

The current proposal is:

Preservation Department – Item 2, LPC-24-05494

**19 Circle Road – Douglaston Historic District
Borough of Queens**

Note: this is a Public Meeting item. No public testimony will be received today as the hearing on this item is closed

May 14, 2024

19 Circle Rd., Queens *Douglaston Historic District*

Legalize the replacement of retaining wall in front of garage without LPC permit

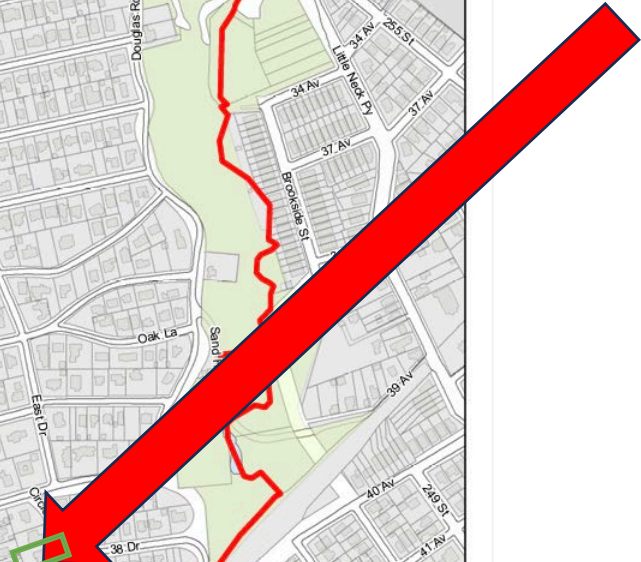


Current conditions

Location



The property is located in the Douglas Manor Historic District.



Work In Progress

Property is in the process of obtaining permit/(s), then remove the 5 ft. nico lock retaining wall; replace 3.5 feet of dirt which reduces the opening for the driveway from 17.6 feet and making the driveway 14 feet wide

Also will replace the retaining wall (refer to new plans) with the existing bricks as the original façade and LPC approval motor.



Work In Progress

-Remove 5th feet retaining wall

-For any exposed foundation dirt of 4ftX3ft feet will be place sloping downwards to the concrete pad

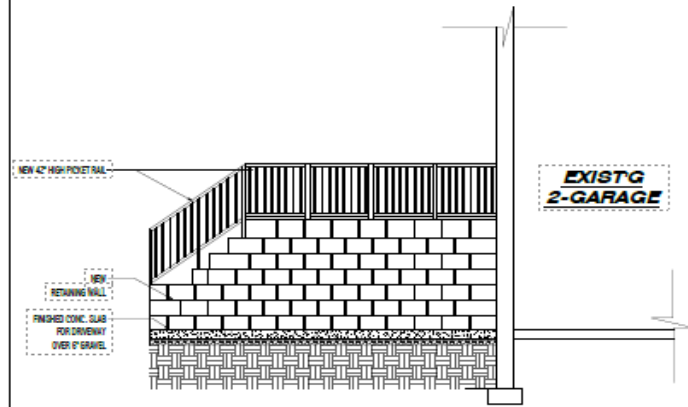
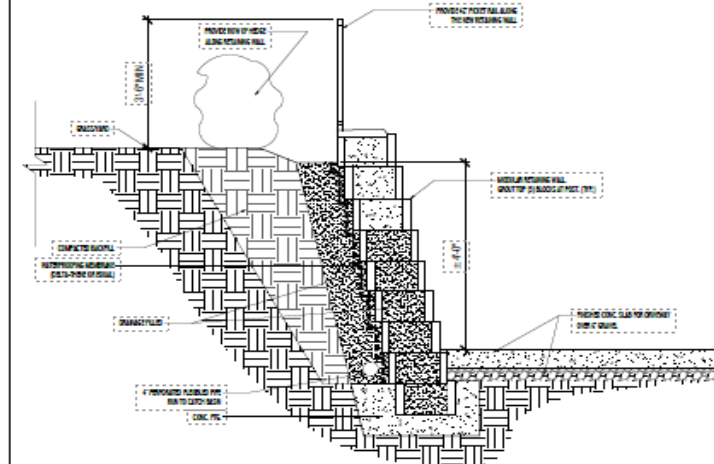
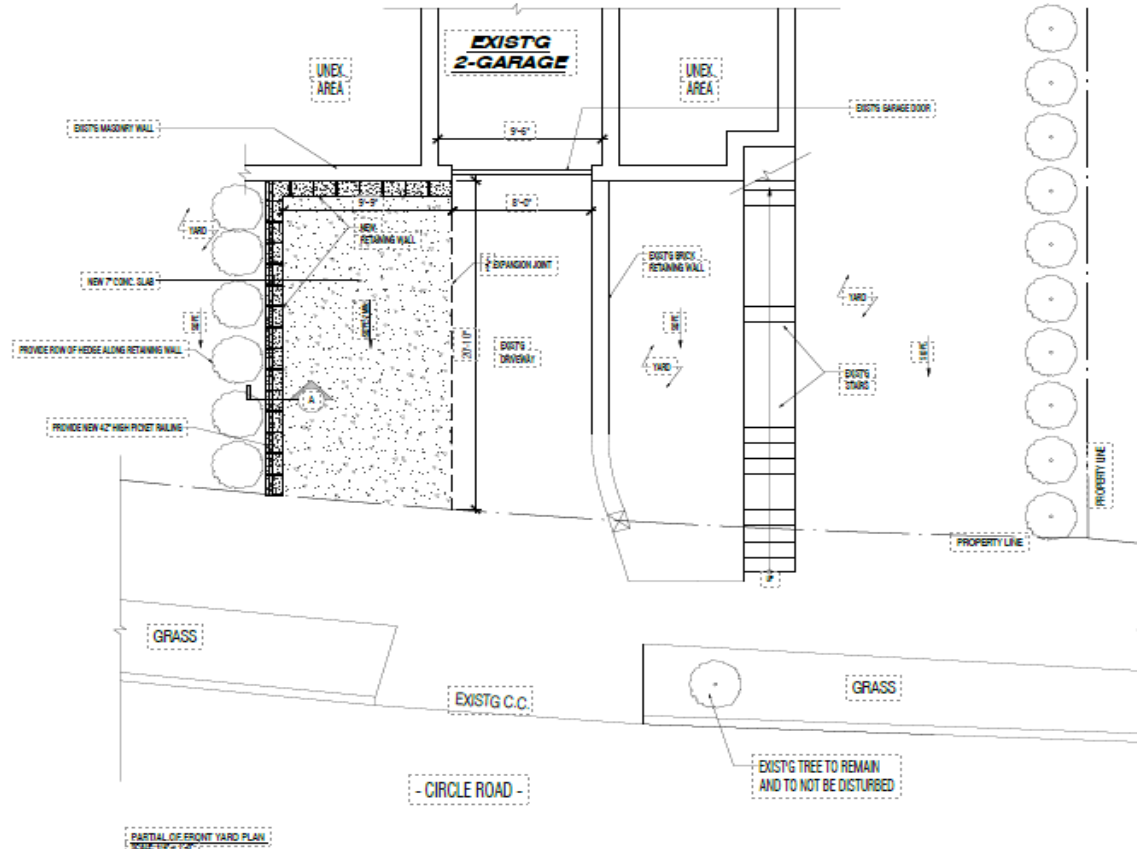
-Blue line represents the 3.8ft dirt that will be regraded, reducing the driveway from 17.8ft to 14ft and the new retaining wall of bricks as the old façade and LPC approved mortar.



1- Concrete foundation will be covered with dirt and shrubs



Architectural Design (Old)



**ENVISION
ENGINEERING
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CONSULTANT(S):
DESIGN COORDINATOR: M.K. LLC
150-15 LINDEN PARKWAY, STE. #205
FRESH MEADOWS NY 11365
E: INFO@DOCKNY.COM

NO.	DATE	DESCRIPTION	BY

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NOTES:

PROJECT ADDRESS:
**19 CIRCLE RD
QUEENS, NY 11363**

BLOCK: 8095 ZONE: R1-2
LOT: 73 MAP: 11A

OWNER/CLIENT:



DWG. TITLE:
PARTIAL FRONT YARD PLAN & DETAIL

DATE: 12-15-23 DRAWN BY: M.P.
PROJECT#: 23-139 CHK. BY: SORIS
SIN#: 4188671 SCALE: AS NOTED

DWG. NO.:
A-100.00
DOB NOW#: Q0981271-11

REV. #	DATE	DESCRIPTION	BY:

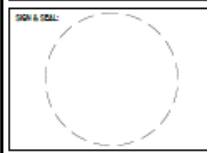
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QUEENS, NY 11363**

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LOT: 73 MAP: 11A

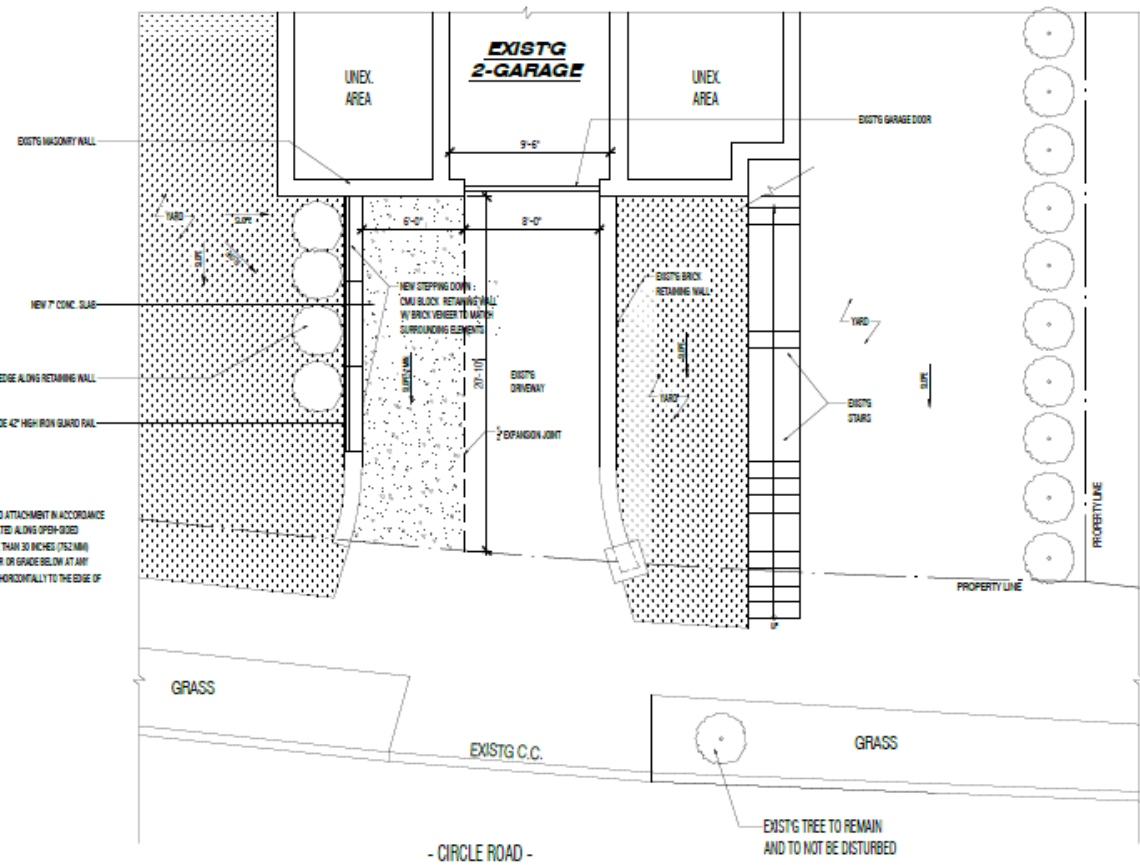
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DWG. TITLE:
**PARTIAL FRONT YARD PLAN
& DETAIL**

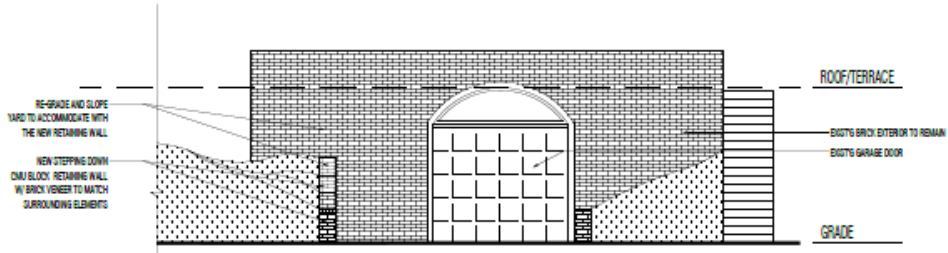
DATE: 12-15-23 DRAWN BY: M.P.
PROJECT#: 23-135 CHK. BY: BORG
SIN#: 4168671 SCALE: AS NOTE

DWG. NO:
A-100.00
DOB NOW#: Q0098127-1-1

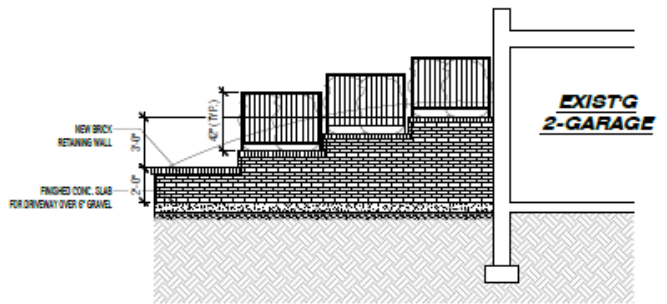


NOTE AS PER BC 1015:
GUARDS ADEQUATE IN STRENGTH AND ATTACHMENT IN ACCORDANCE WITH SECTION 1607 SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES THAT ARE MORE THAN 30 INCHES (762MM) MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES (914MM) HORIZONTALLY TO THE EDGE OF THE OPEN SIDE.

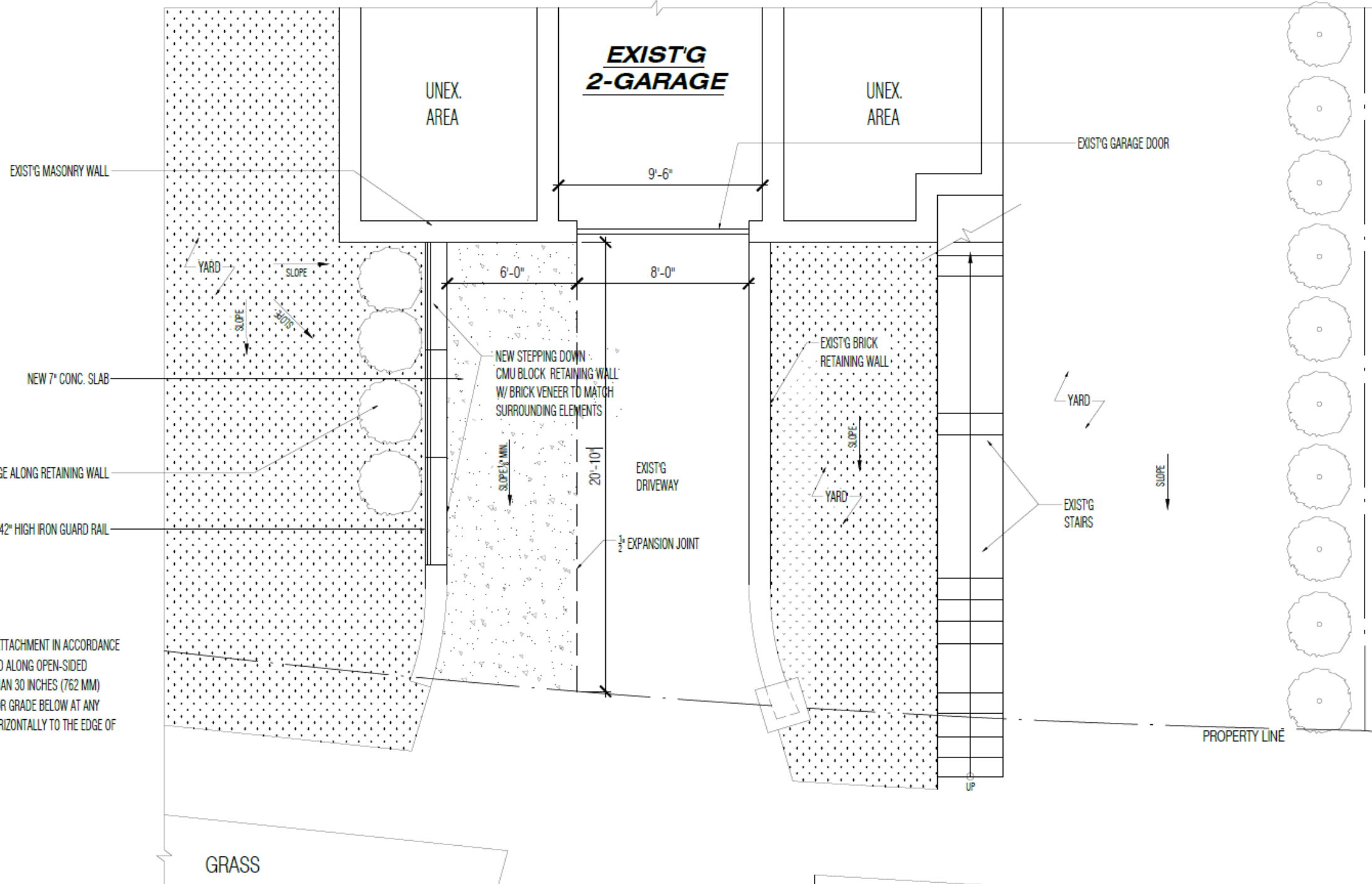
PARTIAL OF FRONT YARD PLAN
SCALE 1/4" = 1'-0"



PARTIAL OF FRONT YARD PLAN
SCALE 1/4" = 1'-0"

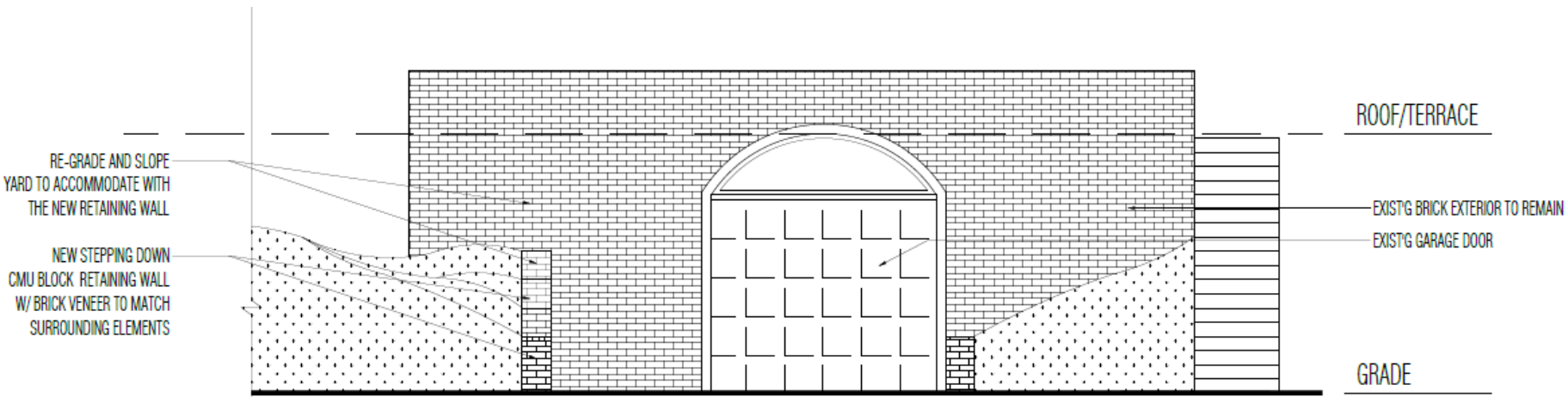


PARTIAL OF RETAINING WALL ELEVATION- FRONT YARD
SCALE 1/4" = 1'-0"

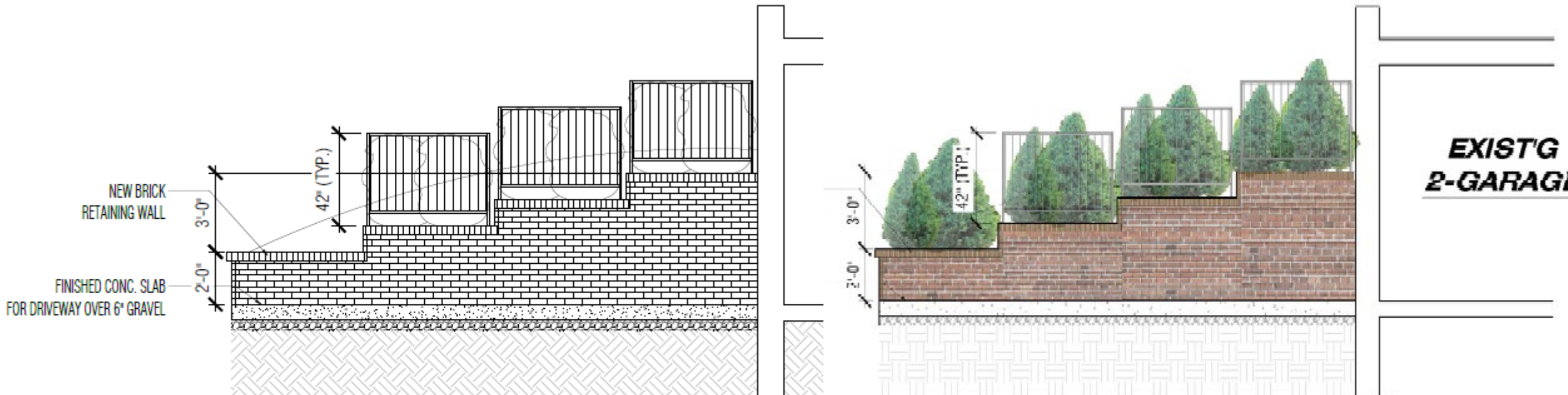


NOTE AS PER BC 1015:
 GUARDS ADEQUATE IN STRENGTH AND ATTACHMENT IN ACCORDANCE WITH SECTION 1607.8 SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES THAT ARE MORE THAN 30 INCHES (762 MM) MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHES (914.4MM) HORIZONTALLY TO THE EDGE OF THE OPEN SIDE.

PROVIDE ROW OF HEDGE ALONG RETAINING WALL
 PROVIDE 42" HIGH IRON GUARD RAIL



PARTIAL OF FRONT YARD PLAN
SCALE: 1/4" = 1'-0"



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APPENDIX



Precedents: Similar Conditions



38-41 240th St.



25 Circle Rd.

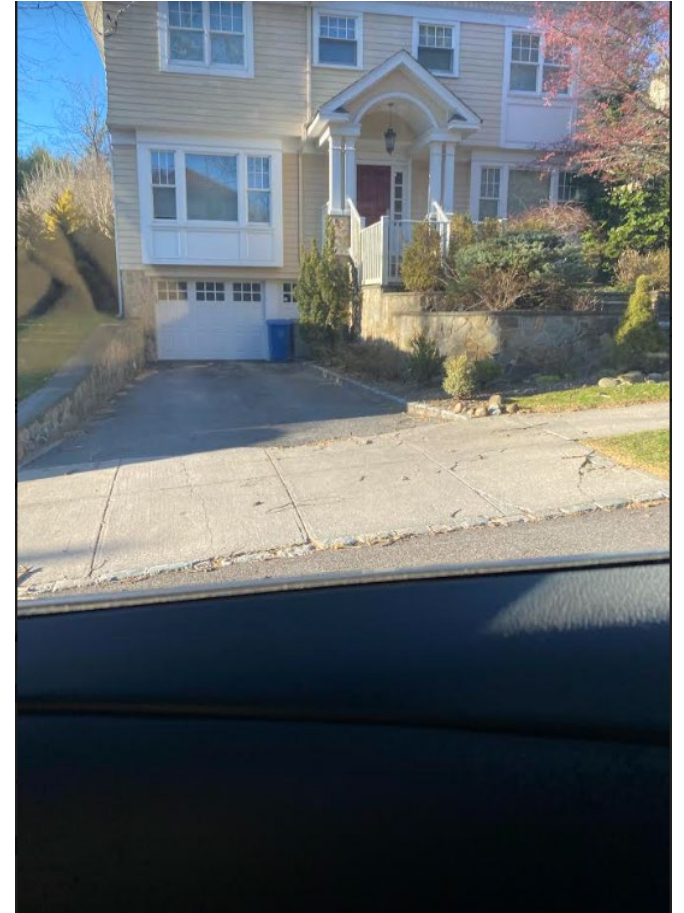
Precedents: Similar Condition/(s)



231-05 Hillside Avenue / Center Drive



211 Hillside Avenue



217 Hillside Avenue

Streetscape Context



Street view of property of 19 Circle Road.

Historic Conditions



"Tax" Department Photograph, ca. 1940



Google Street Photo

Architectural Design (Old)

**19 CIRCLE RD,
QUEENS, NY 11363**

SCOPE OF WORK:

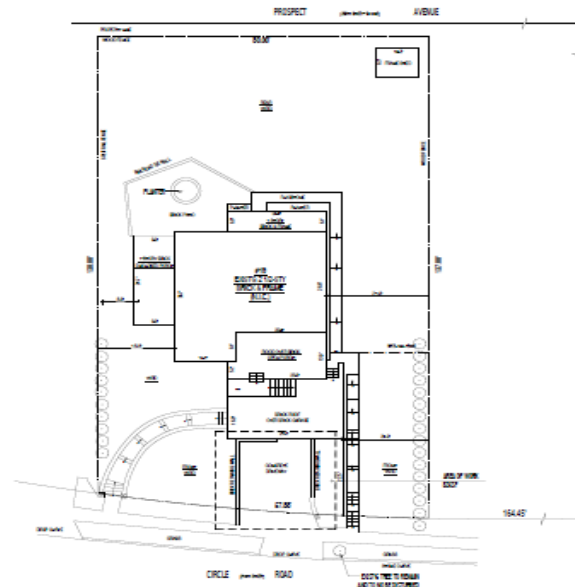
APPLICATION HEREBY FILED FOR RETAINING WALL AT FRONT YARD TO ENLARGE DRIVEWAY. NO CHANGE TO USE, EGRESS OR OCCUPANCY.

DRAWING INDEX:

PG.#	DWG.#	DRAWING TITLE
1	G-100	PLOT PLAN, MAPS AND NOTED
2	DM-100	DEMOLITION PLAN, SECTION & DETAIL
3	A-100	CONSTRUCTION PLANS AND NOTES

ZONING DATA:

ADDRESS: 19 CIRCLE RD. QUEENS, NY 11363
 BLOCK: 8095 LOT: 73
 ZONE: R1-2 MAP: 11A
 OCCUP. CLASS: RESIDENTIAL (FRONT 1998)
 CONST. CLASS: 4-FRAME STRUCTURAL (FRONT 1998)
 USE GROUP: 1
 C.S.#: 20763



PLOT PLAN
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- THESE PLANS ARE TO BE USED IN CONJUNCTION WITH THE OUTLINE SPECIFICATIONS, WHEN PROVIDED.
- THE FLOOR FINISH SHOWN SHALL BE AS A MINIMUM FINISH OF 1/2" CIRCLE ROAD. QUEENS, NY 11363. THE PROPERTY IS LOCATED IN A R-1C RESIDENTIAL ZONING DISTRICT, MAP #11A, AS PER THE NYC ZONING RESOLUTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH NYC STATE AND LOCAL BUILDING CODES AND REGULATIONS, AS PER THE NYC ADMINISTRATIVE CODE 2008 SECTION AC 20-101.4.2. BOTH THE NYC BUILDING CODE 1968 & THE NYC OLD CODES SHALL ONLY BE USED IF THE BUILDING WAS BUILT IN COMPLIANCE WITH THESE OLDER CODES. HOWEVER, THE 2008 VERSIONS OF THE PLUMBING, MECHANICAL, FIRE & FUEL GAS CODES SHALL APPLY.
- THE GENERAL CONTRACTOR AND ALL HIS SUBCONTRACTORS MUST COMPLY WITH ALL BUILDING RULES AND REGULATIONS AT ALL TIMES.
- THE DEMOLITION OF ALL PARTITIONS AND FLOORING OF THE INTERIOR SHALL CONFORM WITH THE NYC BUILDING CODE 2008.
- ELECTRIC DEMOLITION WORK TO CONFORM TO THE NATIONAL ELECTRIC CODE (NEC) 2008 AND THE NYC ELECTRIC CODE 2016.
- ALL EXPOSED HOT WATER & COLD WATER PIPING TO BE CAPPED TO WALLS.
- THESE PLANS ARE DESIGNED TO MEET OR EXCEED THE REQUIREMENTS OF THE NYC BUILDING CODE 2008. VERIFY ANY CHANGES IN CODE THAT MIGHT AFFECT CONSTRUCTION WITH THE BUREAU OF BUILDING CONTROL.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES, OR FOR SAFETY PRECAUTIONS & PROGRAMS IN CONNECTION WITH THE WORK. THERE ARE NO WARRANTIES, NOR ANY MERCHANTABILITY OF FITNESS FOR A SPECIFIED USE EXPRESSED OR IMPLIED IN THE USE OF THESE PLANS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE STARTING CONSTRUCTION. DO NOT SCALE DRAWINGS. FOLLOW DIMENSIONS ONLY.
- ALL ELECTRIC HEAT, ETC. SHALL CONFORM TO CON. ED. INSEE, NEC, & NFPA REQUIREMENTS.
- THE ARCHITECT'S CERTIFICATION APPLIES ONLY TO THESE PLANS CONFORMANCE TO THE NEW YORK CITY BUILDING CODE 2008.
- DO NOT INFORM THE ARCHITECT IF THERE ARE ANY DISCREPANCIES BETWEEN THE PLANS & EXISTING SITE CONDITIONS. NO WORK IS TO PROCEED UNTIL DISCREPANCIES ARE CLARIFIED & CORRECTED.
- THE GC IS RESPONSIBLE FOR THE DISTRIBUTION OF ALL DRAWINGS TO ALL SUBCONTRACTORS. PARTIAL SETS DO NOT CONSTITUTE COMPLETE DOCUMENTS & AS SUCH, DO NOT DELEGATE ALL ITEMS OF WORK & THEIR COORDINATION WITH OTHER TRADES. ANY ERRORS OR OMISSIONS BY ANY SUBCONTRACTOR RESULTING FROM LACK OF FULL DOCUMENTATION, I.E. INFORMATION HAS ON A DRAWING OR IN PART OF THE SPECIFICATIONS WHICH A SUBCONTRACTOR HAD RECEIVED, IT IS THE RESPONSIBILITY OF THE GC.
- GC MUST CARRY COMPENSATION & LIABILITY INSURANCE, AS WELL AS WORKMAN'S COMPENSATION AND DISABILITY. GC SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL TAXES, CONTRIBUTIONS, & OTHER EXPENSES ATTRIBUTABLE TO THE WAGES OF EMPLOYEES PERFORMING REQUIRED WORK.
- GC SHALL BE RESPONSIBLE FOR ALL DEMOLITION WORK REQUIRED. DRAWINGS INDICATE THE LOCATIONS FOR OTHER NEW CONSTRUCTION OR EXISTING CONDITIONS TO REMAIN. ANY EXISTING CONDITION SHOWN ON DEMOLITION DRAWINGS IS DOTTED LINES IS TO BE REMOVED. GC TO VERIFY WITH ARCHITECT THOSE ITEMS NOT INDICATED THAT ARE TO BE REMOVED.
- GC SHALL BE RESPONSIBLE FOR MAINTAINING ALL REPAIRS TO ADJACENT AREAS TO AREA IF WORK DAMAGED DURING PERIOD OF DEMOLITION CONSTRUCTION. PROVIDE ADEQUATE PROTECTION TO ALL AREAS OUTSIDE THE SCOPE OF WORK. GC SHALL MAINTAIN AREAS UNOCCUPIED CLEAN & DEBRIS REMOVED ON A DAILY BASIS.
- GC SHALL REMOVE ALL DEBRIS AS IT ACCUMULATES ON THE JOB SITE FROM THE BUILDING. NO DEBRIS SHALL BE LEFT IN THE CORRIDORS AT ANY TIME.
- GC SHALL LEAVE THE JOB SITE IN A CLEANER CONDITION THAN AT THE END OF EACH WORKDAY AND AT THE COMPLETION OF THE PROJECT. ALL HARDWARE, METAL, & GLASS, AND DOORS SHALL BE CLEANED.
- THIS PLAN IS APPROVED ONLY FOR WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS OTHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

CONCRETE NOTES:

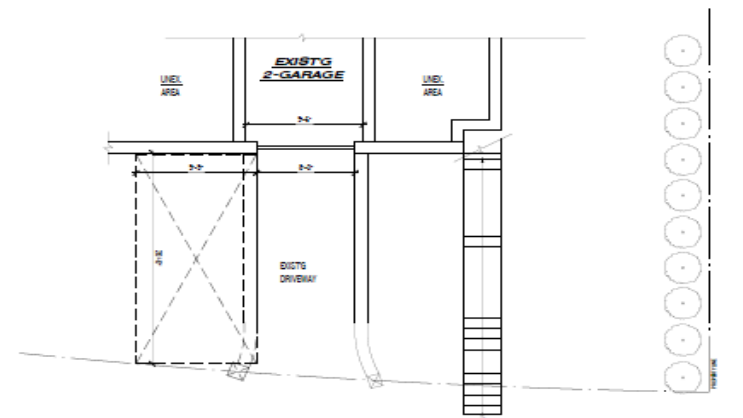
- ALL CONCRETE WORK SHALL COMPLY WITH THE BUILDING CODE REQUIREMENT FOR STRUCTURAL CONCRETE (A.C.I. 318-14) STANDARD AND COMMENTARY AND THE NEW YORK CITY BUILDING CODE, LATEST EDITION.
- CONCRETE STRENGTH AND DENSITY SHALL BE AS FOLLOWS:

A. FOOTING FOUNDATION PERMS FOUNDATION MAT	F _c = 4,000 PSI. (NORMAL WEIGHT CONCRETE)
B. BUTTRESSES AND FOUNDATION WALLS	F _c = 4,000 PSI. (NORMAL WEIGHT CONCRETE)
C. FOOTING SEALERS	F _c = 3,000 PSI. (NORMAL WEIGHT CONCRETE)
D. SLAB ON GROUND	F _c = 4,000 PSI. (NORMAL WEIGHT CONCRETE)
E. COLUMN WALL	F _c = 4,000 PSI. (NORMAL WEIGHT CONCRETE)
F. BEAMS	F _c = 4,000 PSI. (NORMAL WEIGHT CONCRETE)
G. SLAB ON METAL DECK	F _c = 3,000 PSI. (LIGHT WEIGHT CONCRETE)
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615. GARDE 60 OR ATTS 6010 COATED WITH CALLED OUT ON PLAN. REINFORCING STEEL SHALL BE INSTALLED ACCORDING TO THE A.C.I. 318-14 AND DETAILING OF REINFORCEMENT (A.C.I. 318). LATEST EDITION.
- THE CONTRACTOR SHALL FURNISH AND INSTALL THE REQUIRED BOLTERS, CHAIRS, REBARS, TIE SPACERS, ETC. TO SUPPORT HOLD IN PLACE AND SECURE THE REINFORCING WHILE POURING AND PLACING THE CONCRETE.
- WELDED WIRE FABRIC (W.W.F.) SHALL CONFORM TO ASTM A706 GARDE 60.
- REINFORCING STEEL TO BE WELDED TO CONFORM TO ASTM A706 GARDE 60.
- CONTRACTOR TO INSTALL ALL PIPE SLEEVES, ROISED OPENINGS, ANCHOR BOLTS, ETC. AS REQUIRED FOR THE VARIOUS TRADES UNLESS OTHERWISE NOTED. NO CONDUIT OR PIPE OUTSIDE DIAMETER SHALL EXCEED 1/2" SLAB THICKNESS OR 2" NOMINAL DIAMETER AND SPACE CLOSER THAN 1 TIMES NOMINAL DIAMETER ON CENTER OR HALF 1/4" OF COLUMN FACE.
- ALL GROUT SHALL BE NONSHRINK WITH A MINIMUM COMPRESSIVE STRENGTH OF 8000 PSI.
- PROVIDE CLEARANCE FROM FACE OF CONCRETE TO REINFORCEMENT AS FOLLOWS:

SLABS: 1"
BEAMS: COLUMNS: 1 1/2"
CONCRETE EXPOSED TO WEATHER AND EARTH: 2"
FOUNDATION CAST AGAINST EARTH: 3"
EXTERIOR WALLS 2" FOR #6 OR LARGER, 1 1/2" FOR #5 OR SMALLER
INTERIOR WALLS 1 1/2"
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW AND APPROVAL. NO CONCRETE WORK SHALL COMMENCE WITHOUT APPROVED SHOP DRAWINGS.
- AN A.C.I. CERTIFIED INSPECTION CERTIFICATION REPRESENTATIVE MUST APPROVE ALL STEEL REINFORCEMENT PLACEMENT PRIOR TO PLACING CONCRETE.
- WELDED WIRE FABRIC IN COMPOSITE CONSTRUCTION SHALL HAVE TENSION SPACES AND BE ANCHORED AT DISCONTINUOUS EDGES.
- ALL BARS MARKED CONTINUOUS SHALL BE LAPPED MIN. 40 DIAMETERS AT SPLICES AND CORNERS EXCEPT AS OTHERWISE SHOWN ON PLANS. LAP CONTINUOUS TOP BARS AT CENTER BETWEEN SUPPORTS AND BOTTOM BARS AT SUPPORTS. HOOR TOP BARS AT DISCONTINUOUS ENDS.
- NO BACKFILLING IS TO BE DONE BEFORE ALL SLABS BRACING WALLS ARE IN PLACE.
- PROVIDE EXPANSION CONTRACTION AND CONSTRUCTION JOINTS AS REQUIRED BY APPLICABLE SECTIONS OF AC308.3R.
- COLD WEATHER CONCRETE SHALL BE IN ACCORDANCE WITH AC308.
- THROUGHOUT CONSTRUCTION, THE CONCRETE WORK SHALL BE ADEQUATELY PROTECTED AGAINST DAMAGE DUE TO EXCESSIVE LOADING, CONSTRUCTION EQUIPMENT, MATERIALS OR METHODS, ICE, RAIN, SNOW, EXCESSIVE HEAT AND FREEZING TEMPERATURES. EARLY DRYING OUT OF CONCRETE, ESPECIALLY DURING THE FIRST 24 HOURS, SHALL BE CAREFULLY GUARDED AGAINST. ALL SURFACES SHALL BE MOIST CURED OR PROTECTED USING A MEMBRANE CURING AGENT APPLIED AS SOON AS FORMS ARE REMOVED. IF MEMBRANE CURING AGENT IS USED, EXERCISE CARE NOT TO DAMAGE.

MASONRY NOTES:

- CONCRETE BLOCK MASONRY SHALL BE IN ACCORDANCE WITH ACES 500 "BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES", LATEST EDITION.
- CONCRETE BLOCK MASONRY FOR BEARING WALL SHALL COMPLY WITH ASTM C90 FOR HOLLOW UNITS AND MUST HAVE A MINIMUM COMPRESSIVE STRENGTH. CONTRACTOR SHALL SUBMIT RECEIPT UPON MASONRY BLOCK (M_p=2500 psi) DELIVERY ON THE SITE.
- MASONRY UNITS SHALL CONFORM TO ASTM C90. TYPE M OR S FOR ABOVE GRADE, TYPE N FOR BELOW GRADE.
- GROUT FOR FILLED CELLS SHALL CONFORM TO ASTM C987 WITH 3000 PSI STRENGTH AT 28 DAYS.
- CELLS SHALL BE DROUTED IN INCREMENTS NOT EXCEEDING 3 FEET VERTICALLY. ALL CELL FILLS BELOW GRADE.
- HORIZONTAL REINFORCING SHALL BE NO. 5 BARS "CORONA" OR EQUIVALENT AND SHALL BE PLACED EVERY OTHER COURSE. U.O.I.N.
- ALL BLOCK SHALL BE PLACED IN RUNNING BOND.
- UNDERLAYS AND STEEL BEAMS ON MASONRY: FULL JOBS OF CONCRETE BLOCK SOLID WITH CONCRETE GROUT FOR HEIGHT OF 3 COURSES. U.O.I.N ON DRAWINGS.
 - CONCRETE MASONRY UNITS TO BE GARDE P. FOR MODERATE EXPOSURE AND GARDE C. FOR NO EXPOSURE.
- METAL ANCHORS AND TIES SHALL BE CORROSION RESISTANT AS FOLLOWS:
 - ZINC COATING ON STEEL BOLTS, CLASS B-1, B-2, B-3, ASTM A153.
 - ZINC COATING ON WIRE AS PER ASTM A-64.
 - COPPER COATED WIRE TO BE GARDE 30 HS AS PER ASTM B.221.



EXIST/DEM PLAN
SCALE: 3/8" = 1'-0"

**ENVISION
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