMENTS.
- THE ARCHITECT'S CERTIFICATION APPLIES ONLY TO THESE PLANS CONFORMANCE TO THE NEW YORK CITY BUILDING CODE BOOK.
- DO NOT INFORM THE ARCHITECT IF THERE ARE ANY CONFLICTS BETWEEN THE PLANS & EXISTING SITE CONDITIONS. NO WORK IS TO PROCEED UNTIL DISCREPANCIES ARE CLARIFIED & CORRECTED.
- THE GC IS RESPONSIBLE FOR THE DISTRIBUTION OF ALL DRAWINGS TO ALL SUBCONTRACTORS. PARTIAL SETS DO NOT CONSTITUTE COMPLETE DOCUMENTS & AS SUCH, DO NOT DELEGATE ALL ITEMS OF WORK & THEIR COORDINATION WITH OTHER TRADES. ANY ERRORS OR OMISSIONS BY ANY SUBCONTRACTOR RESULTING FROM LACK OF FULL DOCUMENTATION, I.E. INFORMATION AND/OR A DRAWING OR IN PART OF THE SPECIFICATIONS WHICH A SUBCONTRACTOR HAS RECEIVED, IT IS THE RESPONSIBILITY OF THE GC.
- GC MUST CARRY COMPENSATION & LIABILITY INSURANCE, AS WELL AS NORMALLY COMPENSATION AND DISABILITY. GC SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL TAXES, CONTRIBUTIONS & OTHER CHARGES ATTRIBUTABLE TO THE WAAGES OF EMPLOYEES PERFORMING REQUIRED WORK.
- GC SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED. DRAWINGS INDICATE THE LOCATIONS FOR OTHER NEW CONSTRUCTION OR EXISTING CONDITIONS TO REMAIN. ANY EXISTING CONDITIONS SHOWN ON DEMOLITION DRAWINGS IN DOTTED LINES IS TO BE REMOVED. GC TO VERIFY WITH ARCHITECT THOSE ITEMS NOT INDICATED THAT ARE TO BE REMOVED.
- GC SHALL BE RESPONSIBLE FOR MAINTAINING ALL SERVICES TO ADJACENT AREAS TO AREA OF WORK DURING PERIOD OF DEMOLITION. PROVIDE ADEQUATE PROTECTION TO ALL AREAS OUTSIDE THE SCOPE OF WORK. GC SHALL HAVE AREA PROTECTED/KEPT CLEAN & DEBRIS REMOVED ON A DAILY BASIS.
- GC SHALL REMOVE ALL DEBRIS AS IT ACCUMULATES ON THE JOB SITE FROM THE BUILDING. NO DEBRIS SHALL BE LEFT IN THE CORRIDORS AT ANY TIME.
- GC SHALL LEAVE THE JOB SITE IN A CLEAN AND NEAT CONDITION AT THE END OF EACH WORKDAY AND AT THE COMPLETION OF THE PROJECT. ALL HARDWARE, METAL & GLASS AND DOORS SHALL BE CLEANED.
- THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE DEVELOPED AS OTHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

CONCRETE NOTES:

- ALL CONCRETE WORK SHALL COMPLY WITH THE BUILDING CODE REQUIREMENT FOR STRUCTURAL CONCRETE (THE A.C.I. 308-14) STANDARD AND COMMENTARY AND THE NEW YORK CITY BUILDING CODE, LATEST EDITION.
- CONCRETE TRENCH AND DEPTH SHALL BE AS FOLLOWS:

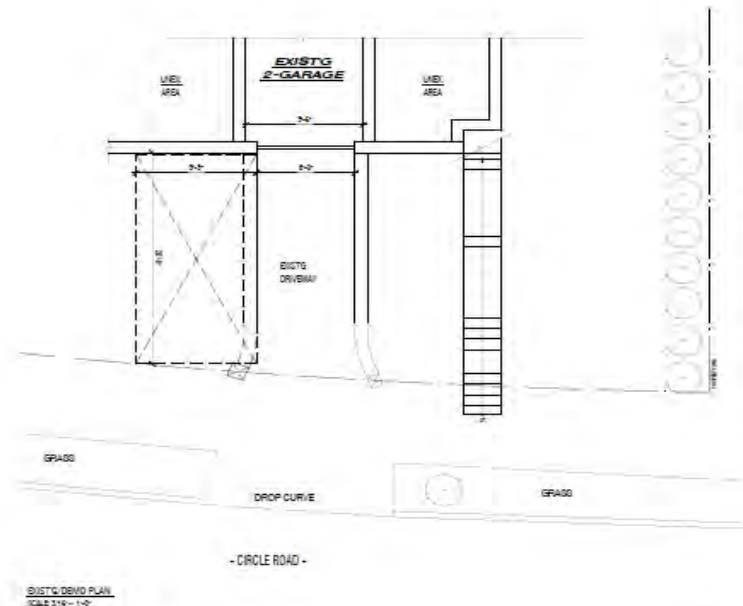
A. FOOTING FOUNDATION PERIM. FOUNDATION MAT	F _c = 4,000 PSI. NORMAL WEIGHT CONCRETE
B. BUTTRESS AND FOUNDATION WALLS	F _c = 4,000 PSI. NORMAL WEIGHT CONCRETE
C. FOOTING SEALERS	F _c = 3,000 PSI. NORMAL WEIGHT CONCRETE
D. SLAB ON GROUND	F _c = 4,000 PSI. NORMAL WEIGHT CONCRETE
E. COLUMN WALL	F _c = 4,000 PSI. NORMAL WEIGHT CONCRETE
F. BEAMS	F _c = 4,000 PSI. NORMAL WEIGHT CONCRETE
G. SLAB ON METAL DECK	F _c = 3,000 PSI. LIGHT WEIGHT CONCRETE
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A618, GRADE 60 OR A718 60F. COATED WITH GALVALUT ON PLAIN. REINFORCING STEEL SHALL BE INSTALLED ACCORDING TO THE AIA "DETAILS AND DETAILING OF REINFORCEMENT" (AIA 315), LATEST EDITION.
- THE CONTRACTOR SHALL FURNISH AND INSTALL THE REQUIRED BOLTERS, CHAIRS, REBAR, TIE SPACERS, ETC. TO SUPPORT, HOLD IN PLACE AND SECURE THE REINFORCING WHILE POURING AND PLACING THE CONCRETE.
- WELDED WIRE FABRIC (WFW) SHALL CONFORM TO ASTM A185, GRADE 60.
- REINFORCING STEEL TO BE WELDED TO CONFORM TO ASTM A708, GRADE 60.
- CONTRACTOR TO INSTALL ALL PIPE SLEEVES, BORED OPENINGS, ANCHOR BOLTS, ETC. AS REQUIRED FOR THE VARIOUS TRADES UNLESS OTHERWISE NOTED. NO CONDUIT OR PIPE OVER SIZE DIAMETER SHALL EXCEED 1/2" SLAB THICKNESS OR 2" NOMINAL DIAMETER AND SPACE CLOSER THAN 3 TIMES NOMINAL DIAMETER ON CENTER OR SPACE 4 TIMES 1/4" OF COLUMN FACE.
- ALL GROUT SHALL BE HIGH-STRENGTH WITH A MINIMUM COMPRESSIVE STRENGTH OF 8000 PSI.
- PROVIDE CLEARANCE FROM FACE OF CONCRETE TO REINFORCEMENT AS FOLLOWS:

SLABS 1 1/2"
BEAM COLUMN 1 1/2"
CONCRETE EXPOSED TO WEATHER AND EARTH 2"
FOUNDATION CAST AGAINST EARTH 3"
EXTERIOR WALLS 2" FOR #4 OR LARGER, 1 1/2" FOR #3 OR SMALLER
INTERIOR WALLS 1 1/2"
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL. NO CONCRETE WORK SHALL COMMENCE WITHOUT APPROVED SHOP DRAWINGS.
- AN A.C.I. CERTIFIED INSPECTION CERTIFICATION REPRESENTATIVE MUST APPROVE ALL STEEL REINFORCEMENT PLACEMENT PRIOR TO PLACING CONCRETE.
- WELDED WIRE FABRIC IN COMPOSITE CONSTRUCTION SHALL HAVE TENSION SPACES AND BE ANCHORED AT DISCONTINUOUS EDGES.
- ALL BARS MARKED CONTINUOUS SHALL BE LAPPED MIN. 40 DIAMETERS AT SPLICES AND CORNERS EXCEPT AS OTHERWISE SHOWN ON PLANS. LAP CONTINUOUS TOP BARS AT CENTER BETWEEN SUPPORTS AND BOTTOM BARS AT SUPPORTS. HOOR TOP BARS AT DISCONTINUOUS EDGES.
- NO BACKFILL IS TO BE DONE BEFORE ALL SLABS BRACING WALLS ARE IN PLACE.
- PROVIDE EXPANSION, CONTRACTION AND CONSTRUCTION JOINTS AS REQUIRED BY APPLICABLE SECTION OF A.C.I. 308.
- COLD WEATHER CONCRETE SHALL BE IN ACCORDANCE WITH AC-308.
- THROUGHOUT CONSTRUCTION, THE CONCRETE WORK SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE DUE TO EXCESSIVE LOADING, CONSTRUCTION EQUIPMENT, MATERIALS OR METHODS, ICE, SALT, SNOW, EXCESSIVE HEAT AND FREEZING TEMPERATURES.
- EARLY DRYING OUT OF CONCRETE, ESPECIALLY DURING THE FIRST 24 HOURS, SHALL BE CAREFULLY GUARDED AGAINST. ALL SURFACES SHALL BE PROTECTED FROM PROTECTIVE COVERING (SUCH AS HEAVY DUTY CURING OIL) APPLIED AS SOON AS FORMS ARE REMOVED. IF NECESSARY DURING CURE IS USED. EXERCISE CARE NOT TO DAMAGE.

MASSOUPH NOTES:

- CONCRETE BLOCK MASSOUPH SHALL BE IN ACCORDANCE WITH ADOPTED BUILDING CODE REQUIREMENTS FOR MASSOUPH STRUCTURES, LATEST EDITION.
- CONCRETE BLOCK MASSOUPH FOR BEARING WALL SHALL COMPLY WITH ASTM C90 FOR HOLLOW UNITS AND MUST HAVE A MINIMUM COMPRESSIVE STRENGTH. CONTRACTOR SHALL SUBMIT RECEIPT UPON MASSOUPH BLOCK. P_u = 2500 psi DELIVERED ON THE SITE.
- MASSOUPH UNITS SHALL CONFORM TO ASTM C90, TYPE M OR S, FOR ABOVE GRADE, TYPE M FOR BELOW GRADE.
- GROUT FOR FILLED CELLS SHALL CONFORM TO ASTM C110 WITH 2800 PSI STRENGTH AT 28 DAYS.
- CELLS SHALL BE DRAINED BY INCREASING NOT EXCEEDING 3 FEET VERTICALLY. ALL ALL CELLS BELOW GRADE.
- HORIZONTAL REINFORCING SHALL BE 3 BARS TYPICALLY OR EQUAL AND SHALL BE PLACED BELOW OTHER COURSE. U.O.I.
- ALL BARS SHALL BE PLACED IN RUNNING BOND.
- UNDERLAYS AND STEEL BEAMS ON MASSOUPH: ALL JOISTS OF CONCRETE BLOCK SHALL WITH CONCRETE GROUT FOR HEIGHT OF 3 COURSES. U.O.I. ON DRAWINGS.
- CONCRETE MASSOUPH UNITS TO BE GRADE P, FOR MODERATE EXPOSURE AND GRADE C, FOR NO EXPOSURE.
- METAL ANCHORS AND TIES SHALL BE CORROSION RESISTANT AS FOLLOWS:

(A) ZINC COATING ON WIRE AS PER ASTM A-641
(B) ZINC COATING ON WIRE AS PER ASTM A-641
(C) COPPER COATED WIRE TO BE GRADE 304 AS PER ASTM B-227.



EXIST'G DETAIL PLAN
SCALE 3/8" = 1'-0"

**ENVISION
ENGINEERING
SERVICES**

81-31 106 STREET,
QUEENS, NY 11432
TEL: 917-722-5044
E: BBAKHIVYEV@GMAIL.COM

CONTRACT NUMBER:
19CIRCLE RD. QUEENS, NY 11363
PROJECT NUMBER: NY 11363
DATE: 12/15/23

NO.	DATE	DESCRIPTION	BY

BY: 2023 BY: BBAKHIVYEV, P.E.
 ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ENVISION ENGINEERING SERVICES.

NOTES:

PROJECT ADDRESS:
**19 CIRCLE RD
QUEENS, NY 11363**

BLOCK: 8885 ZONE: R1-2
 LOT: 73 MAP: 114

DATE: 12-15-23
 PROJECT#: 23-139 CHK. BY: BORG
 ERM: 4168771 SCALE: AS NOTED

DATE: 12-15-23 DRAWN BY: M.P.
 PROJECT#: 23-139 CHK. BY: BORG
 ERM: 4168771 SCALE: AS NOTED

DATE: 12-15-23 DRAWN BY: M.P.
 PROJECT#: 23-139 CHK. BY: BORG
 ERM: 4168771 SCALE: AS NOTED

DATE: 12-15-23 DRAWN BY: M.P.
 PROJECT#: 23-139 CHK. BY: BORG
 ERM: 4168771 SCALE: AS NOTED

DATE: 12-15-23 DRAWN BY: M.P.
 PROJECT#: 23-139 CHK. BY: BORG
 ERM: 4168771 SCALE: AS NOTED

G-100.00
 DOB NO. W#: 008951271-11



Add Gutters to the existing scuppers -drain holes and have the leader to the main gutter



Add Gutters to the existing scupper -drain holes and have the leader to the main gutter. The gutters will be same color as the façade of the 1st level garage.



Precedents: Similar Conditions



38-41 240th St.



25 Circle Rd.

Precedents: Similar Condition/(s)



231-05 Hillside Avenue / Center Drive



211 Hillside Avenue



217 Hillside Avenue



Behind the fence



Picture behind the fence, if the fence needs to be push back to where the solid black line is, then we have to install security iron bars on the basement window. The gate will need to change from an inward swing to swing outwards



END OF PRESENTATION

April 9, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 13, LPC-24-05494

19 Circle Road – Douglaston Historic District Borough of Queens

To testify virtually, please join Zoom

Webinar ID: 835 5784 7531

Passcode: 865955

By Phone: 1 646-558-8656 US (New
York) 877-853-5257 (Toll free) US
888 475 4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.





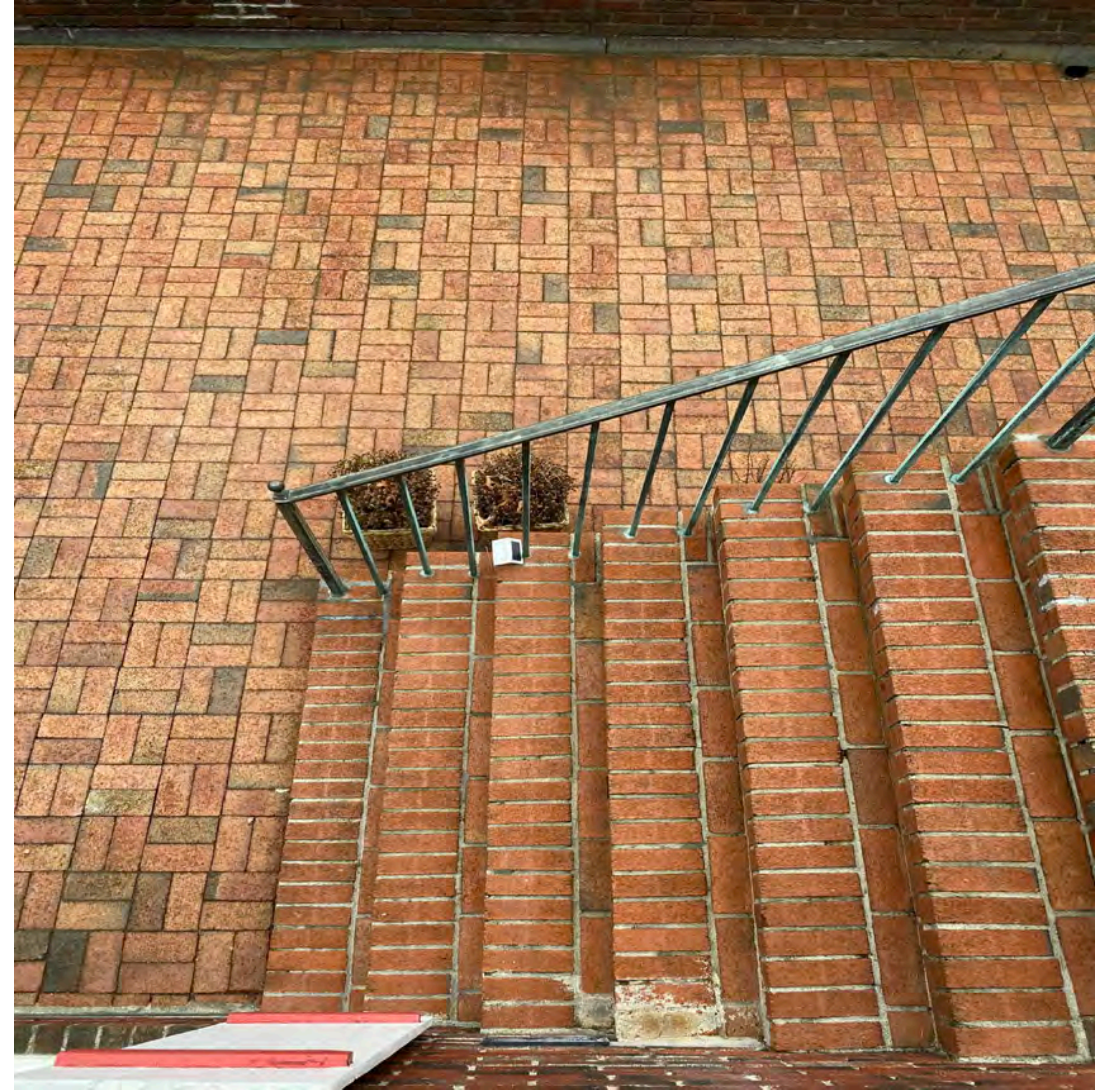




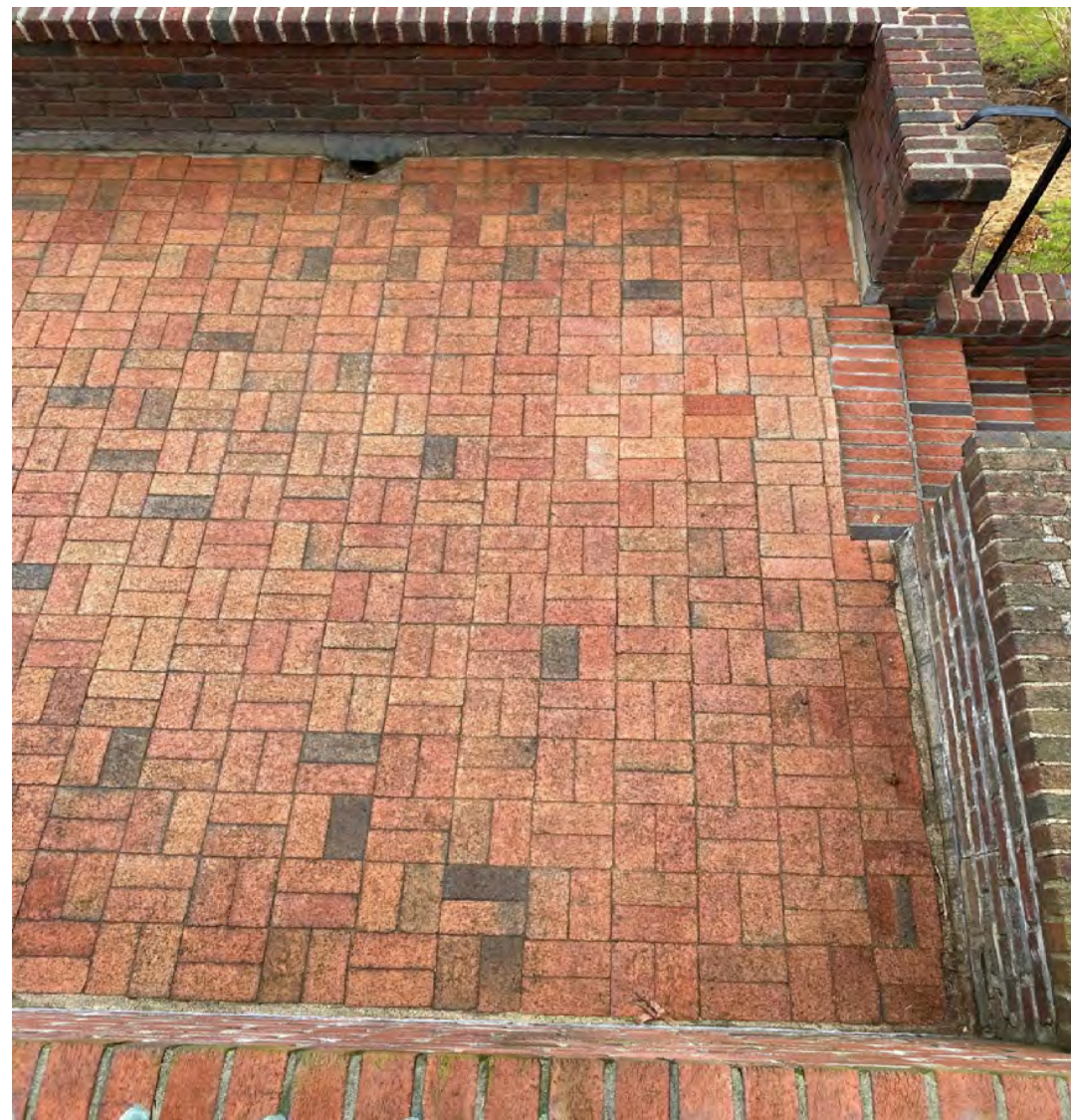
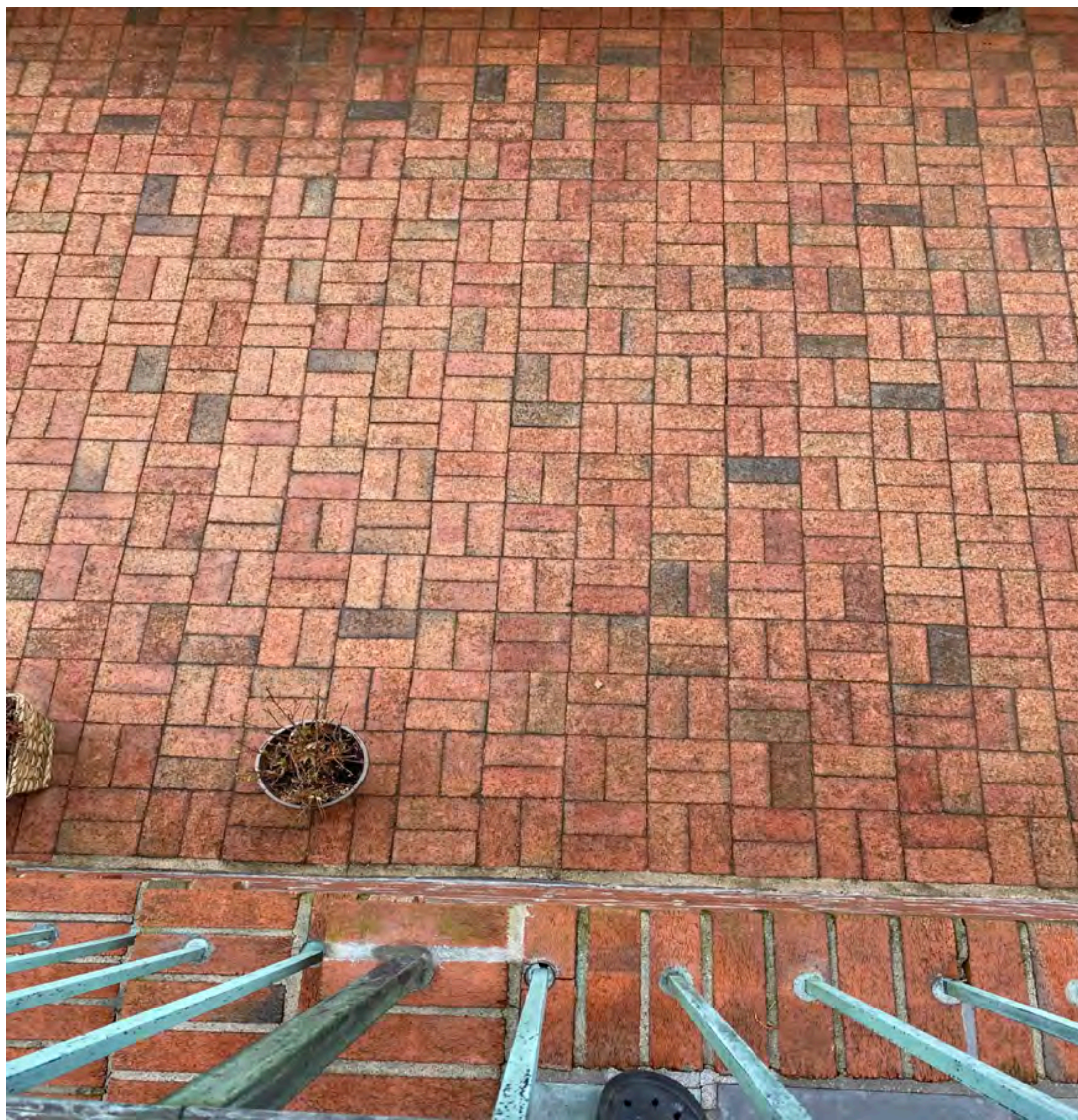




Remove existing bricks and waterproof porch deck and replace existing bricks



**Remove existing bricks and waterproof porch deck and
replace existing bricks**



**Remove existing bricks and waterproof porch deck and
replace existing bricks & Power wash wall(<500PSI) repoint
with LPC approved mortar**



Appendix

Original brick retaining wall on the facade



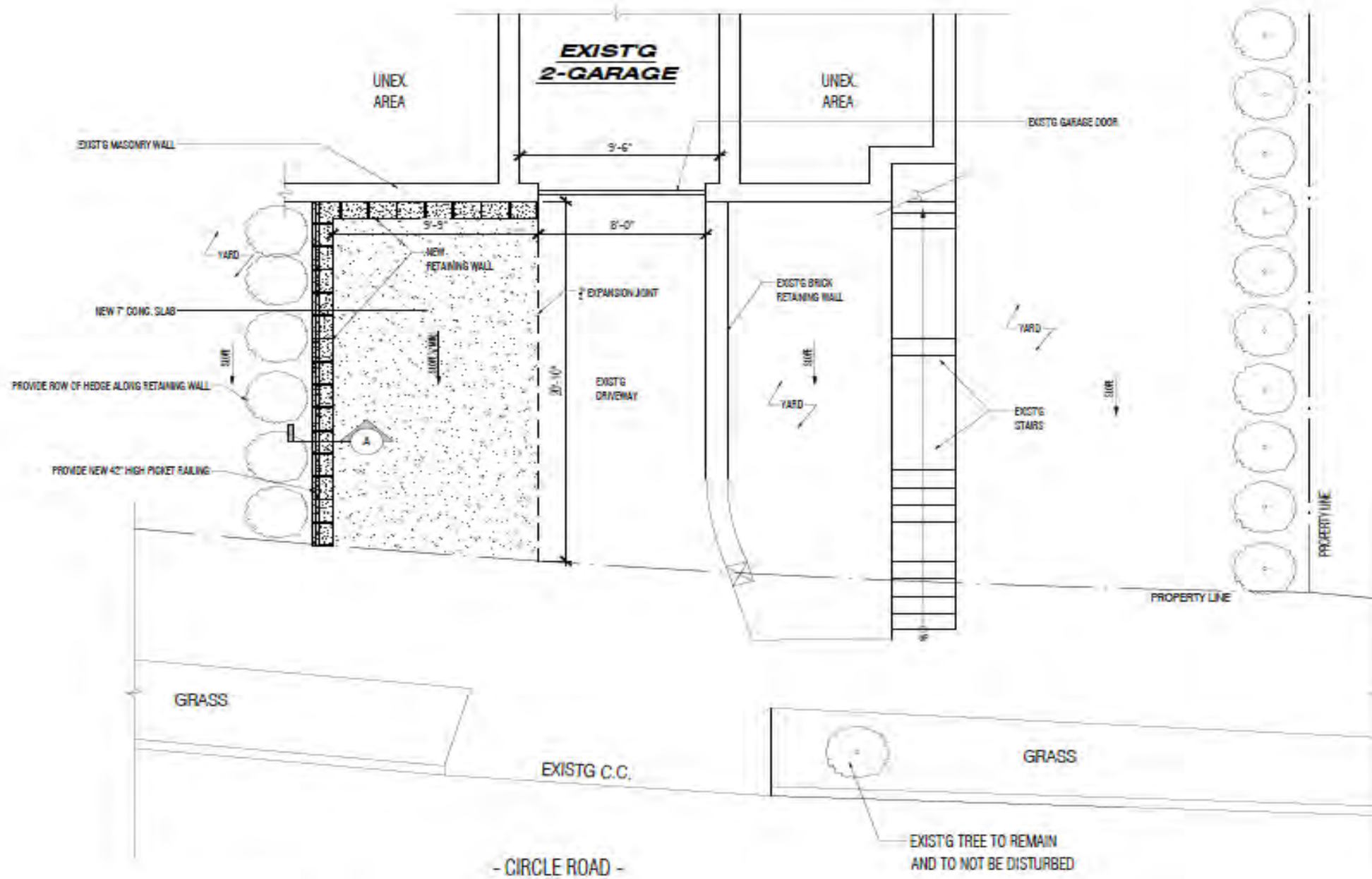
New brick retaining wall .











PARTIAL OF FRONT YARD PLAN
 SCALE: 1/4" = 1'-0"

April 9, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 13, LPC-24-05494

19 Circle Road – Douglaston Historic District Borough of Queens

To testify virtually, please join Zoom

Webinar ID: 835 5784 7531

Passcode: 865955

By Phone: 1 646-558-8656 US (New
York) 877-853-5257 (Toll free) US
888 475 4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.