

April 9, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 12, LPC-24-06886

613 West 155th Street – Audubon Terrace Historic District Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 835 5784 7531

Passcode: 865955

By Phone: 1 646-558-8656 US (New
York) 877-853-5257 (Toll free) US
888 475 4499 (Toll free)

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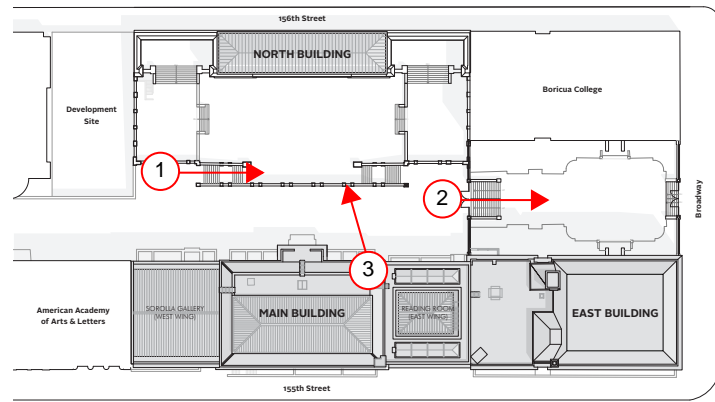
NYC LPC APPLICATION - PUBLIC HEARING PRESENTATION

9 APRIL 2024

THE HISPANIC
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TABLE OF CONTENTS

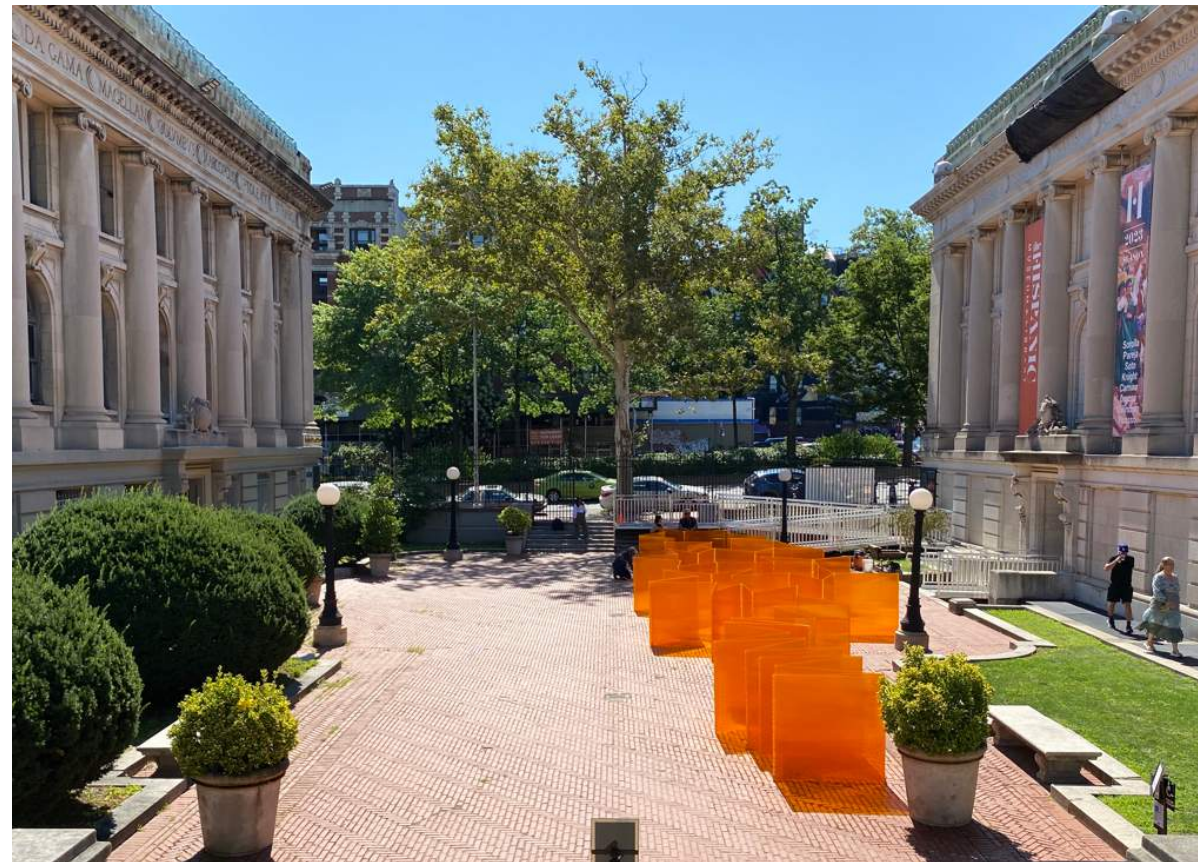
1. SITE PLAN & INSTALLATION SCHEDULE	3
2. SOTO PENETRABLE INSTALLATION	5



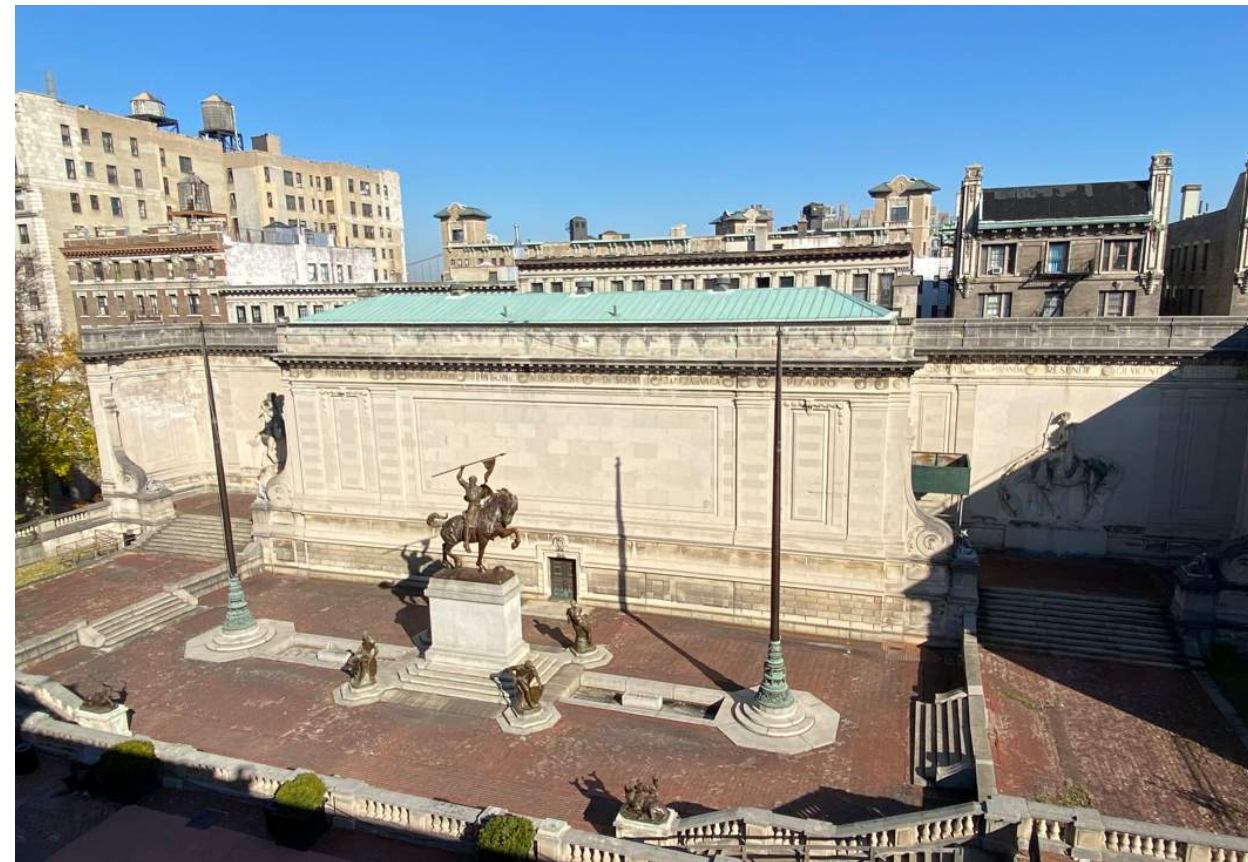
SITE PLAN



1 - View of Upper Terrace looking east, 2019
(HSML Main Building on right, HSML North Building on left)



2 - View of Broadway Terrace looking east, 2023
(HSML East Building on right)



3 - View of North Building, looking north, 2024

LEGEND



SOTO PENETRABLE

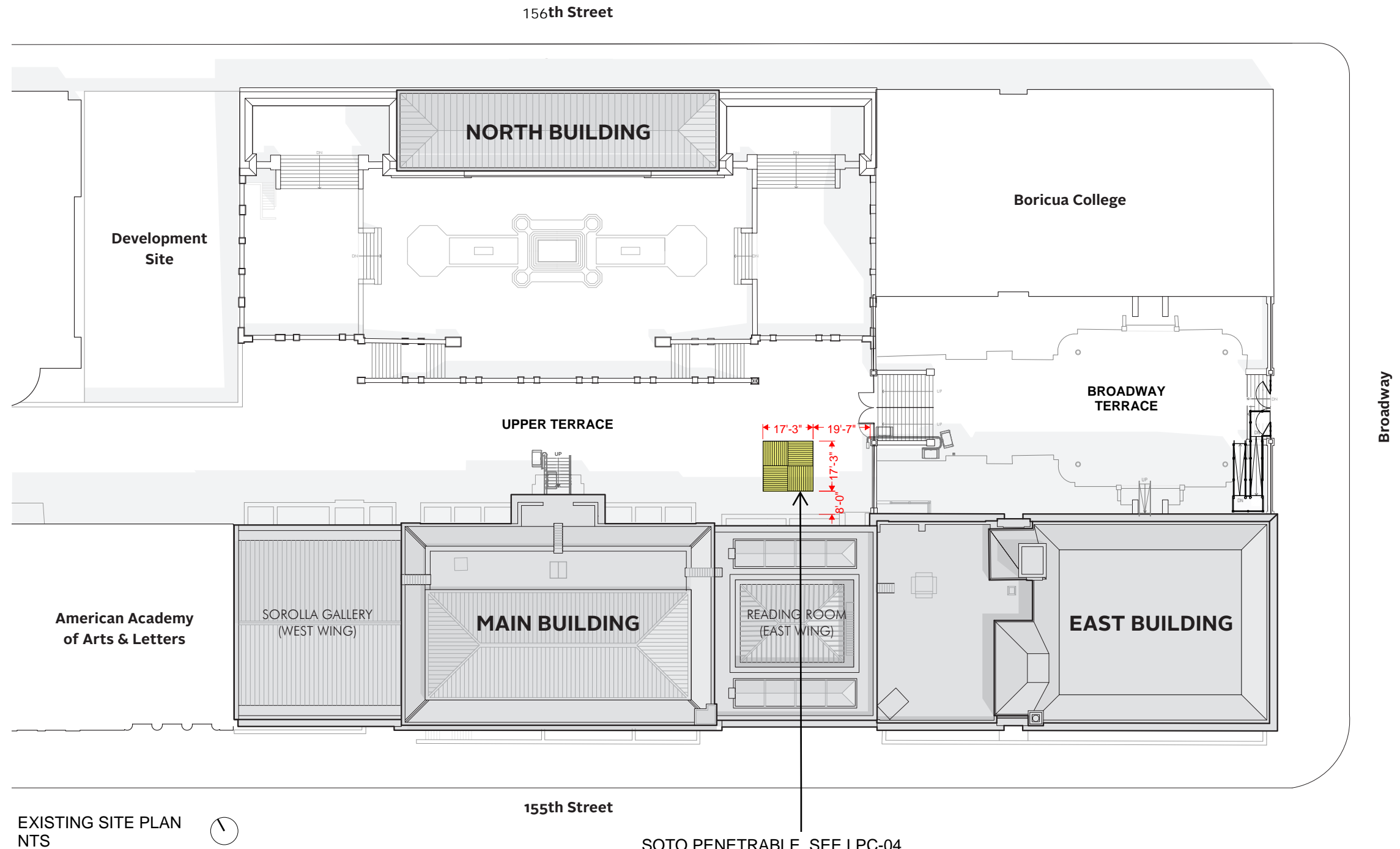
INSTALLATION SCHEDULE

MAY 12, 2023
LPC PERMIT CNE-23-10214 ISSUED FOR ONE (1) YEAR OF SOTO PENETRABLE INSTALLATION

MAY 25, 2023
DOB PERMIT M00863646-11-GC ISSUED FOR SOTO PENETRABLE INSTALLATION

JUNE 27, 2023
INSTALLATION OF SOTO PENETRABLE COMPLETE

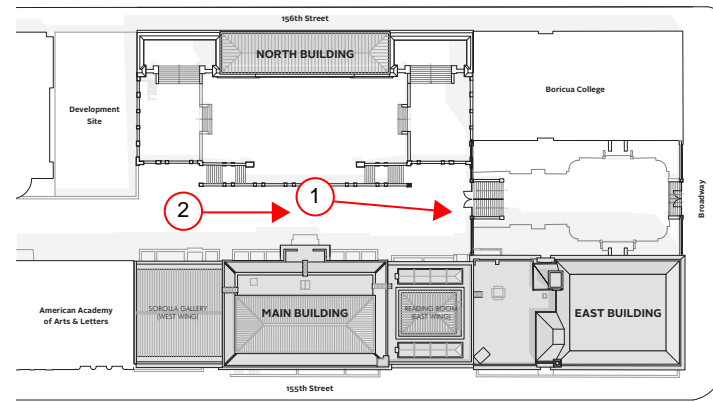
JUNE 8, 2026
DISMANTLE SOTO PENETRABLE



SOTO PENETRABLE, SEE LPC-04.
TEMPORARY INSTALLATION APPROVED
UNDER LPC PERMIT CNE-23-10214

EXISTING SITE PLAN
NTS





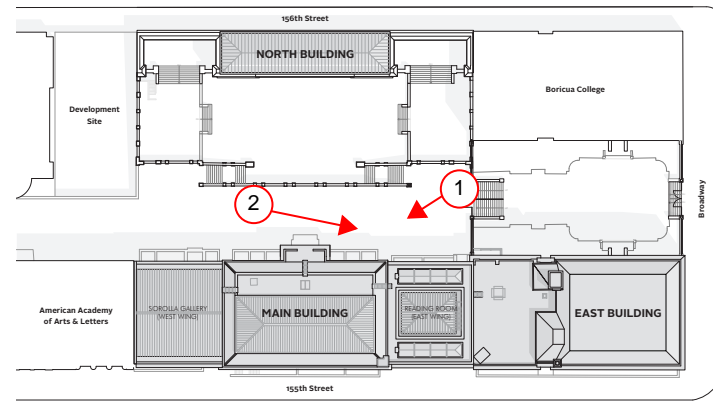
SITE PLAN



1 - View of Upper Terrace looking southeast



2 - View of Upper Terrace looking east



SITE PLAN

NOTES

1. *Penetrable* consists of an open cubic steel frame, supporting a canopy of aluminum channels, with amber-colored plastic PVC tubing secured through holes in the aluminum channels. The sculpture is approximately 17' x 17' x 19' (LxWxH).

2. Existing pavers were removed and salvaged on site to allow for the concrete foundation installation that is required for the artwork's steel frame installation. Salvaged pavers were reinstalled where possible following concrete installation. New pavers were cut to size as needed and installed around the *Penetrable* steel frame. New pavers are to match the existing pavers.

3. Following removal of *Penetrable*, all new pavers will be removed and salvaged pavers will be reinstalled to match the existing paving pattern.

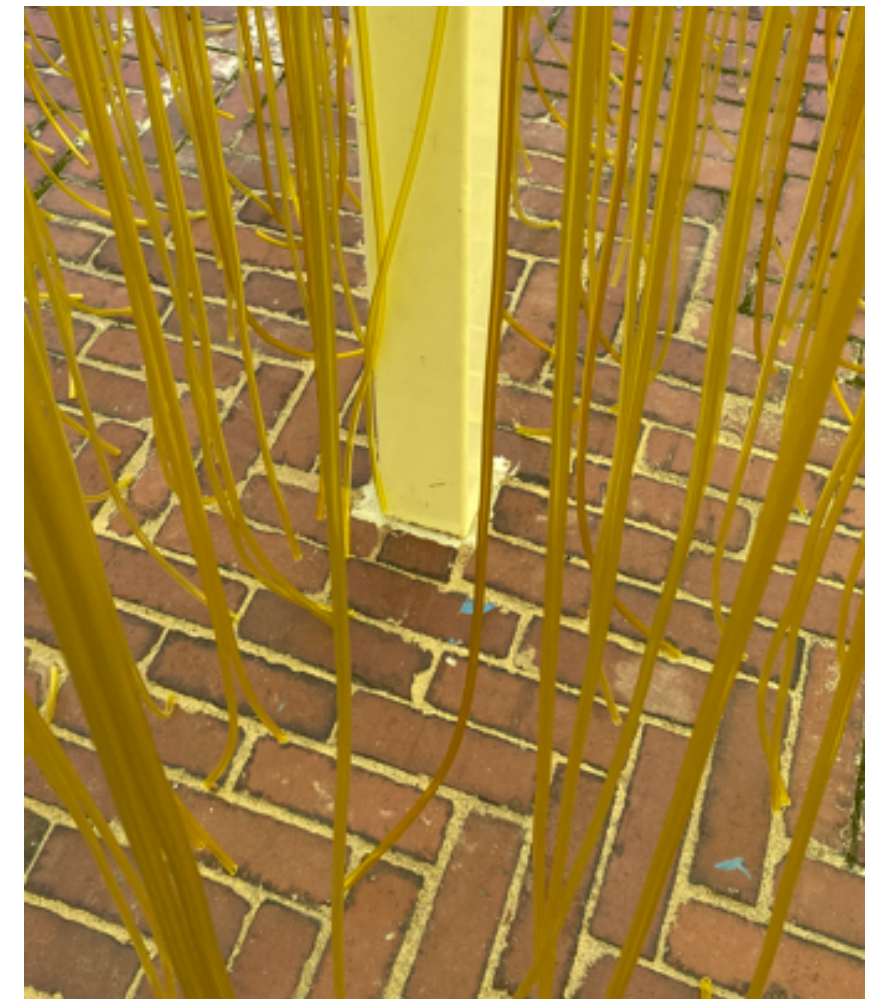
4. Refer to attached DOB filing drawings prepared by Murray Engineering for layout, installation details, and brick paver specifications.



1 - View of Upper Terrace looking southeast



2 - View of Upper Terrace looking east



3 - Close up view of frame base installation

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APPENDIX

Soto Installation DOB Drawings

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ISSUES

REV	DATE	DESCRIPTION
1	2023-04-21	ISSUED FOR LPC & DOB FILING
2	2023-05-05	REISSUED PER LPC COMMENTS & DOB FILING

PROJECT

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613 WEST 155TH ST.
 NEW YORK, NY 10032

DOB NOW JOB NUMBER: **M00863646-11**

DRAWING TITLE:
"PENETRABLE" ART PIECE SLAB AREA REMOVAL: PART PLAN, SECTION AND NOTES

DATE: MARCH 2023

PROJECT No: S3808.01

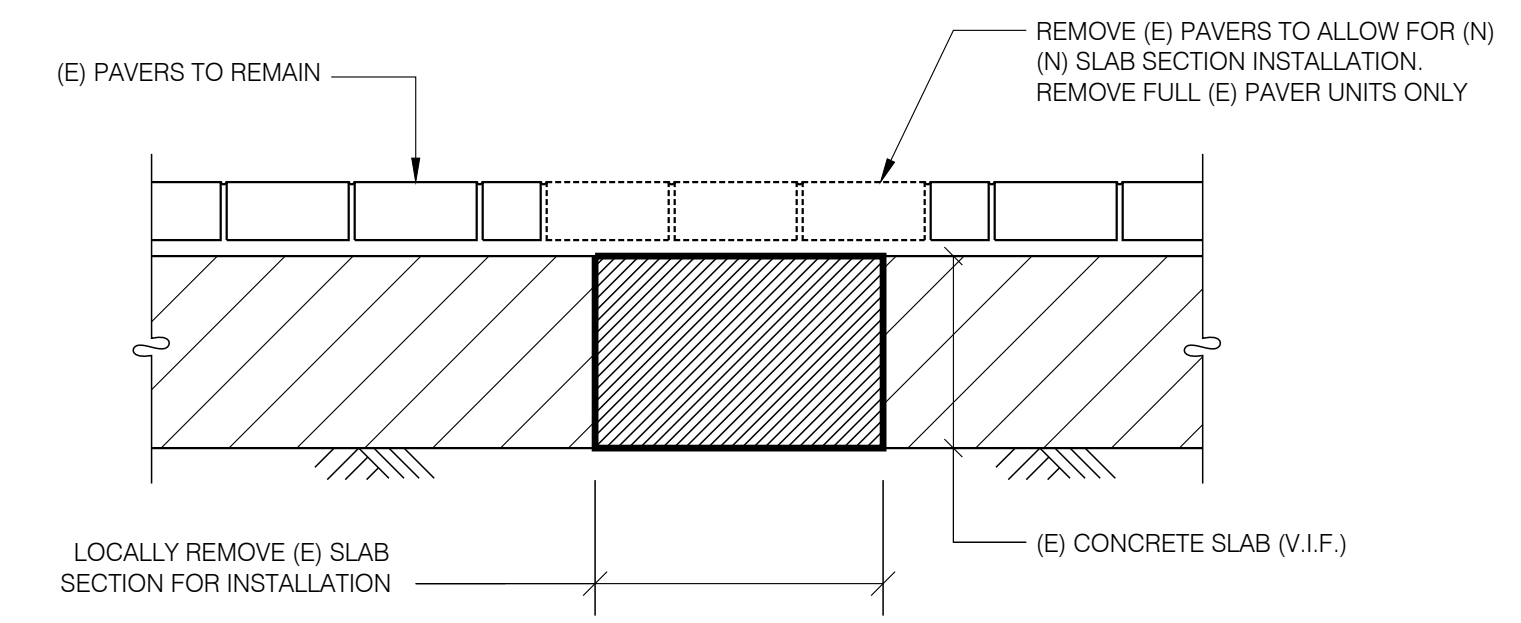
CHK BY: B.M./A.P.

DRAFTED BY: I.M.

DWG NO: **A-100.00**

DOB SHEET 03 OF 05

- GENERAL AREA REMOVAL NOTES:**
1. THE CONTRACTOR IS TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS FOR THE DEMOLITION AND REMOVAL WORK REQUIRED.
 2. DEMOLITION PROCEDURES, SHORING REQUIREMENTS, SEQUENCES, TECHNIQUES, ETC. EITHER GIVEN IN OR IMPLIED BY THESE DRAWINGS ARE SUGGESTIONS ONLY.
 3. PRIOR TO UNDERTAKING ANY DEMOLITION WORK, THE CONTRACTOR SHALL ASCERTAIN, BY SURVEY, THE EXISTING CONDITIONS OF THE PROPERTY AND THE EXTENT OF THE DEMOLITION WORK INVOLVED.
 4. THE CONTRACTOR SHALL PERFORM ALL DEMOLITION WORK IN SUCH A MANNER AS TO PROTECT THE EXISTING ADJACENT STRUCTURES AND BE RESPONSIBLE TO PROPERLY REPAIR ANY DAMAGE WHICH MAY OCCUR AS A RESULT OF HIS DEMOLITION WORK. IF THE CONTRACTOR DAMAGED THE EXISTING STRUCTURES TO REMAIN, HE/SHE SHALL NOTIFY THE OWNER AND ENGINEER IMMEDIATELY AND SHALL BE RESPONSIBLE FOR ALL REPAIR COSTS, INCLUDING DESIGN AND INSPECTION EXPENSES.
 5. THE CONTRACTOR SHALL CEASE DEMOLITION OPERATIONS AND NOTIFY THE OWNER AND ENGINEER IMMEDIATELY IF IT APPEARS THAT THE INTEGRITY OF THE STRUCTURES HAS BEEN AFFECTED BY THE DEMOLITION WORK.
 6. THE CONTRACTOR SHALL NOT CUT OR ALTER ANY STRUCTURAL MEMBERS TO REMAIN WITHOUT WRITTEN AUTHORIZATION BY THE ENGINEER OR AS INDICATED ON THE STRUCTURAL DRAWINGS.
 7. ALL EXISTING DIMENSIONS (DISTANCES, ELEVATIONS, MEMBER SIZES, ETC.) SHOWN ON THE DRAWINGS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
 8. ALL DEBRIS FOR EXISTING SLAB REMOVAL SHALL BE DISPOSED OF IN A LEGAL MANNER WITH AS LITTLE DISTURBANCE TO ADJACENT SPACES AND OCCUPANTS AS POSSIBLE.
 9. CUTTING OF EXISTING CONCRETE SLABS SHALL BE PERFORMED IN A NEAT PROFESSIONAL MANNER. DRILL CORNERS AND SAW CUT STRAIGHT LINES AROUND THE PERIMETER OF THE NEW OPENING.

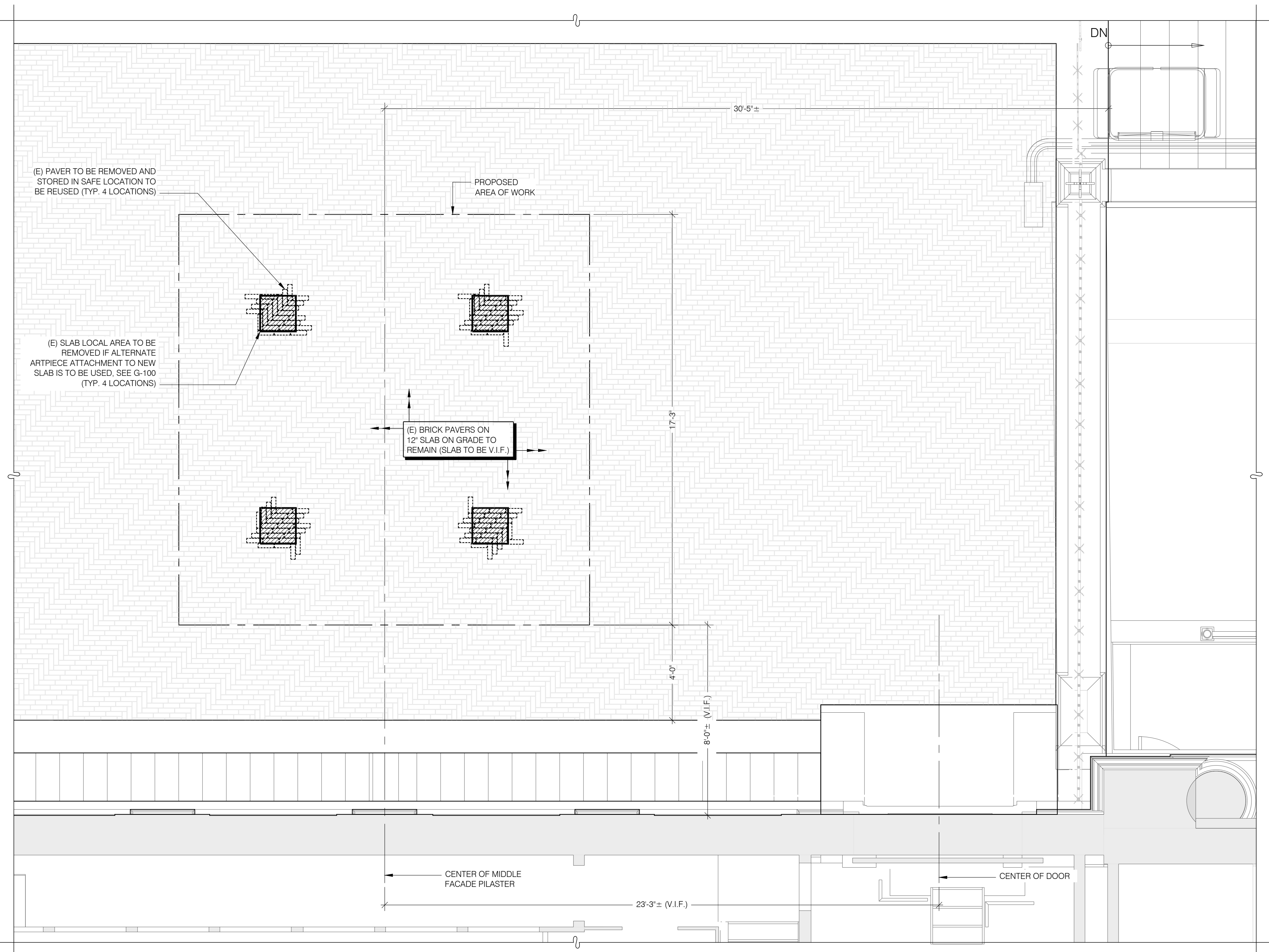


(E) SLAB REMOVAL SECTION

SCALE: 1" = 1'-0"

2
A-100

- NOTES:**
1. REFER TO 2/G-100 FOR PULL TEST REQUIREMENTS OF NEW ANCHORS INTO EXISTING SLAB. IF REQUIRED LOAD IS NOT ACHIEVED IN PULL TEST, PROCEED WITH LOCAL SLAB REMOVAL AS SHOWN IN DETAIL ABOVE AND COORDINATE WITH ALTERNATE INSTALLATION METHOD/ANCHORAGE SHOWN IN 3/G-100.



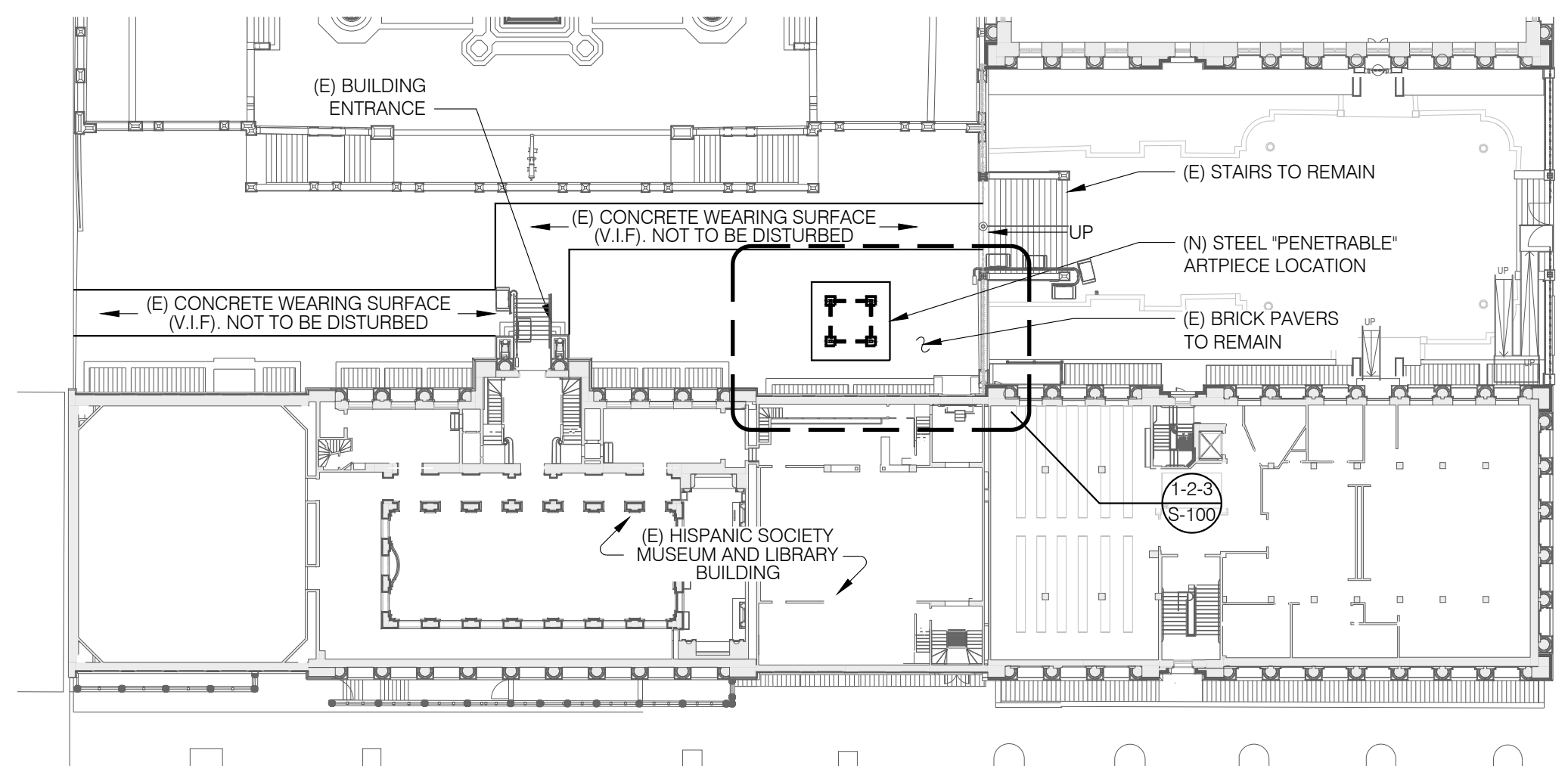
SLAB AREAS REMOVAL PLAN

SCALE: 3/8" = 1'-0"

NOTE:

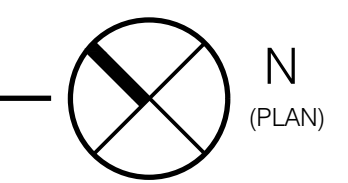
1. (E) DENOTES EXISTING ELEMENT.
2. --- DENOTES (E) PAVES TO BE REMOVED. REMOVE FULL (E) PAVES UNITS ONLY. TAKE CARE NOT TO DAMAGE (E) PAVERS DURING REMOVAL AND STORE THEM SUCH THAT THEY CAN BE REINSTALLED IN ORIGINAL LOCATION. REFER TO PLAN ON G-100 FOR (E) PAVES REINSTALLATION AND/OR REPLACEMENT PAVES INSTALLATION.
3. [Hatched Box] DENOTES AREA TO BE DEMOLISH.
4. CONTRACTOR IS TO CONFIRM EXISTING CONDITIONS AND NOTIFY ENGINEER PRIOR TO DEMOLITION OF STRUCTURAL MEMBERS.
5. CONTRACTOR SHALL PROVIDE AND IS RESPONSIBLE FOR ALL SHORING MEASURES REQUIRED FOR DEMOLITION.
6. U.O.N. = UNLESS OTHERWISE NOTED.
7. V.I.F. = VERIFY IN FIELD.

1
A-100



KEY PLAN

SCALE: 1/32" = 1'-0"



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DOB NOW JOB NUMBER: **M00863646-11**

DRAWING TITLE:

"PENETRABLE" ART PIECE ATTACHMENT PLAN AND DETAILS

DATE: MARCH 2023

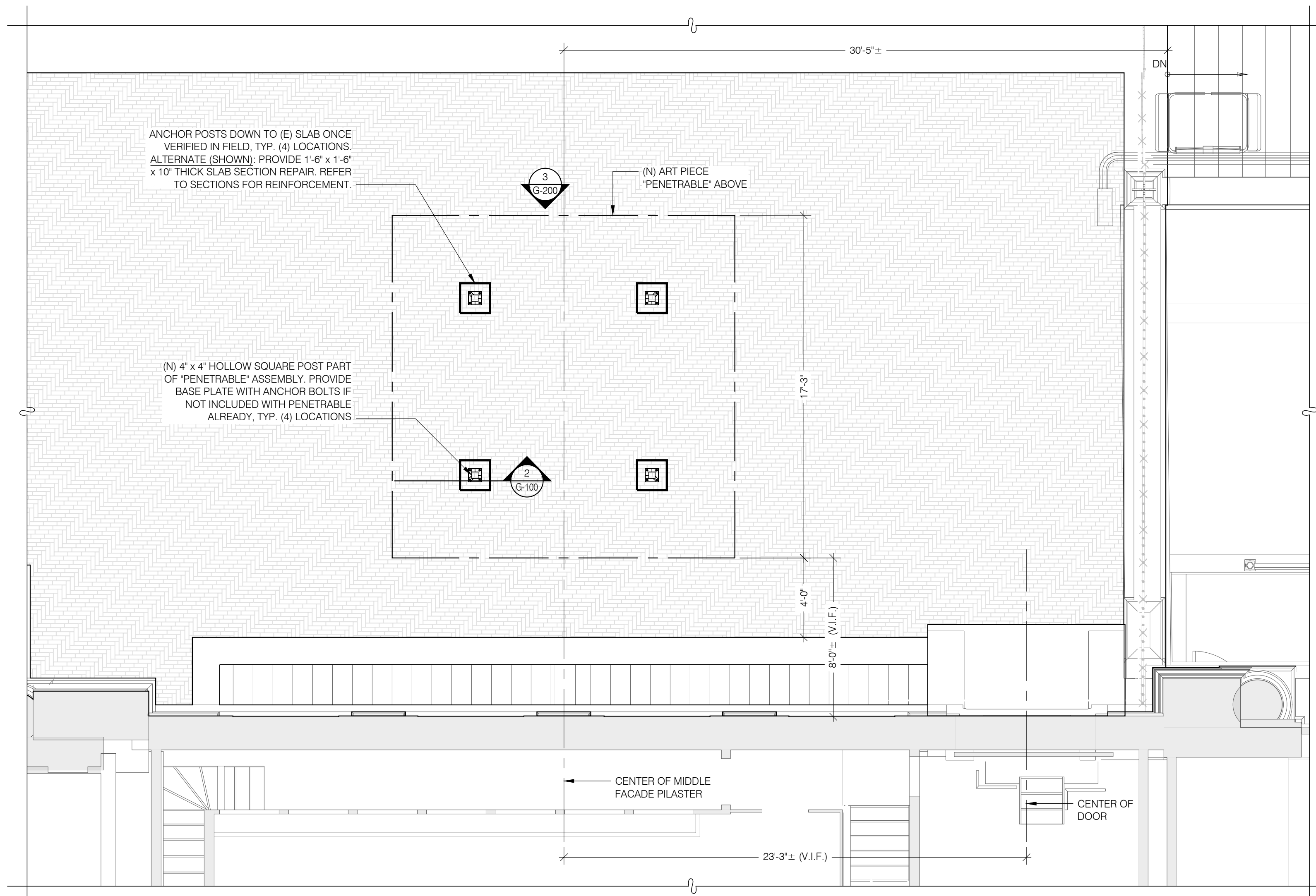
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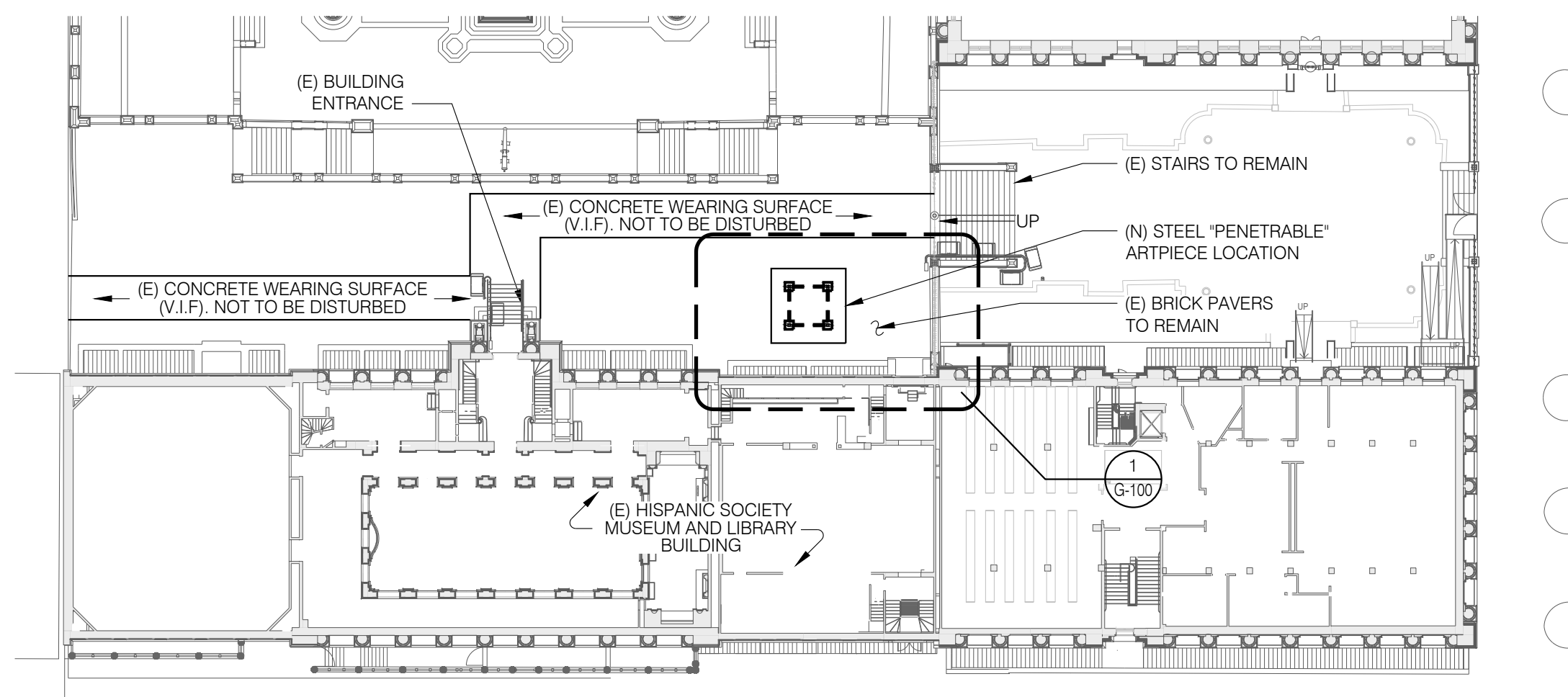
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DOB SHEET 04 OF 05



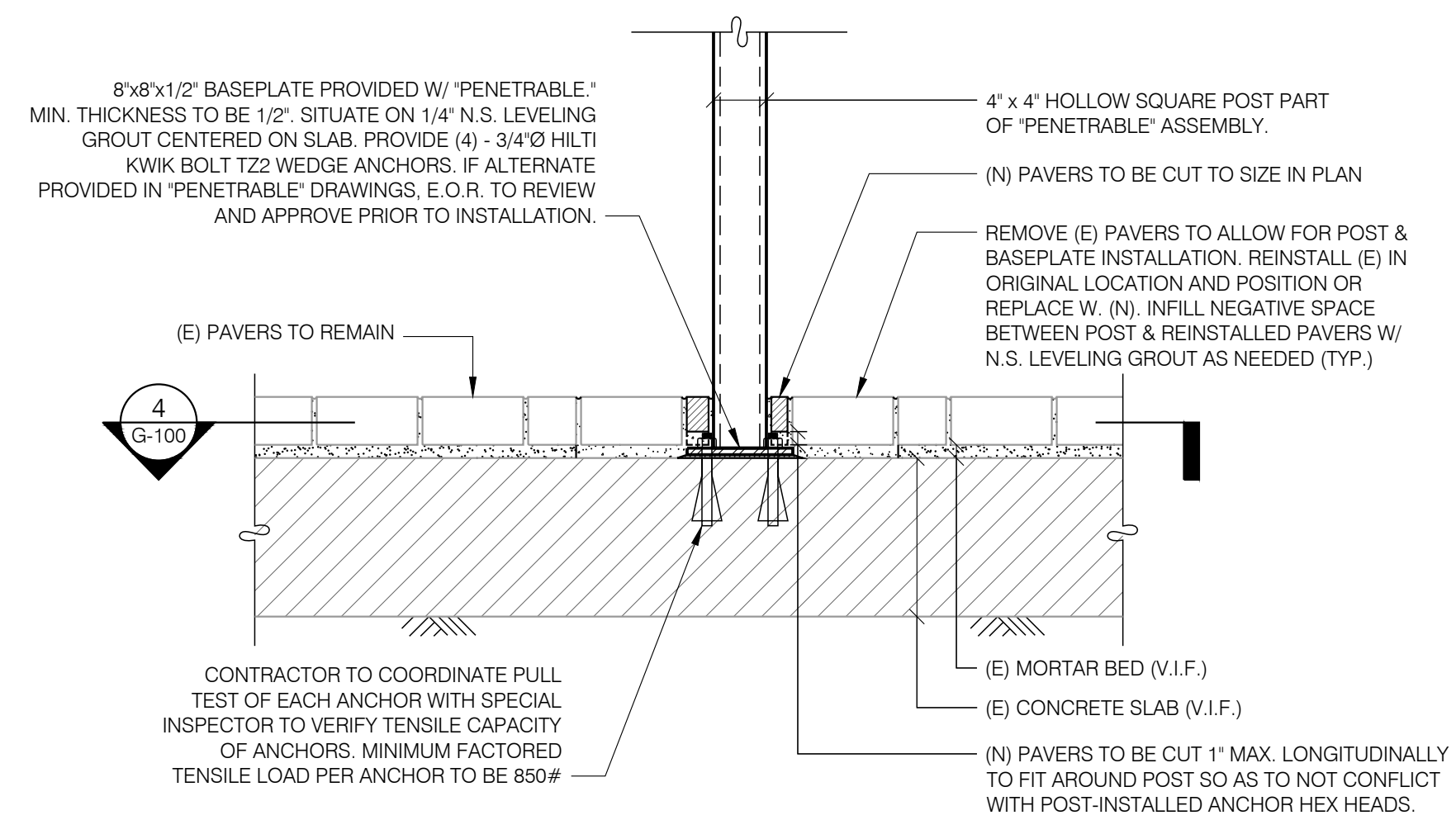
PENETRABLE ATTACHMENT PLAN

- SCALE: 1/4" = 1'-0"
- NOTE:
- (E) DENOTES EXISTING ELEMENT.
 - (N) DENOTES NEW ELEMENT.
 - VERIFY IF (E) STRUCTURAL SLAB IS PRESENT BELOW PAVERS. DOCUMENT CONDITION OF EXISTING SLAB IF PRESENT AND VERIFY (E) THICKNESS IN FIELD.
 - AT ALL (N) SLAB SECTION LOCATIONS, LOCALLY REMOVE (E) BRICK PAVERS FOR (N) SLAB SECTION INSTALLATION. TAKE CARE NOT TO DAMAGE (E) PAVERS AND STORE THEM SUCH THAT THEY CAN BE REINSTALLED IN ORIGINAL LOCATION, POSITION, AND ORIENTATION ONCE NEW SLAB SECTIONS ARE CURED. REPLACE BROKEN OR DETERIORATED PAVERS WITH NEW TO MATCH EXISTING AS PER BRICK SPECIFICATION. (E) BRICK PAVER PATTERN TO BE UPHELD UPON REINSTALLATION.
 - REMOVE FULL PAVER UNITS ONLY. DO NOT CUT EXISTING PAVERS. NEW PAVERS TO BE CUT TO SIZE AS REQUIRED TO COORDINATE W/ NEW POST INSTALLATION. SALVAGE UNUSED PAVERS FOR REINSTALLATION FOLLOWING REMOVAL OF 'PENETRABLE'. OWNER TO VERIFY SALVAGE LOCATION ON SITE.
 - REFER TO 'PENETRABLE' DRAWINGS BY PARADIGMA FOR DIMENSIONS, FRAMING LOCATIONS, AND CONNECTION DETAILS OF PIECES FOR ARTPIECE. PENETRABLE DRAWINGS TO BE PROVIDED BY OWNERSHIP. INSTALLER OF 'PENETRABLE' TO ENSURE INSTALLATION MEETS REQUIRED N.Y.C. BUILDING CODE REQUIREMENTS AS APPLICABLE.
 - PENETRABLE NOT TO BE SLOPED WITH GRADE. CONTRACTOR TO INSTALL PENETRABLE FLAT AND LEVEL WITH N.S. GROUT BETWEEN NEW SLAB SECTIONS AND BASE PLATE AS NEEDED.
 - CONFIRM ALL DIMENSIONS WITH ARCHITECT AND EXISTING CONDITIONS.
 - CONTRACTOR SHALL PROVIDE AND IS RESPONSIBLE FOR ALL SHORING MEASURES REQUIRED FOR ARTPIECE INSTALLATION.
 - U.O.N. = UNLESS OTHERWISE NOTED.
 - V.I.F. = VERIFY IN FIELD.



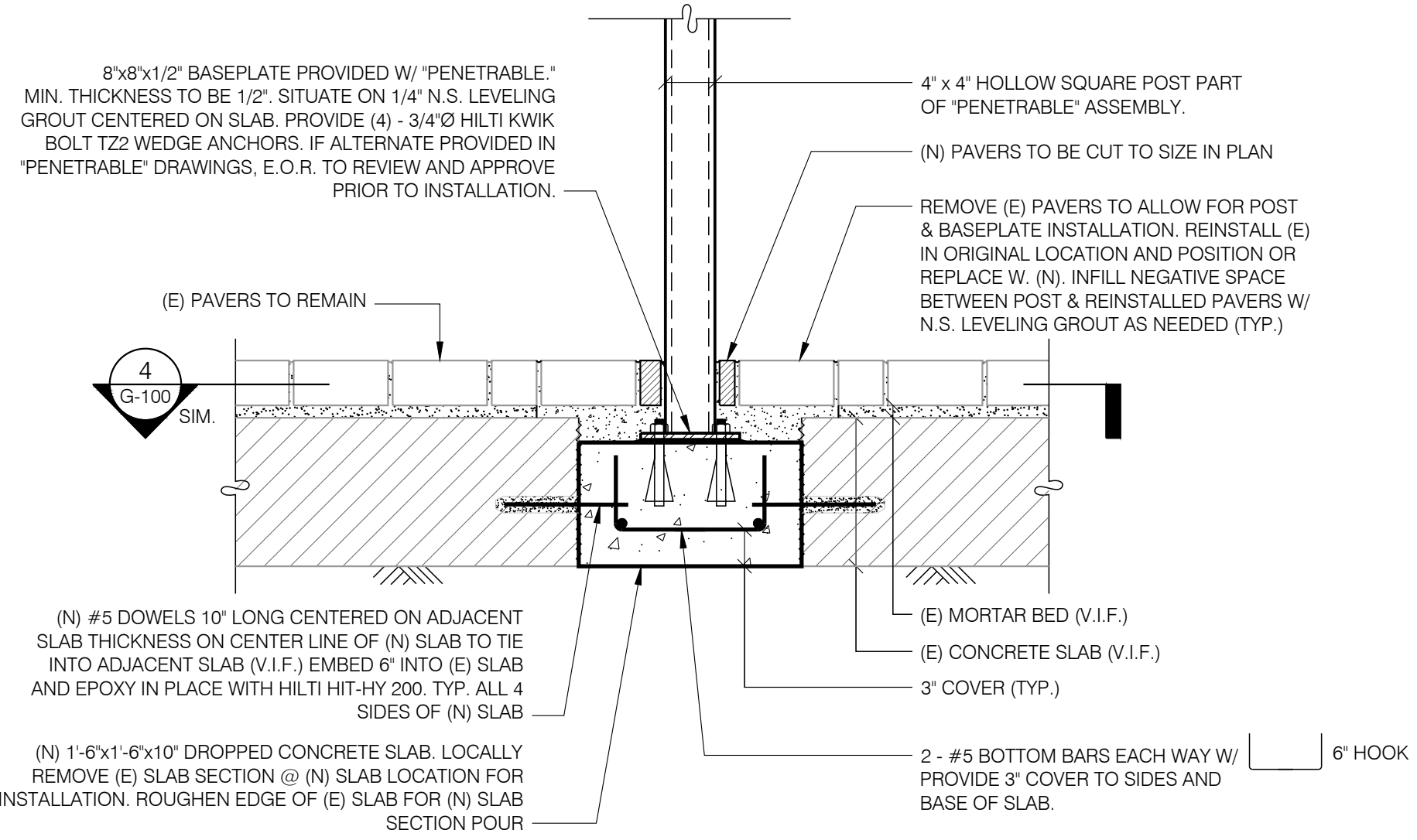
KEY PLAN

SCALE: 1/32" = 1'-0"



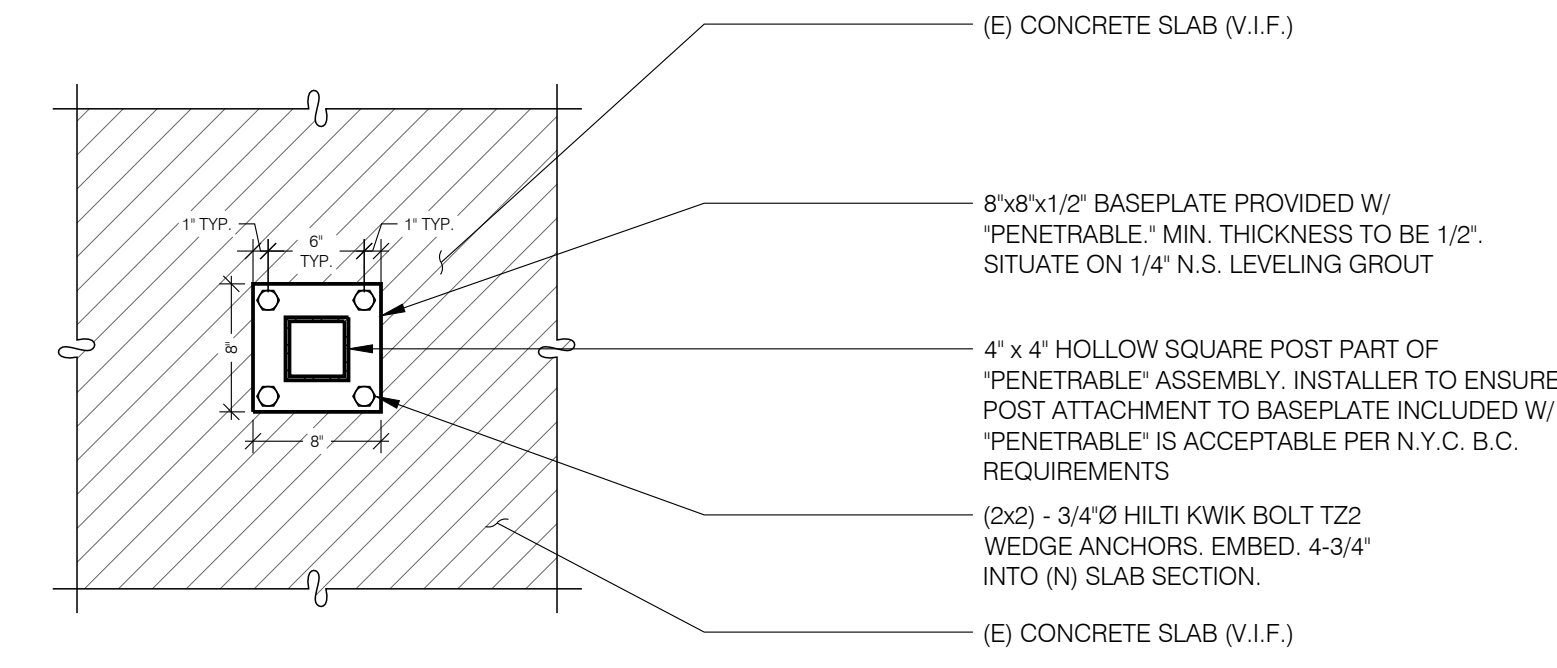
ATTACHMENT TO (E) SLAB

- SCALE: 1" = 1'-0"
- NOTE:
- IF REQUIRED LOAD IS NOT ACHIEVED IN PULL TEST, PROCEED WITH LOCAL SLAB REMOVAL AS SHOWN IN 2/A-100 AND ALTERNATE INSTALLATION VIA LOCAL SLAB REPLACEMENT SHOWN IN 3/G-100.
 - IF AN (E) BASEPLATE IS NOT INCLUDED IN 'PENETRABLE' ARTPIECE, INSTALL (N) 8"x8"x1/2" BASEPLATE IDENTICAL TO AS SHOWN ABOVE. WELD (E) STEEL POST TO BASEPLATE W/ 1/4" FILLET WELD ALL AROUND POST PERIMETER.



ALTERNATE: (N) SLAB ATTACHMENT

- SCALE: 1" = 1'-0"
- NOTE:
- COORDINATE ALTERNATE ATTACHMENT WITH ALTERNATE REMOVAL SCOPE SHOWN IN 2/A-100.
 - IF AN (E) BASEPLATE IS NOT INCLUDED IN 'PENETRABLE' ARTPIECE, INSTALL (N) 8"x8"x1/2" BASEPLATE IDENTICAL TO AS SHOWN ABOVE. WELD (E) STEEL POST TO BASEPLATE W/ 1/4" FILLET WELD ALL AROUND POST PERIMETER.



BASEPLATE ANCHORAGE DETAIL

- SCALE: 1" = 1'-0"
- NOTE:
- REFER TO NOTE-2 ON 2/G-100 & 3/G-100 IF NEW BASEPLATE INSTALLATION IS REQUIRED.
 - BASEPLATE ON EXISTING CONCRETE SLAB SHOWN. BASEPLATE ANCHORAGE AND DETAIL IDENTICAL IF SLAB AREA IS REMOVED AND REPLACED WITH NEW CONCRETE AS PER 3/G-100.

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 NEW YORK, NY 10032

DOB NOW JOB NUMBER: **M00863646-11**

DRAWING TITLE:

"PENETRABLE" ART PIECE CONFIGURATION PART PLANS AND ELEVATION

DATE: MARCH 2023

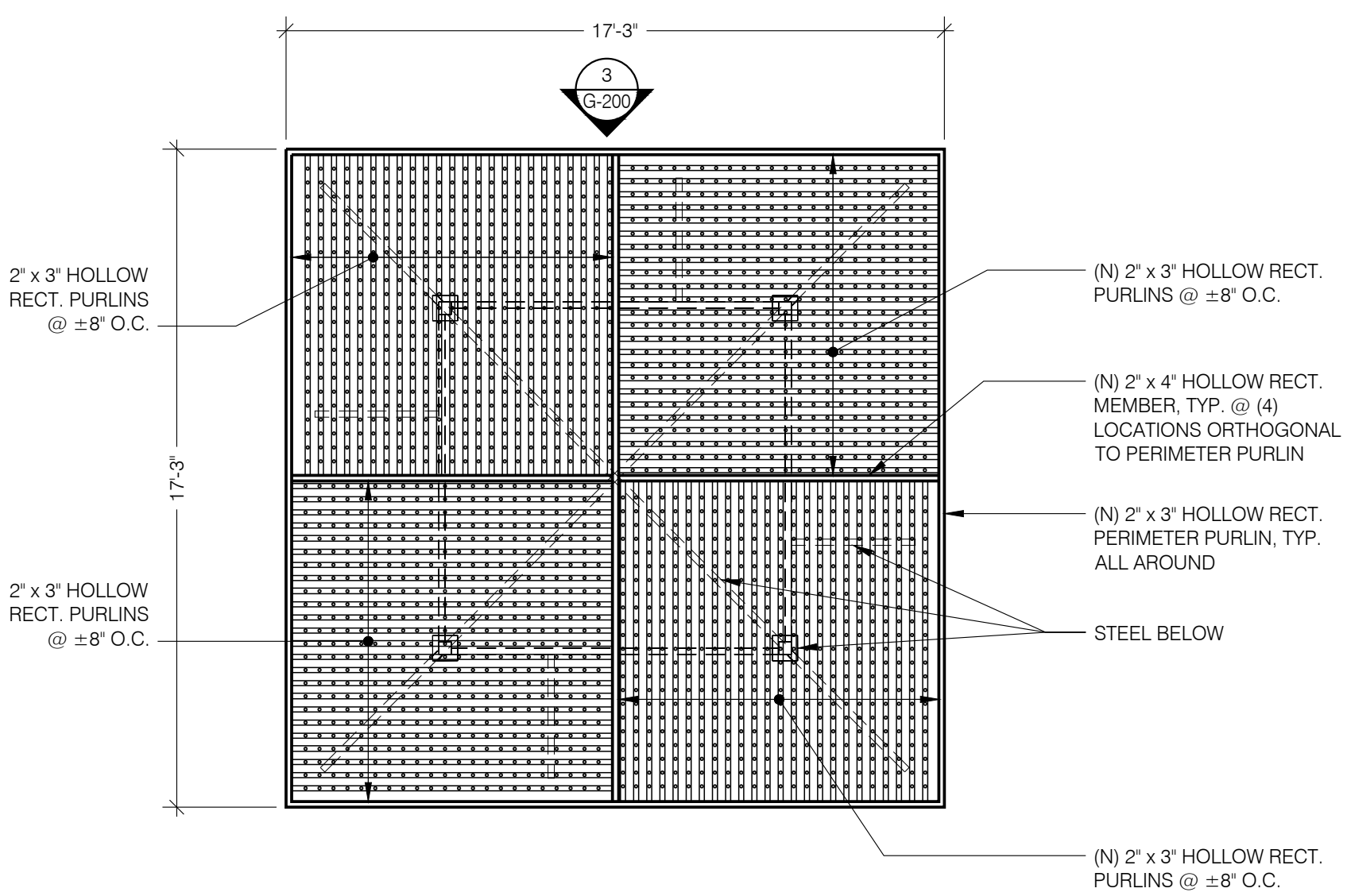
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DWG NO: **G-200.00**

DOB SHEET 05 OF 05

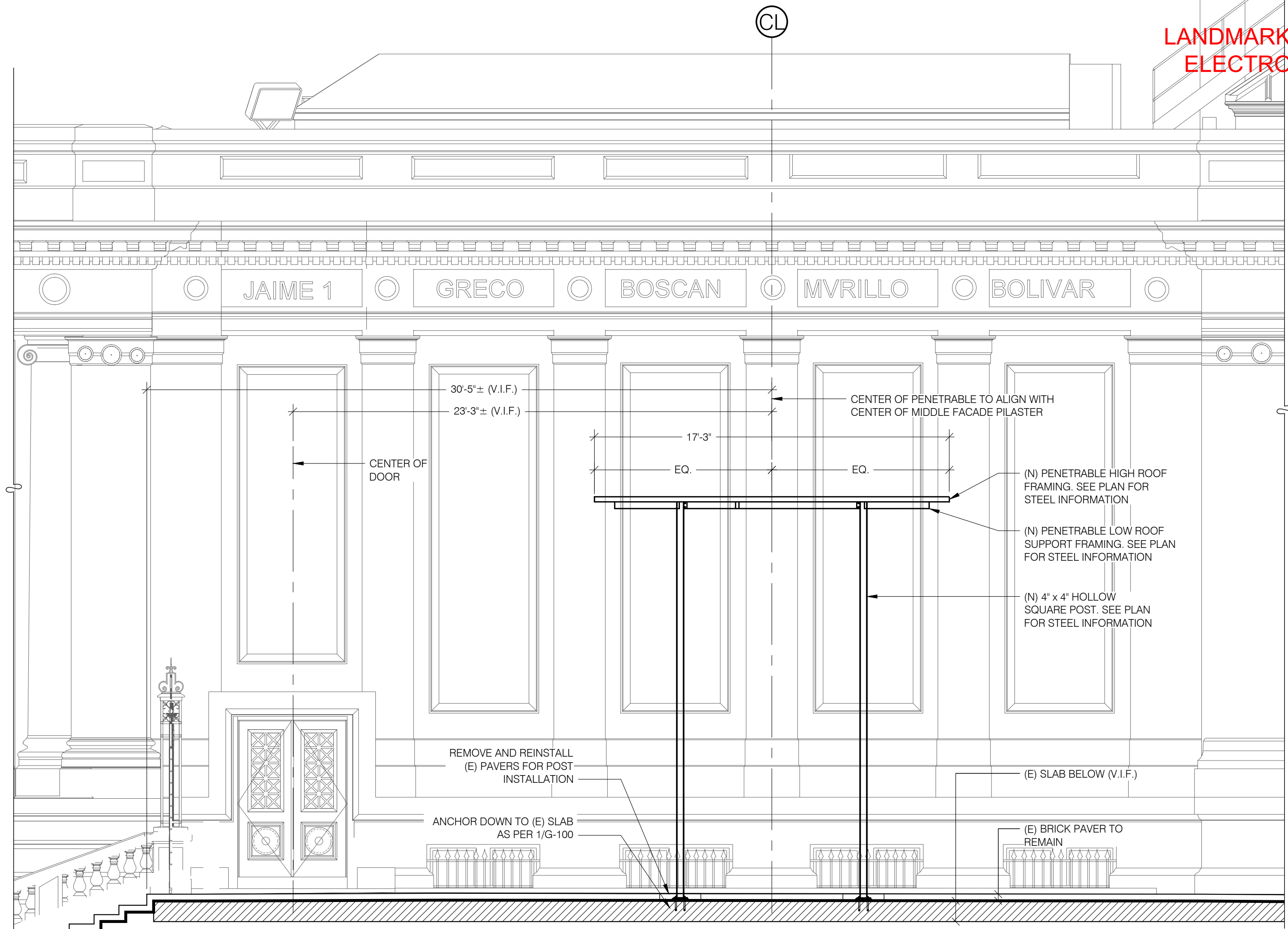


PENETRABLE HIGH ROOF PLAN

SCALE: 1/8" = 1'-0"

NOTE:

- (E) DENOTES EXISTING ELEMENT.
- (N) DENOTES NEW ELEMENT.
- REFER TO "PENETRABLE" DRAWINGS BY PARADIGMA FOR DIMENSIONS, FRAMING LOCATIONS, EXTERIOR PAINT SPECIFICATIONS, AND MEMBER SIZES AND SPACING, AND CONNECTION DETAILS FOR ARTPIECE. PENETRABLE DRAWINGS TO BE PROVIDED BY OWNERSHIP. INSTALLER OF "PENETRABLE" TO ENSURE INSTALLATION MEETS REQUIRED N.Y.C. BUILDING CODE REQUIREMENTS AS APPLICABLE.
- CONFIRM ALL DIMENSIONS WITH ARCHITECT AND EXISTING CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND IS RESPONSIBLE FOR ALL SHORING MEASURES REQUIRED.
- U.O.N. = UNLESS OTHERWISE NOTED.
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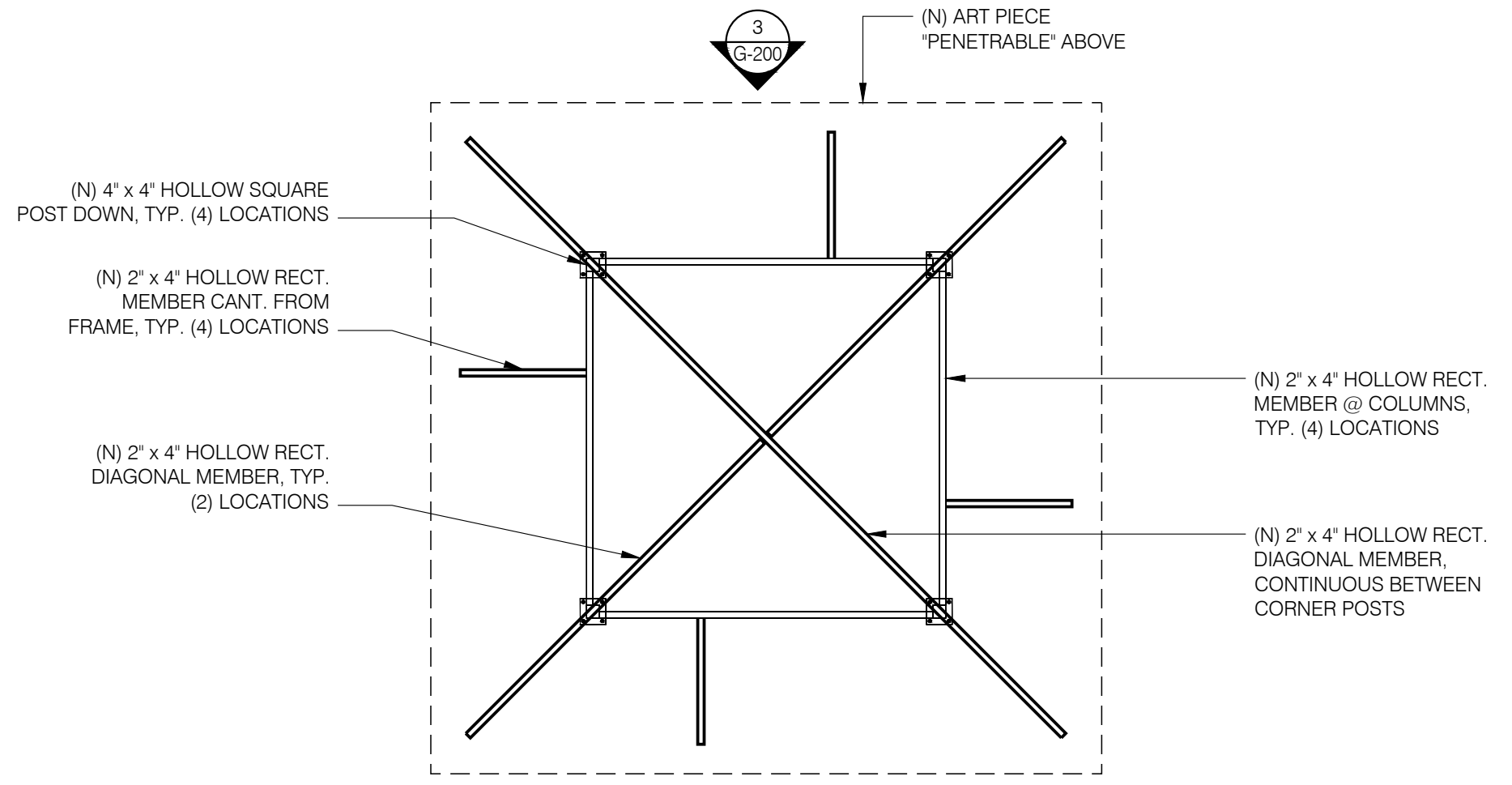


PENETRABLE LOCATION - SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

NOTE:

- (E) DENOTES EXISTING ELEMENT.
- (N) DENOTES NEW ELEMENT.
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- CONFIRM ALL DIMENSIONS WITH ARCHITECT AND EXISTING CONDITIONS.
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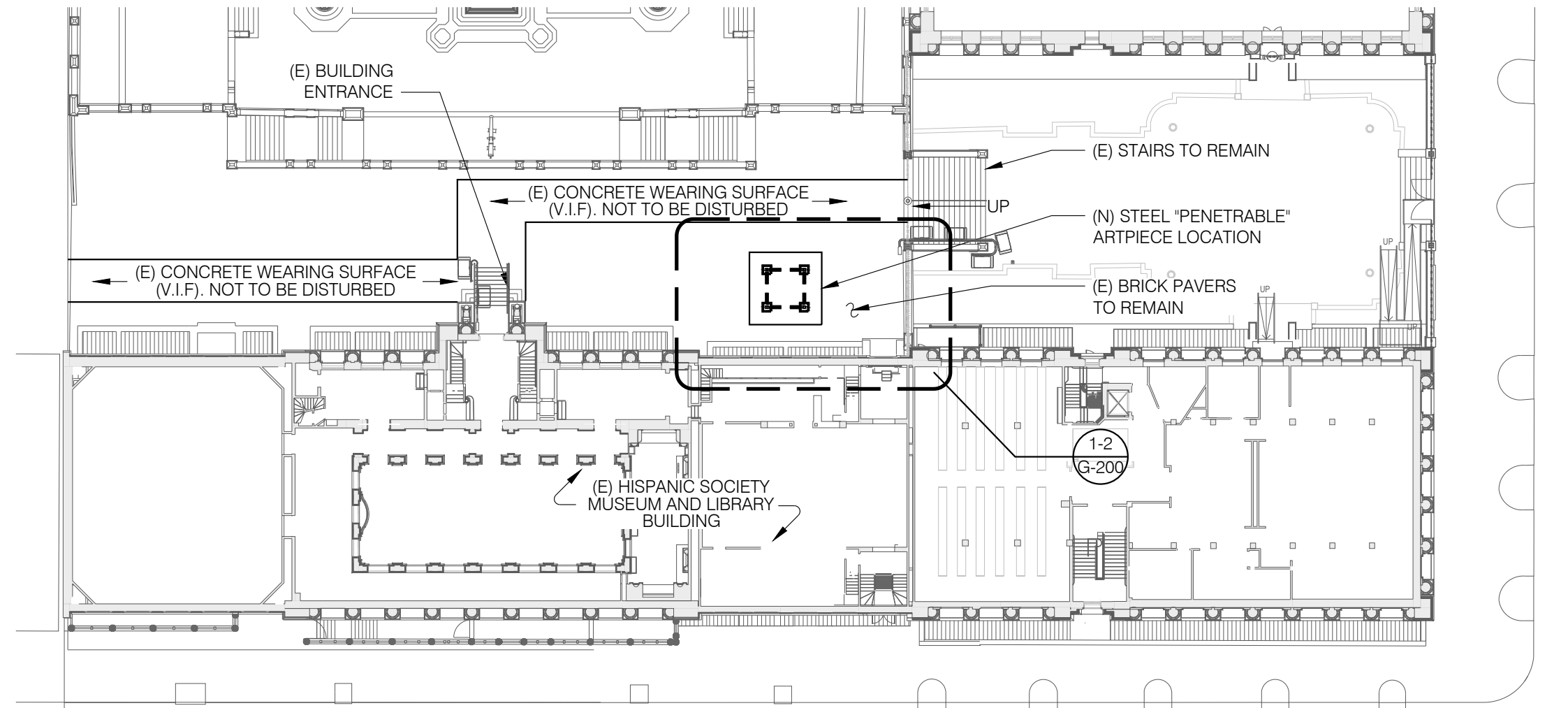


PENETRABLE LOW ROOF SUPPORT PLAN

SCALE: 1/4" = 1'-0"

NOTE:

- (E) DENOTES EXISTING ELEMENT.
- (N) DENOTES NEW ELEMENT.
- REFER TO "PENETRABLE" DRAWINGS BY PARADIGMA FOR DIMENSIONS, FRAMING LOCATIONS, EXTERIOR PAINT SPECIFICATIONS, AND MEMBER SIZES AND SPACING, AND CONNECTION DETAILS FOR ARTPIECE. PENETRABLE DRAWINGS TO BE PROVIDED BY OWNERSHIP. INSTALLER OF "PENETRABLE" TO ENSURE INSTALLATION MEETS REQUIRED N.Y.C. BUILDING CODE REQUIREMENTS AS APPLICABLE.
- CONFIRM ALL DIMENSIONS WITH ARCHITECT AND EXISTING CONDITIONS.
- CONTRACTOR SHALL PROVIDE AND IS RESPONSIBLE FOR ALL SHORING MEASURES REQUIRED.
- U.O.N. = UNLESS OTHERWISE NOTED.
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KEY PLAN

SCALE: 1/32" = 1'-0"

N (PLAN)

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