

The current proposal is:

Preservation Department – Items 4 & 5, LPC-24-07069 & LPC-24-07310

**712 Fifth Avenue (aka 712-716 Fifth Avenue) – Rizzoli and Former
Coty Building – Individual Landmark
Borough of Manhattan**

Note: this is a Public Meeting item. No public testimony will be received today as the hearing on this item is closed



HARRY WINSTON

716 FIFTH AVENUE

APRIL 16, 2024

kpa

Landlord

Paramount Group
1633 Broadway Floor 18
New York, NY 10019
Owner's Rep

Architect

Kenneth Park Architects
360 Lexington Avenue, 7th Floor
New York, NY 10017

Kenneth Park, AIA, RA
Architect / Principal
Tel: (212) 599 0044 Ext. 215
E-Mail: Kpark@Kennethpark.com

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Project Director
Tel: (212) 599-0044 Ext. 224
E-Mail: Cfiorello@Kennethpark.com

Landmarks

Higgings Quasebarth & Partners LLC
Cas Stachelberg / WW Principal
Preservation and Rehabilitation of Historic Buildings

Kramer Levin Naftalis & Frankel LLP
Valerie Campbell / Partner
Land Use & Zoning Advisor

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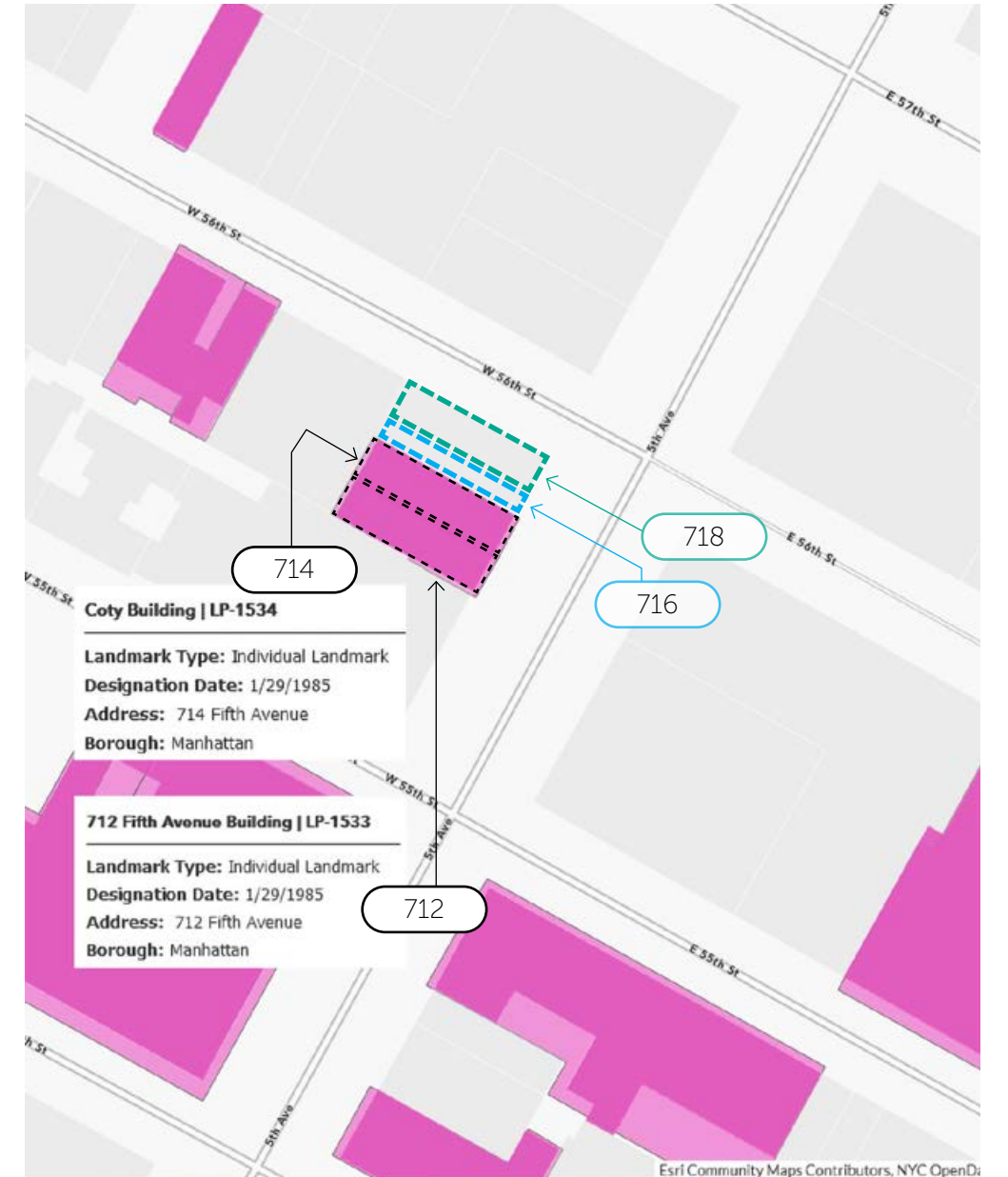
712

714

716

718

From left to right: Rizzoli Building (712 Fifth Ave), Coty Building (714 Fifth Avenue), 716 Fifth Ave, 718 Fifth Ave



Landmarks Location Map



ca. 1910
New York
Public Library



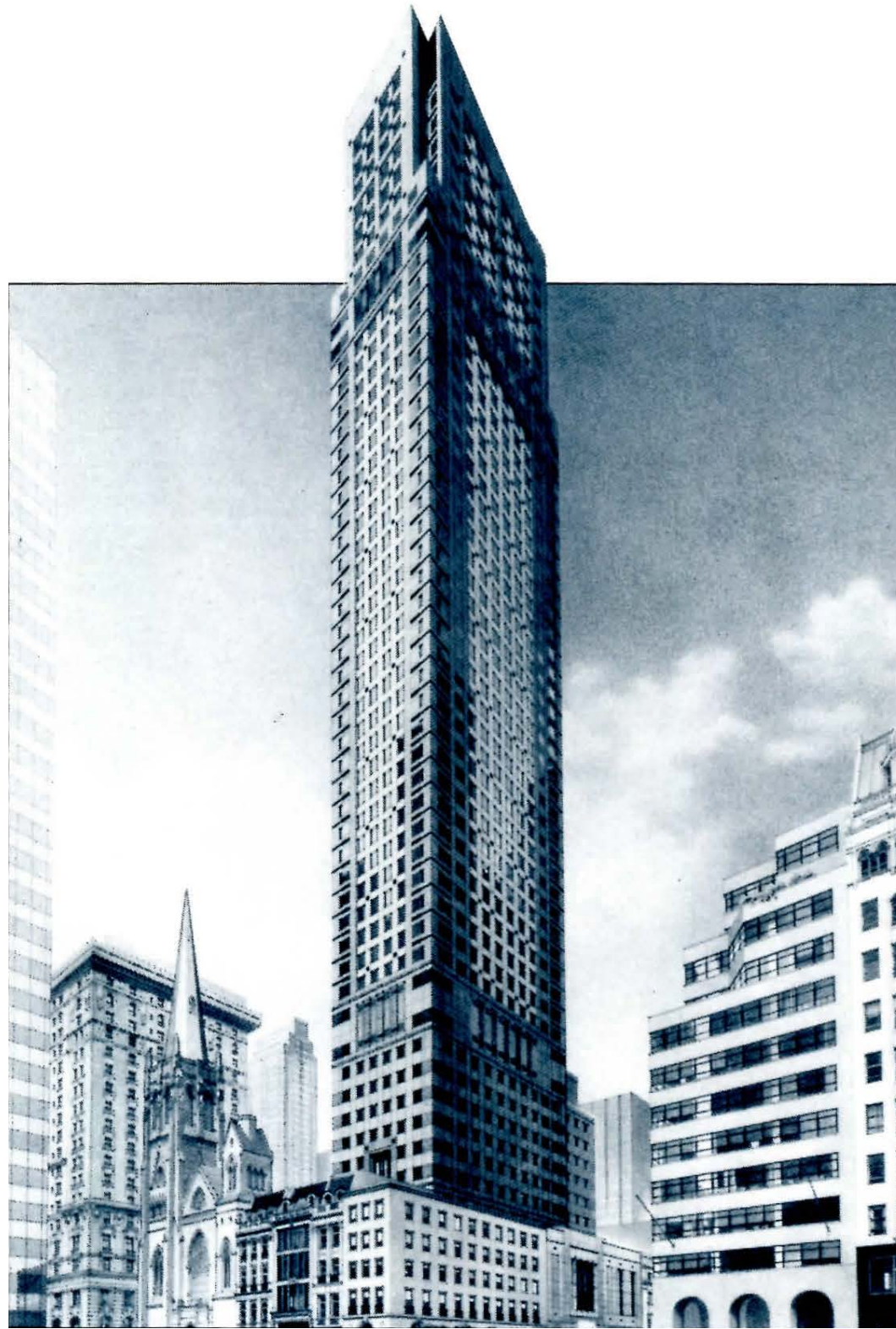
1911
New York
Public Library



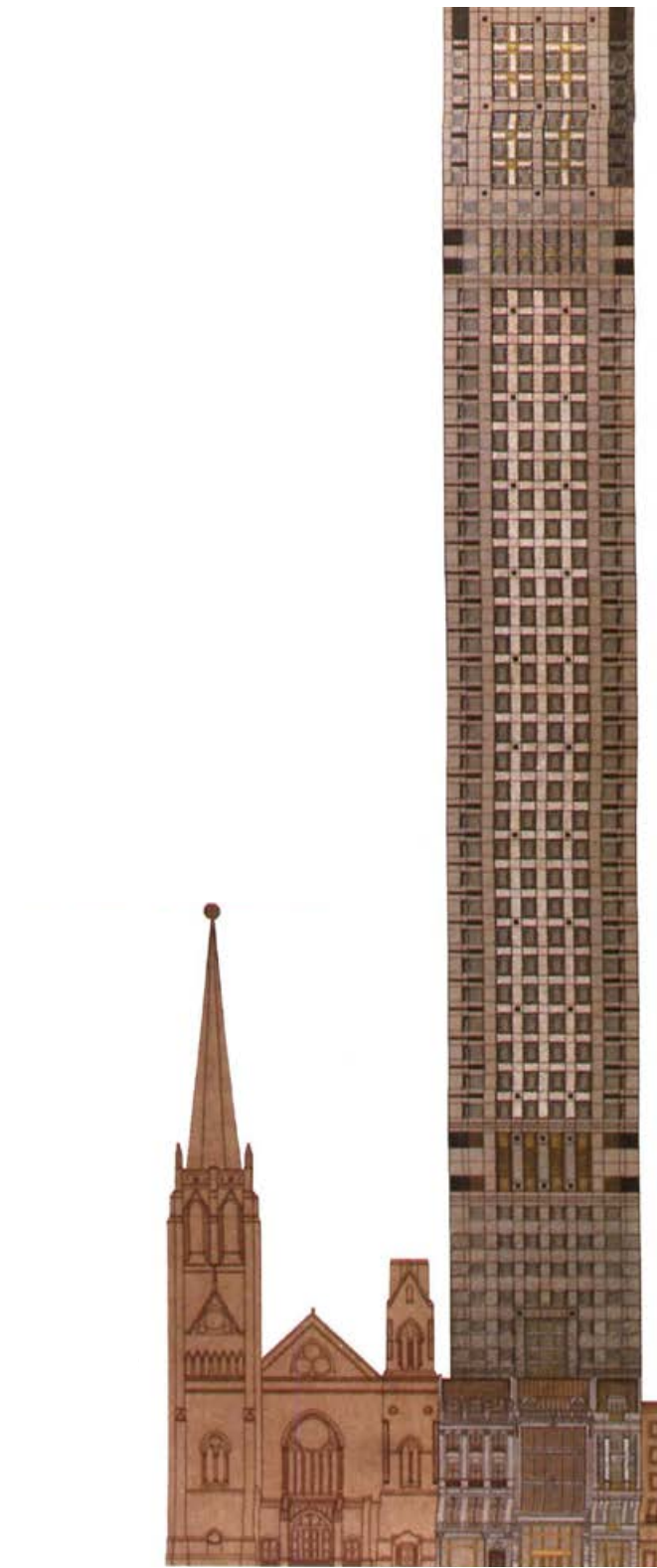
1937
Wurts via Chronobook



1960
Office of Metropolitan
History



1985, Metropolis



1991, AIA Journal

LANDMARKS PRESERVATION COMMISSION

20 VESEY STREET, NEW YORK, NEW YORK 10007

553-1100

Gene A. Norman
CHAIRMAN

July 10, 1985

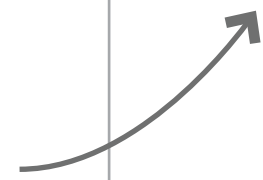
Steadsol Fifth Associates
c/o Solomon Equities, Inc.
400 Madison Avenue
New York, New York 10017

LPC - 851587
Notice of Approval 85-0028
708, 712, 714, 716 Fifth Avenue,
2, 4, 6, 8 West 56th Street
The Rizzoli Building (LP - 1533)
712 Fifth Avenue
The Former Coty Building (LP - 1534)
714 Fifth Avenue
Block 1271, Formerly Lots 30, 38, 39,
40, 43, 44, 45.
Borough of Manhattan

cladding materials of the tower are in the same masonry vocabulary as the landmarks, but the polychrome detailing of the new tower clearly differentiates it from the landmark buildings; that the facades of the landmark buildings would continue to retain the character of townhouse scale buildings in a commercial usage; that the proposed ground floor treatment of the Rizzoli Building reflects traditional storefront proportions and configuration; and that the preservation of both the Rizzoli and Former Coty facades including the careful conservation of the Rene Lalique decorative glass windows, will preserve their significant architectural features. The Commission also found that the design of the new building includes the replacement of 716 Fifth Avenue with a structure which succeeds in retaining the scale and massing of the two adjacent landmark buildings and which maintains a facade in the same plan along Fifth Avenue; and that the proposed atrium for the Former Coty Building would increase the visibility, appreciation, and accessibility of the Lalique decorative glass windows. On this basis, the Commission voted to approve the proposal.

July 10, 1985 LPC Notice of Approval:

“The Commission also found that the design of the new building includes the replacement of 716 Fifth Avenue with a structure which succeeds in retaining the scale and massing of the two adjacent landmark buildings and which maintains a facade in the same plan (sic) along Fifth Avenue...”





LANDMARKS PRESERVATION COMMISSION

20 VESEY STREET, NEW YORK, NEW YORK 10007

553-1100

Gene A. Norman
CHAIRMAN

June 12, 1987

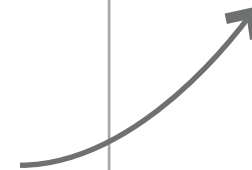
Honorable Sylvia Deutsch, Chairperson
New York City Planning Commission
Two Lafayette Street
New York, New York 10007

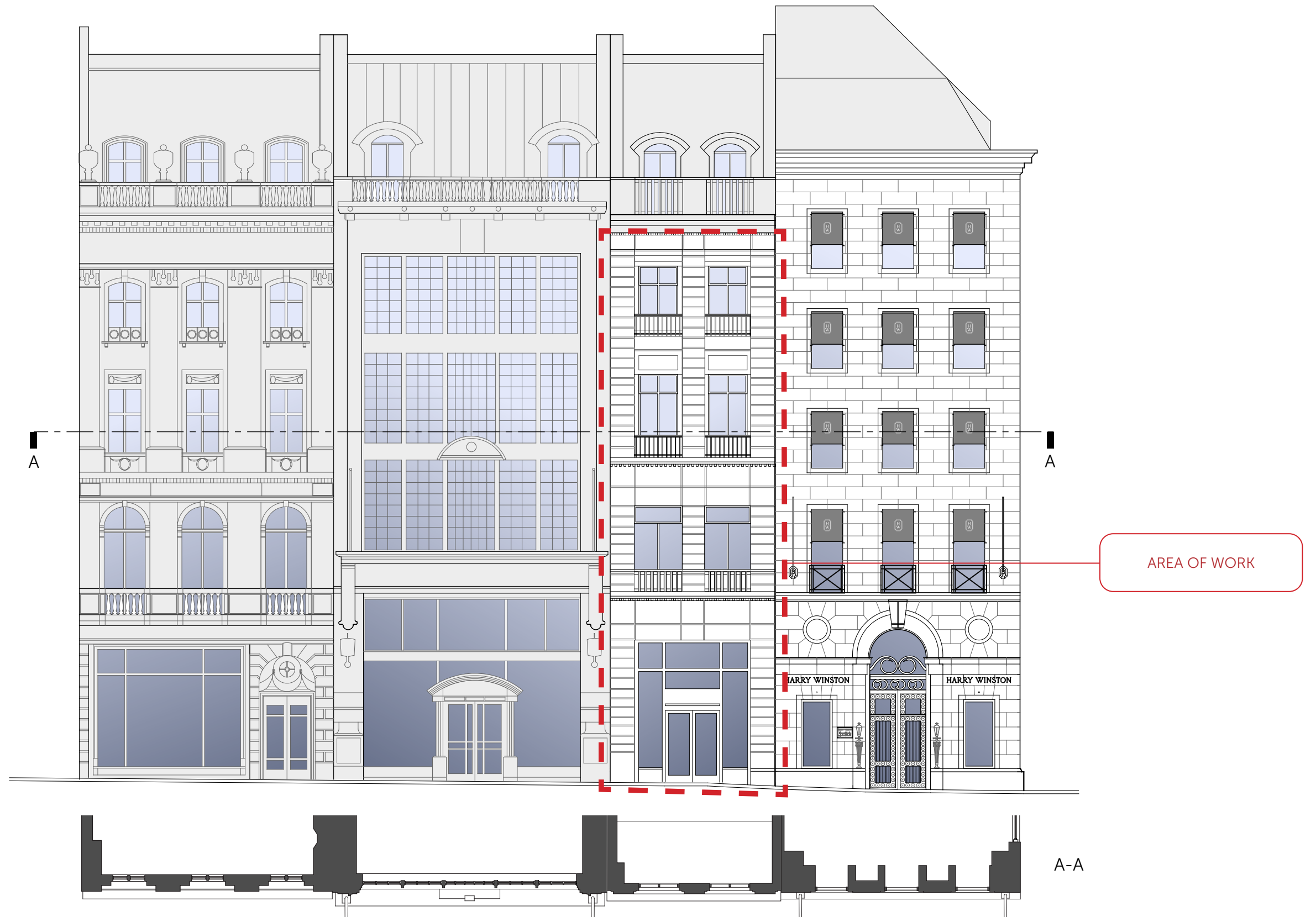
Re: Special Permit (C860200(A)ZSM)
LPC 95-1588
MZR 85-0004
708,712,714,176 Fifth Avenue
2,4,6,8 West 56th Street
The Rizzoli Building (LP-1533)
712 Fifth Avenue
The Former Coty Building (LP-1534)
714 Fifth Avenue
Block 1271, Lots 30,38,39,40,
43,44 and 45
Borough of Manhattan

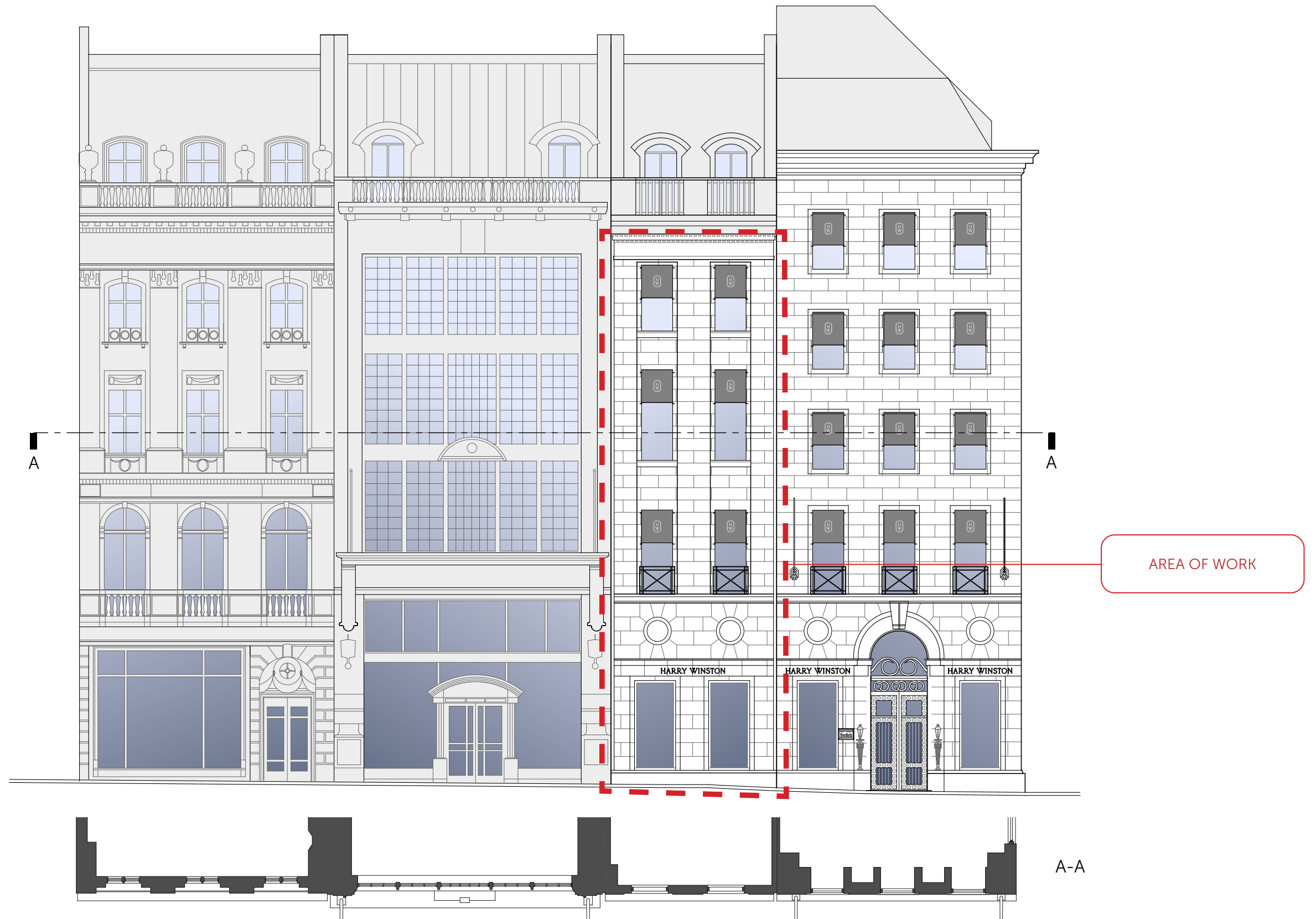
The modifications to the design of the tower which reflect the programmatic changes were found to be appropriate; the designs for the storefronts and the design of 716 Fifth Avenue, which have also been refined, were found to further the perception of 712, 714 and 716 Fifth Avenue as separate, discrete structures.

June 12, 1987 Special Permit/MZR:

“...the designs for the storefronts and the design of 716 Fifth Avenue, which have also been refined, were found to further the perception of 712, 714 and 716 Fifth Avenue as separate, discrete structures.”









PREVIOUSLY PROPOSED



CURRENTLY PROPOSED



PREVIOUSLY PROPOSED



CURRENTLY PROPOSED



PREVIOUSLY PROPOSED



CURRENTLY PROPOSED



PREVIOUSLY PROPOSED



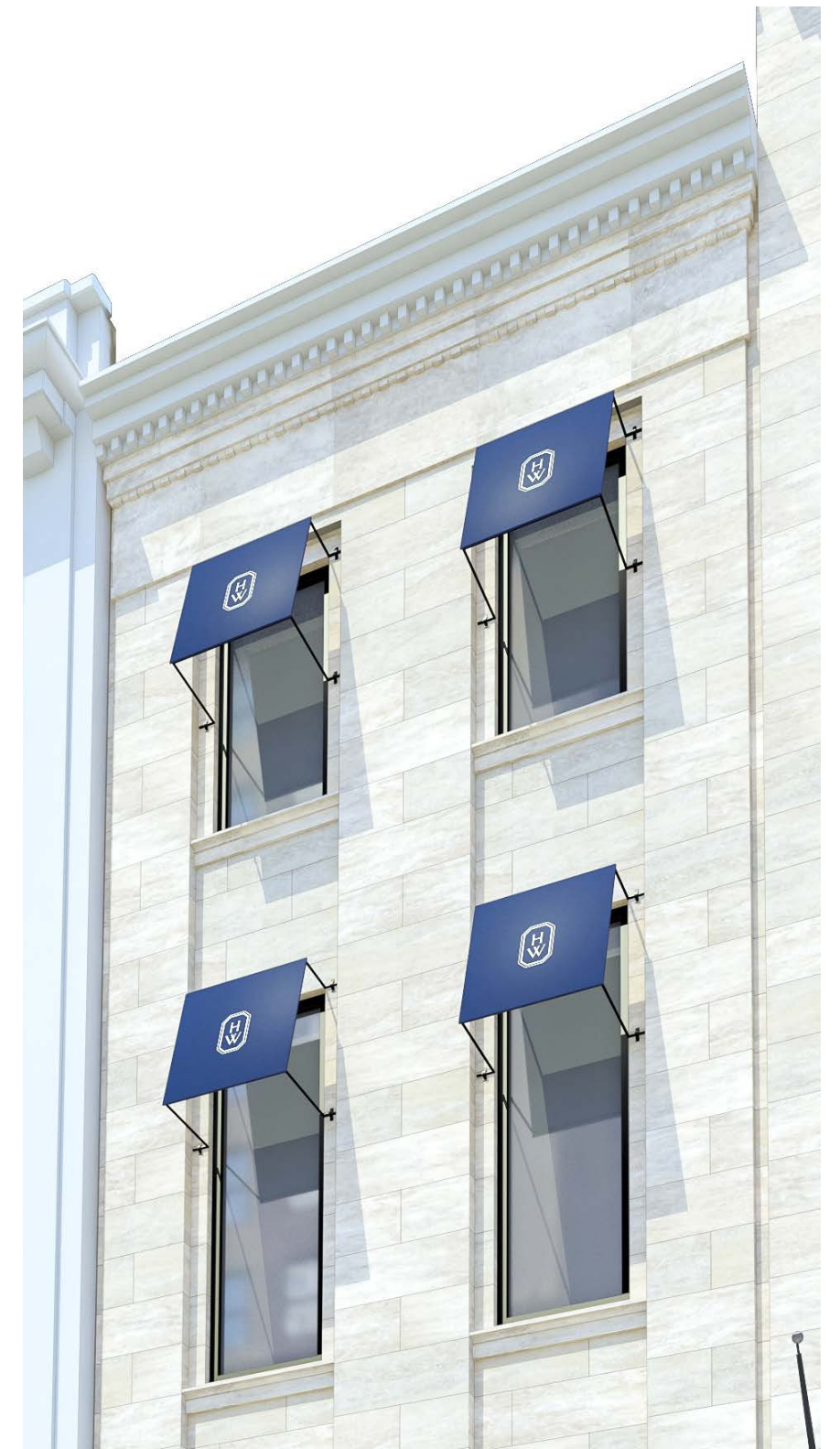
CURRENTLY PROPOSED



RENDERED VIEW OF WINDOW AWNING AND RAIL



RENDERED VIEW OF RELATIONSHIP BETWEEN 714 & PROPOSED 716



RENDERED VIEW OF PROPOSED CORNICE & SILLS



kpa

CURRENTLY PROPOSED RENDERING


HARRY WINSTON
716 FIFTH AVENUE, NEW YORK, NY

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Borough of Manhattan**

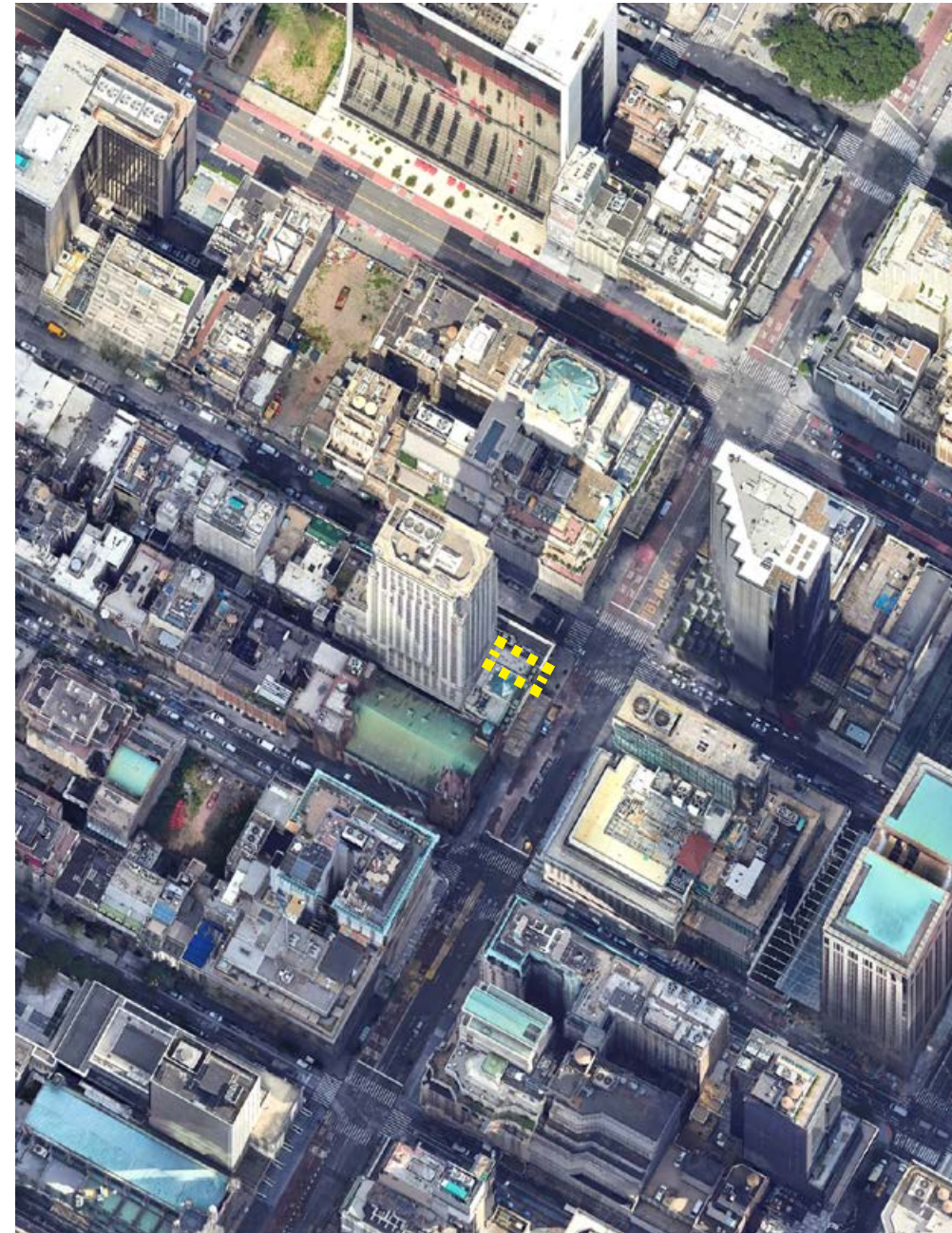
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APPENDIX



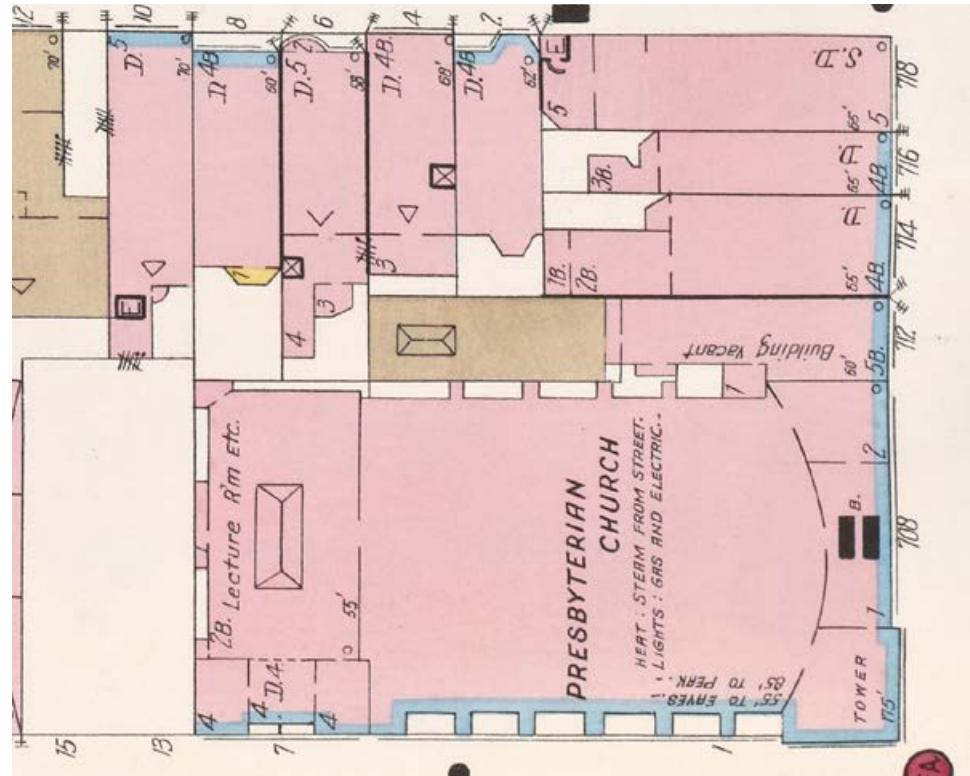


NYC ZONING MAP

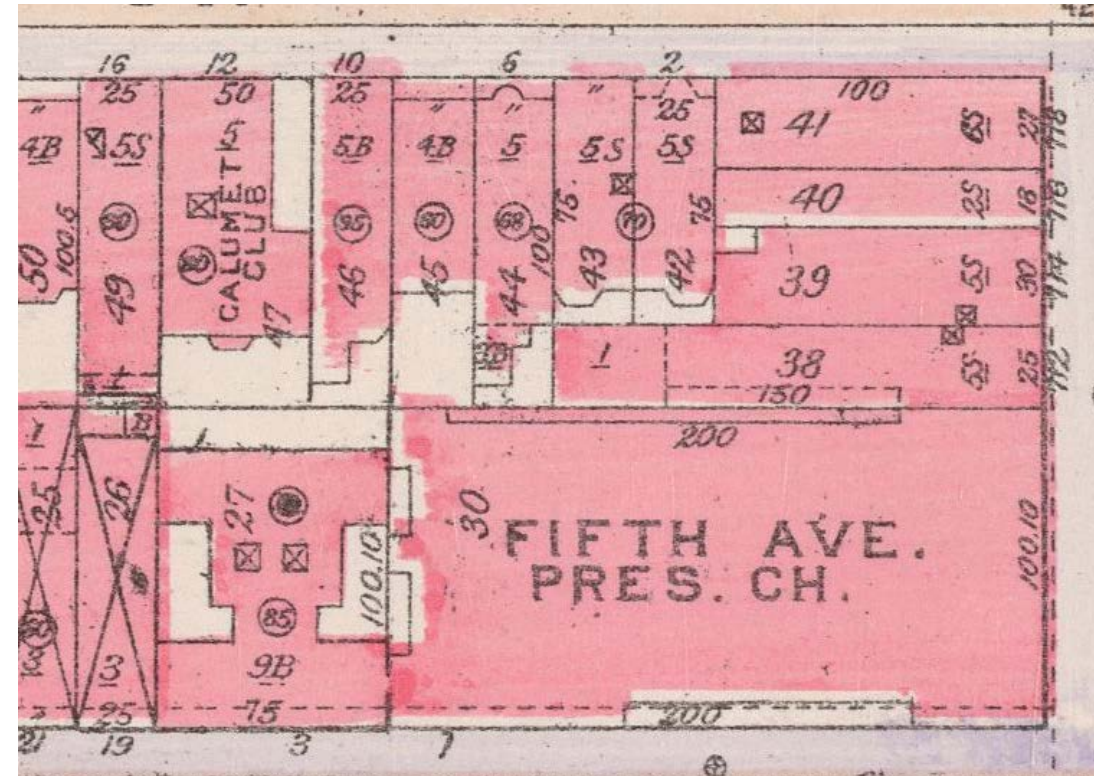


AERIAL MAP

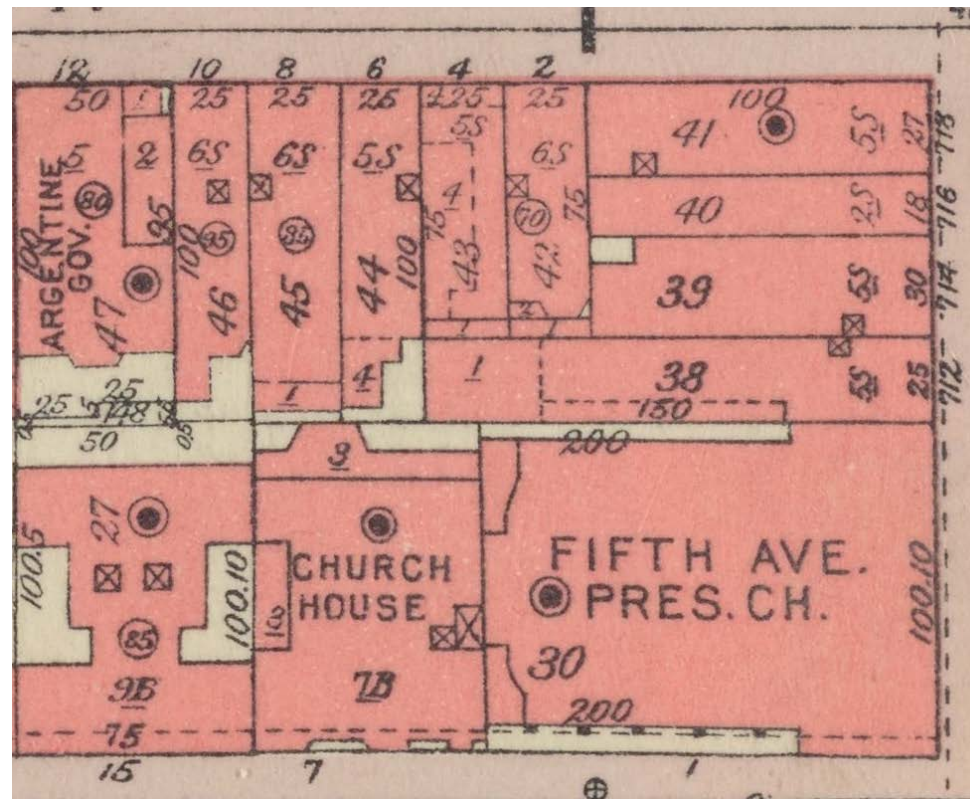




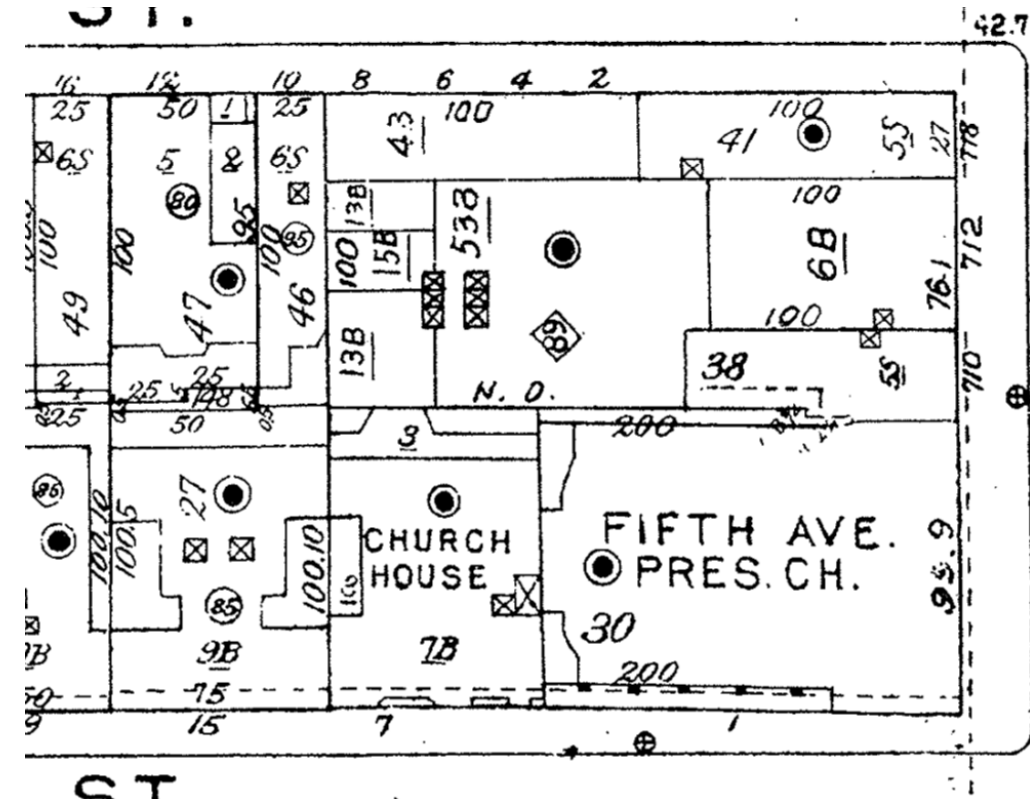
1907
Sanborn



1916
Sanborn



1956
Bromley

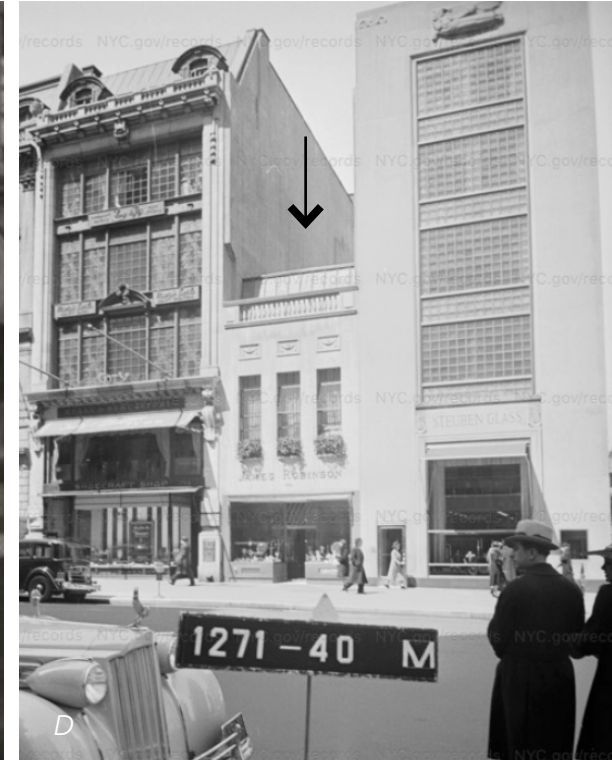


ca. 1985
Sanborn

A
1898, Museum of
the City of New York
1872: built as part of
714-718 Fifth / 2-4 W.
56th St.



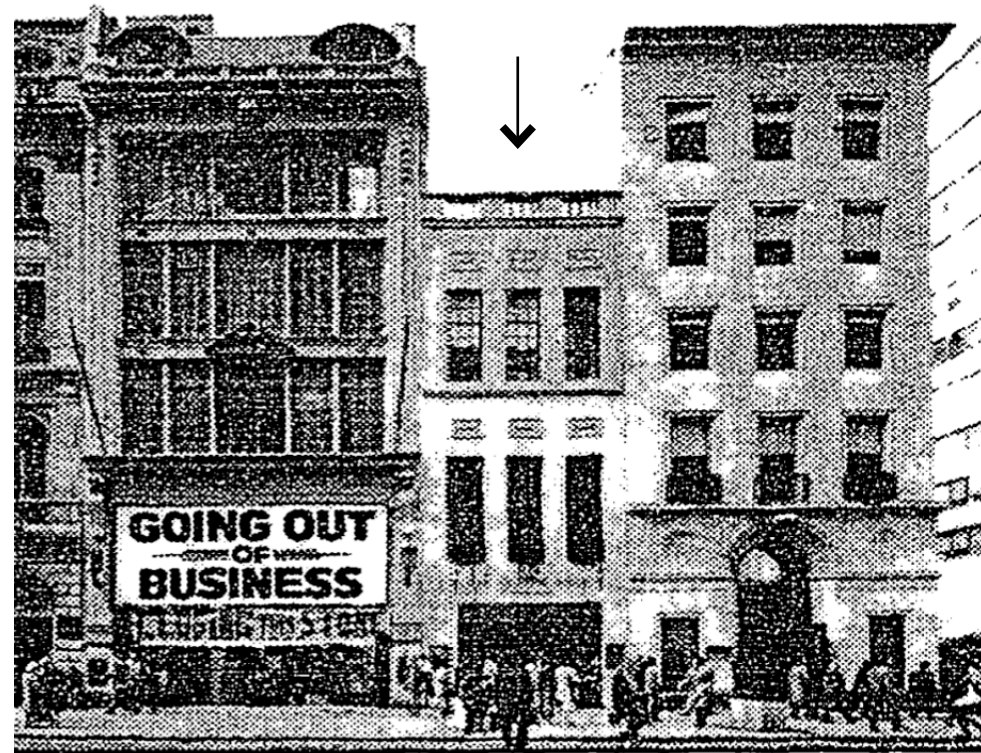
B
1912, Architectural
Record
1910: New two-story
building designed by
Maynicke & Franke
for jewelers



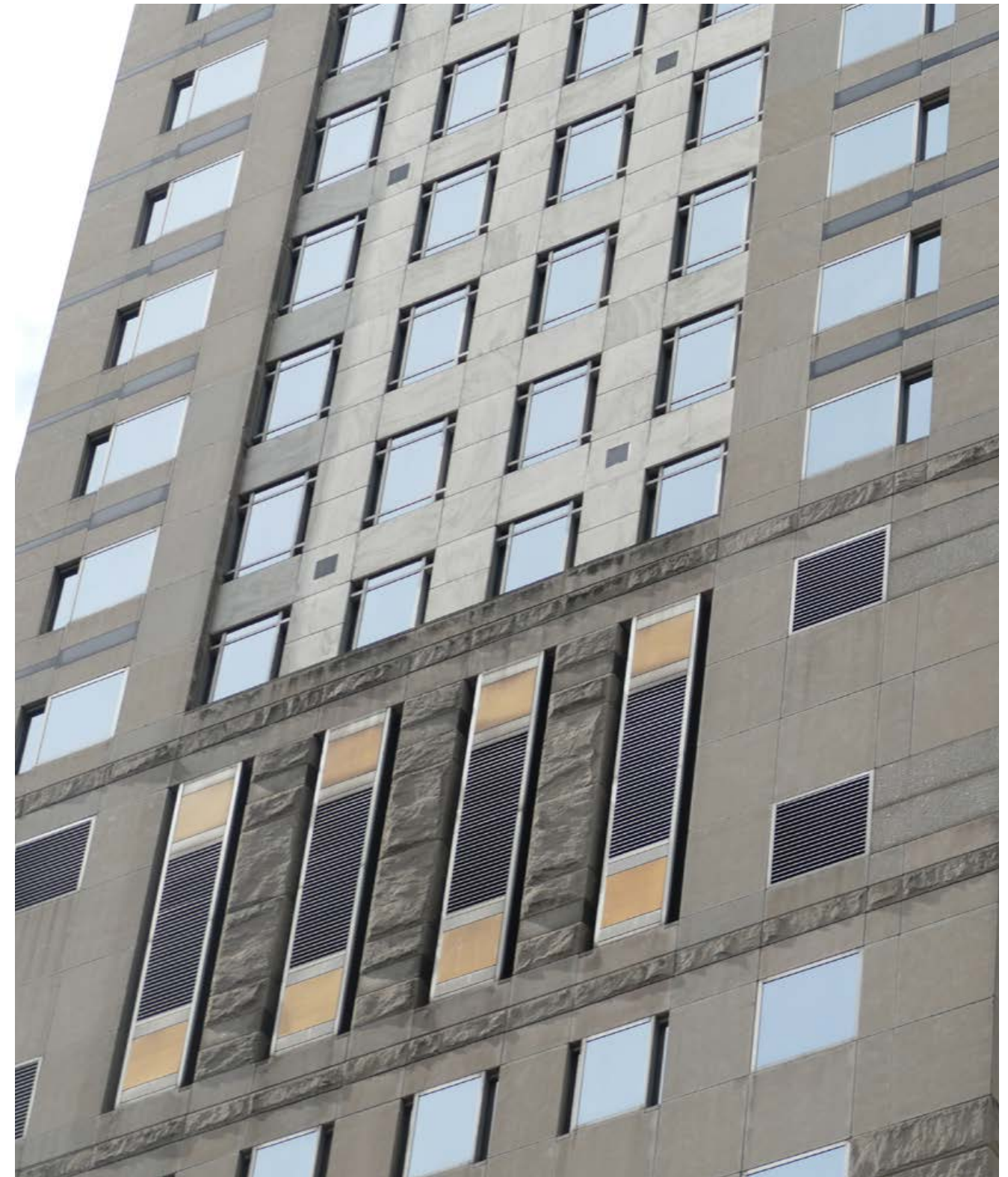
C
ca. 1920s, MCNY
1916: re-clad by
Holmes & Winslow
for bank use

D
ca. 1940 Tax Photo
1939: re-clad by Van
G. Pruit for antiques
store

E
December 12, 1984
New York Times
1982: Third story
added



F
1992, Architectural
Record
1990: New Beyer Blinder Belle
building constructed







AREA OF WORK



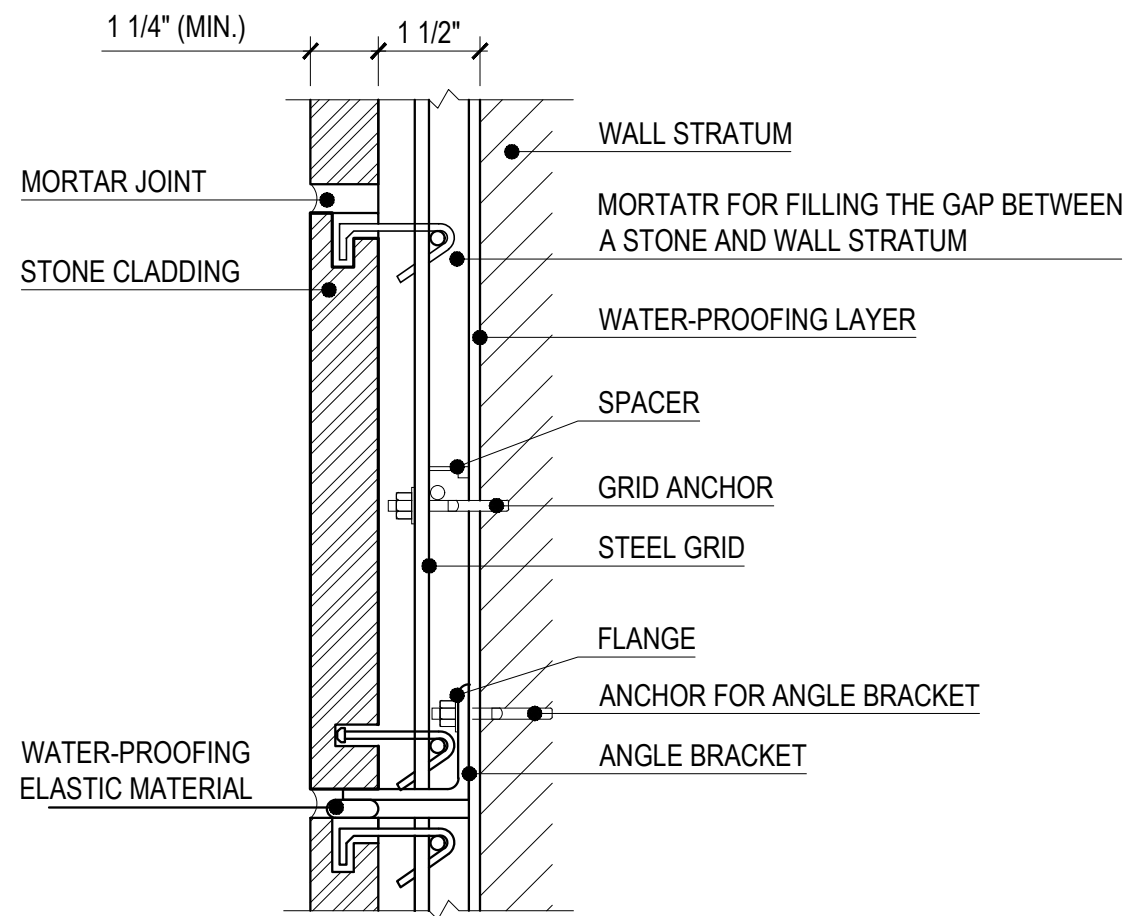
kpa

5TH AVENUE
RENDERED PROPOSED ELEVATION


HARRY WINSTON
716 FIFTH AVENUE, NEW YORK, NY

24

APRIL 16, 2024



1 | TRAVERTINE ANCHORING DETAIL (TYPICAL)



2 | TRAVERTINE (TO MATCH 718 5TH AVE)



4 | GRANITE BASE (TO MATCH 718 5TH AVE)



3 | SUNBRELLA NAVY BLUE AWNING (TYP.)



5 | BLACK METAL (TO MATCH 718 5TH AVE)



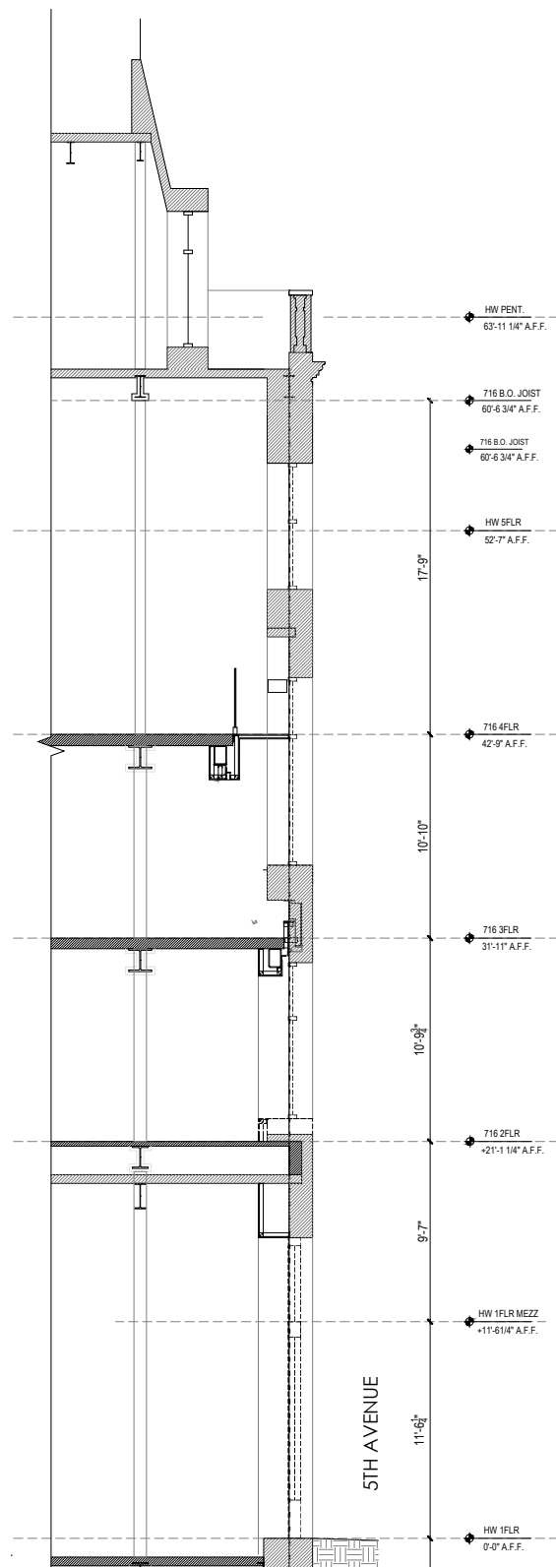
CIRCULAR STONE PATTERN INLAY CLOSEUP, TO MATCH SIMILAR ON 718



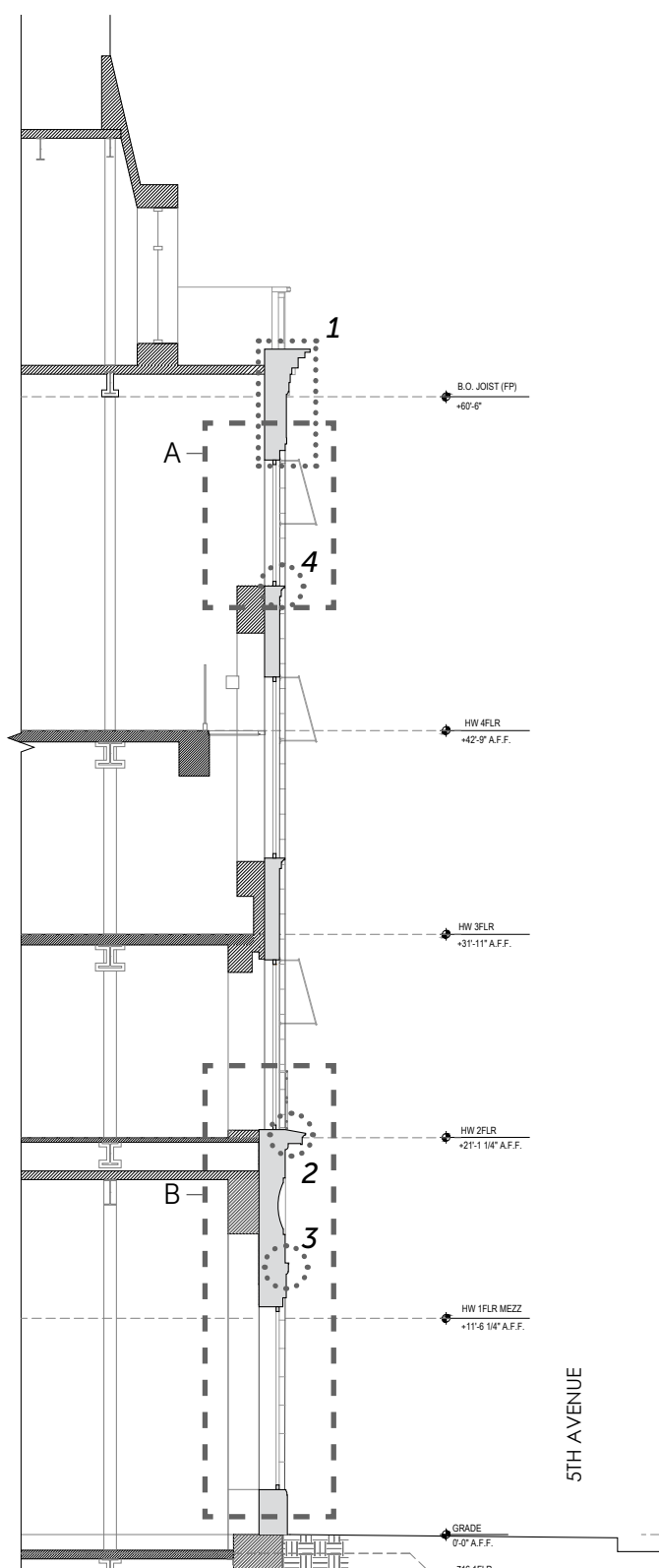
4" WIDE X 2" DEEP STONE REVEAL BETWEEN FACADES, DETAIL CLOSEUP



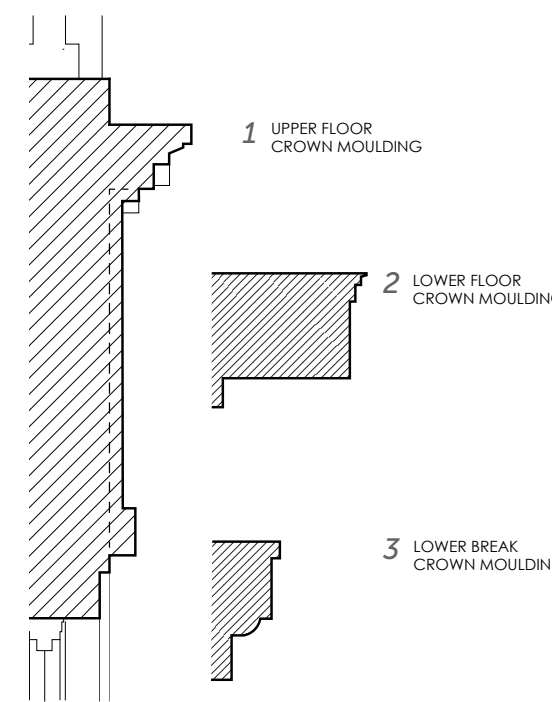
RENDERED VIEW OF RELATIONSHIP BETWEEN 714 & PROPOSED 716 - DETAIL AT BASE



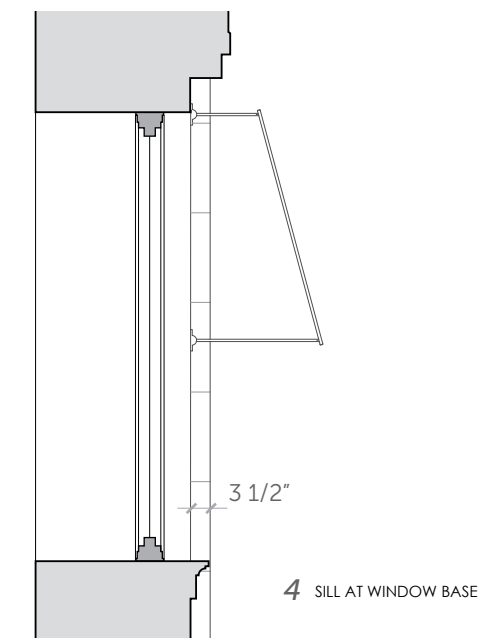
B-B SECTION EXISTING



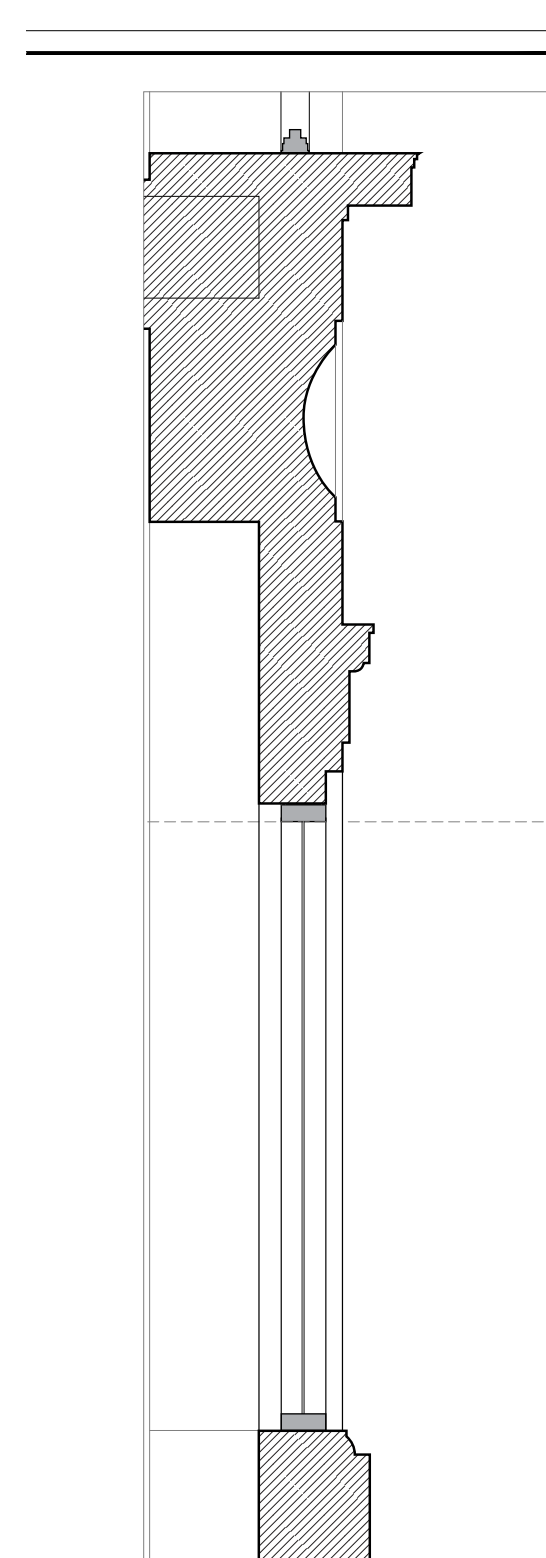
B-B SECTION PROPOSED



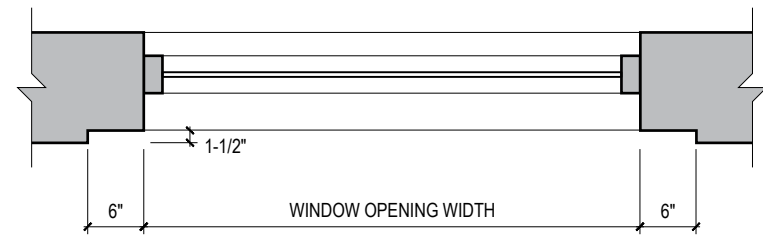
1,2,3 | MOLDING PROFILES



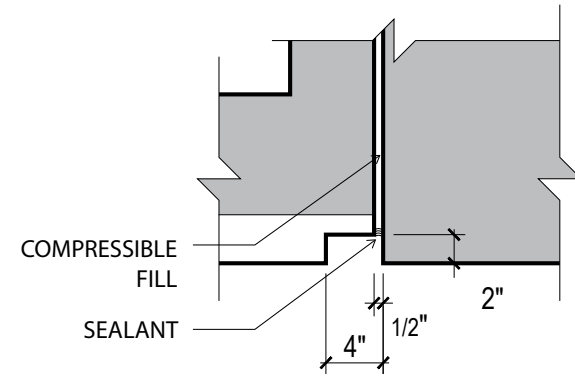
A | UPPER FLR. WDW. DET. SECTION



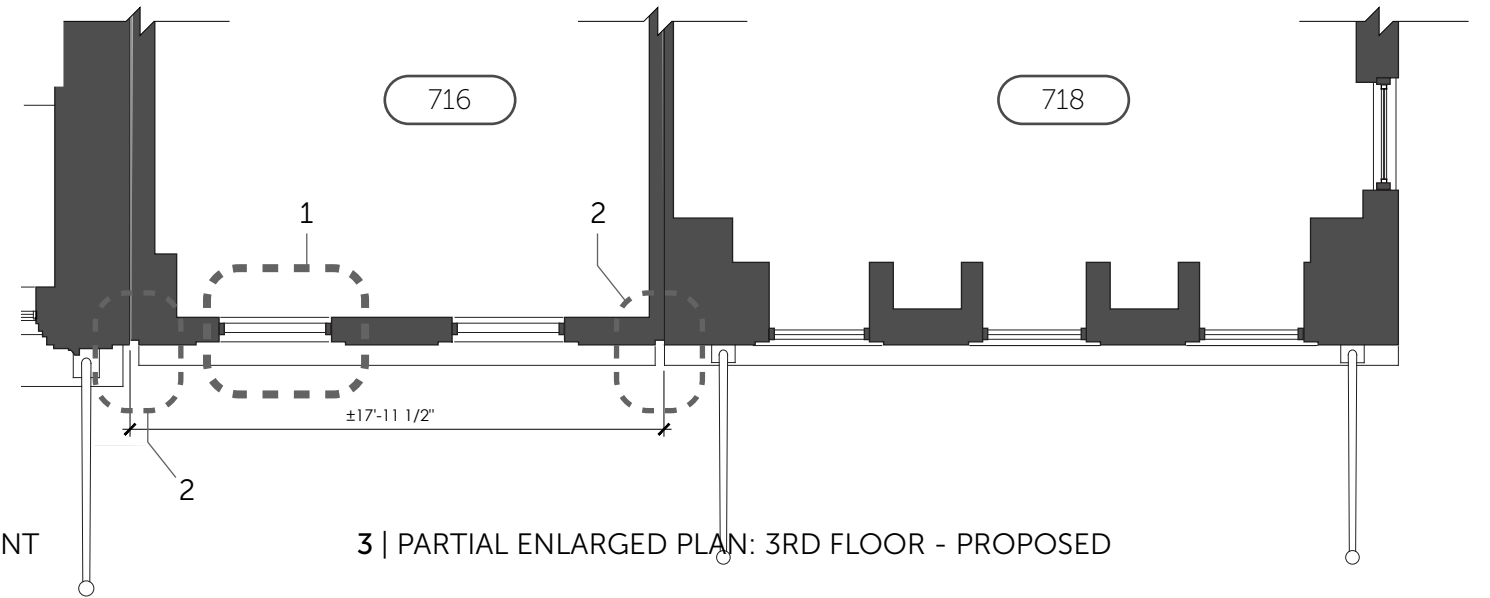
B | STORE FRONT SECTION DETAIL



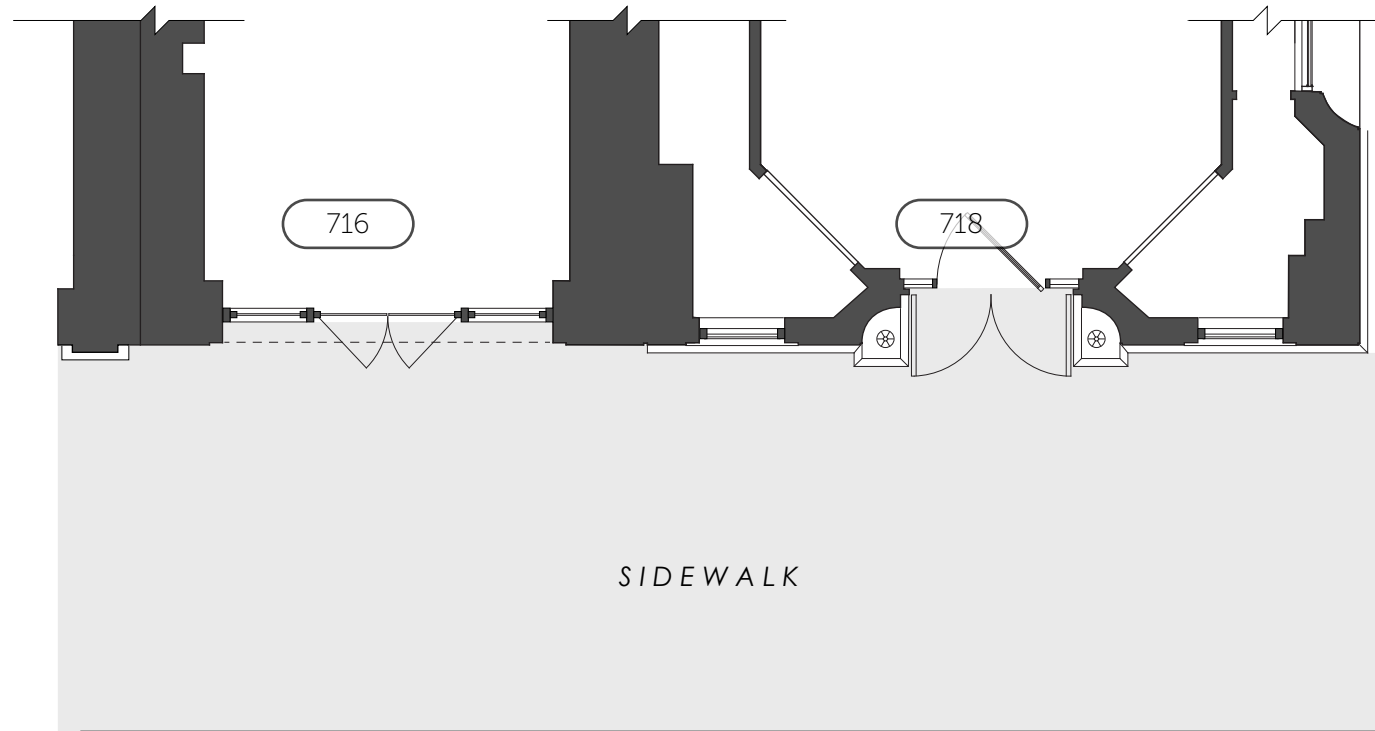
1 | TYPICAL DETAIL: 6" RECESSED WINDOW TRIM



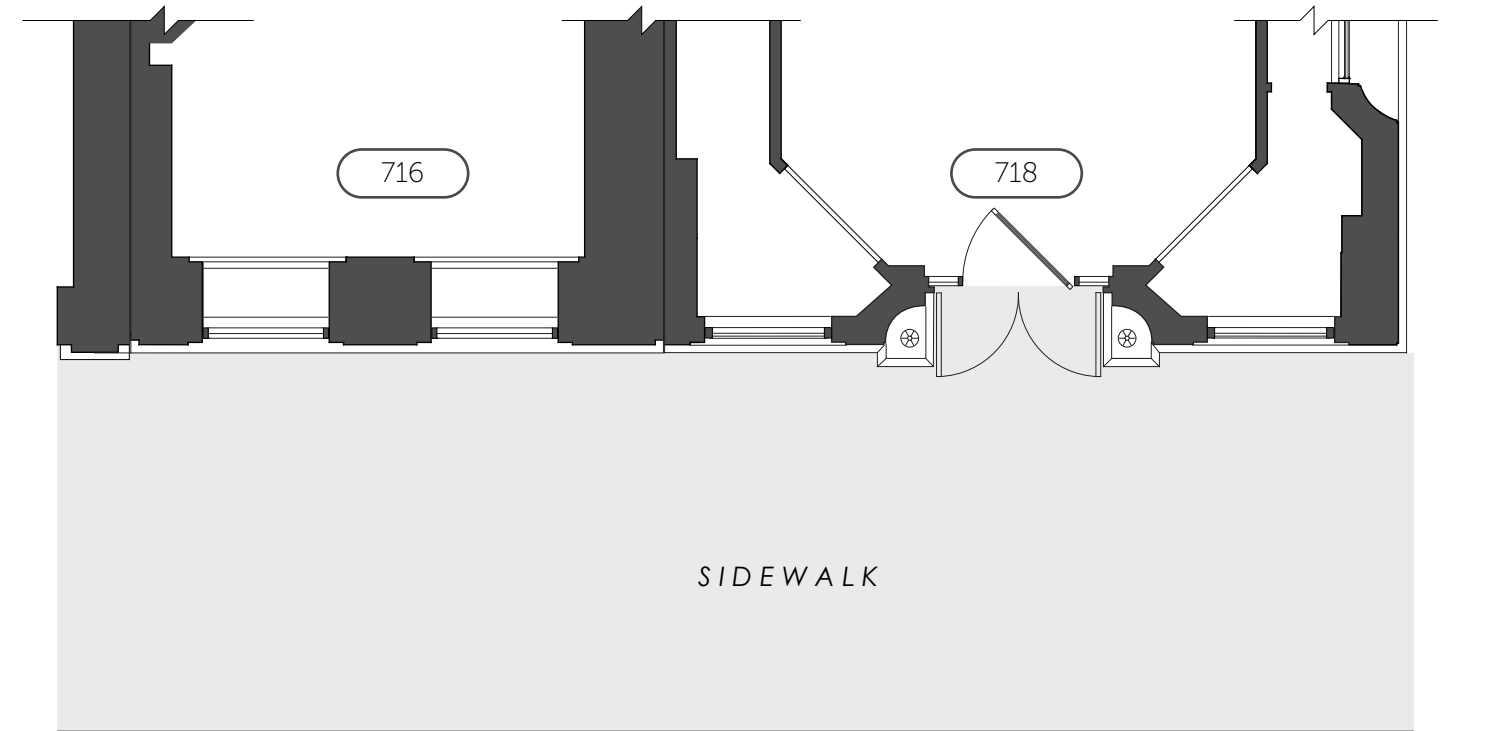
2 | WALL REVEAL DETAIL WITH EXPANSION JOINT
4" WIDTH x 2" DEPTH



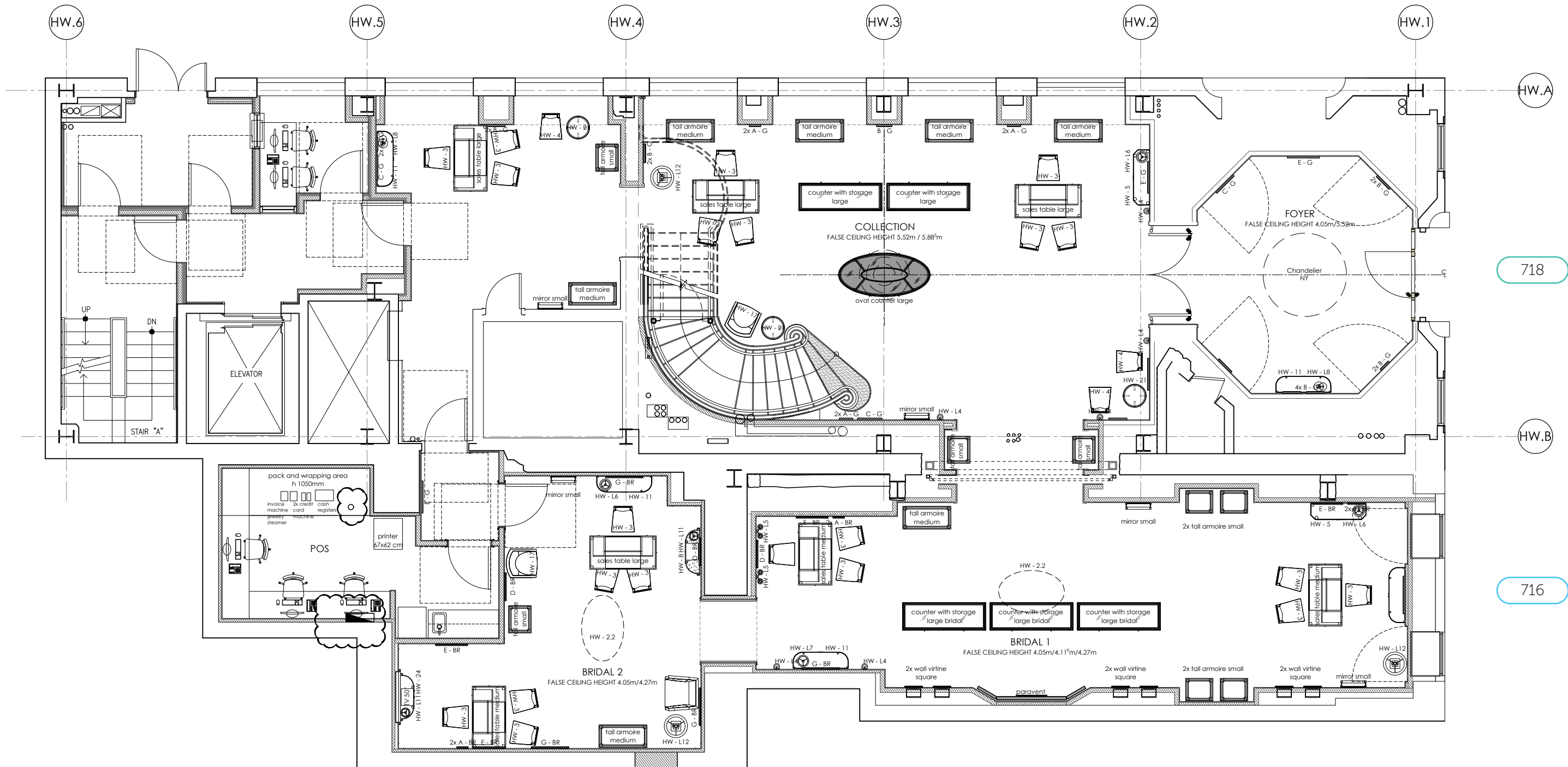
3 | PARTIAL ENLARGED PLAN: 3RD FLOOR - PROPOSED



4 | PARTIAL ENLARGED PLAN: GROUND FLOOR - EXISTING

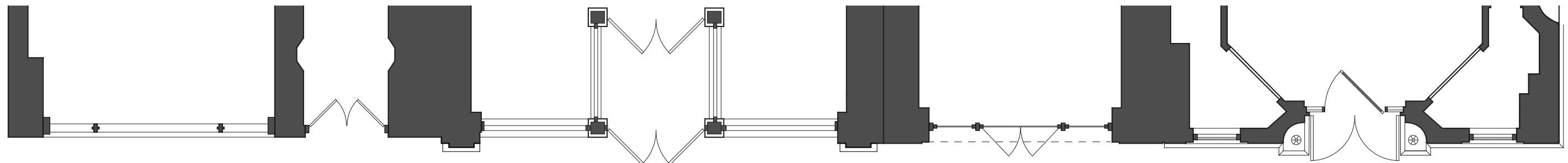


5 | PARTIAL ENLARGED PLAN: GROUND FLOOR - PROPOSED

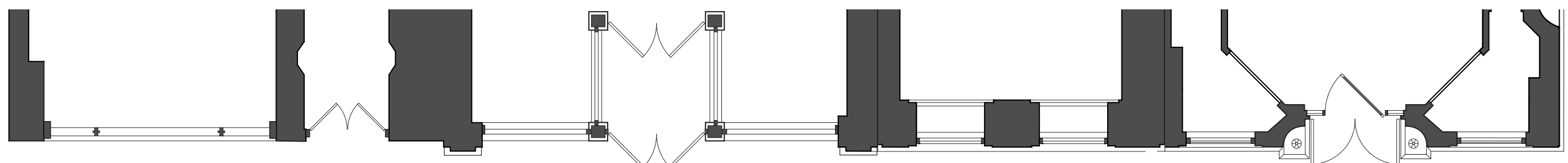


718

716



C-C | EXISTING - PARTIAL STREET LEVEL PLAN



C-C | PROPOSED - PARTIAL STREET LEVEL PLAN



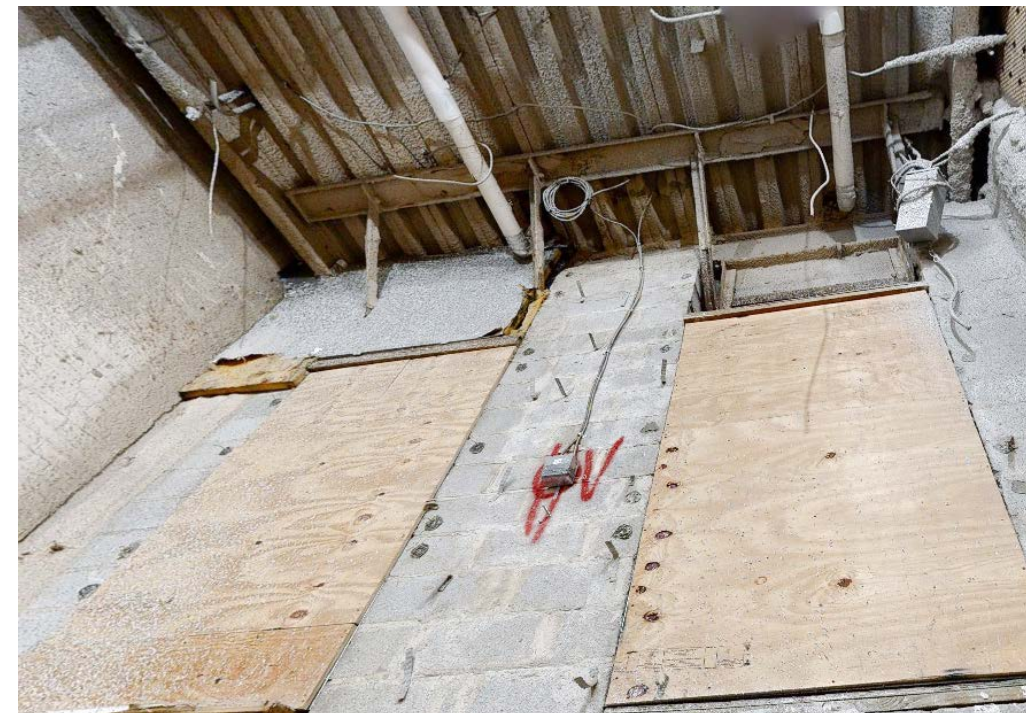
716 3rd floor



716 3rd floor - view looking up at 4th floor opening



716 4th floor



716 4th floor - view looking up at underside of roof

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