

May 14, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 11, LPC-24-06259

**230 Central Park West – Upper West Side/Central Park West
Historic District
Borough of Manhattan**

To testify virtually, please join Zoom

Webinar ID: 825 9802 2468

Passcode: 721460

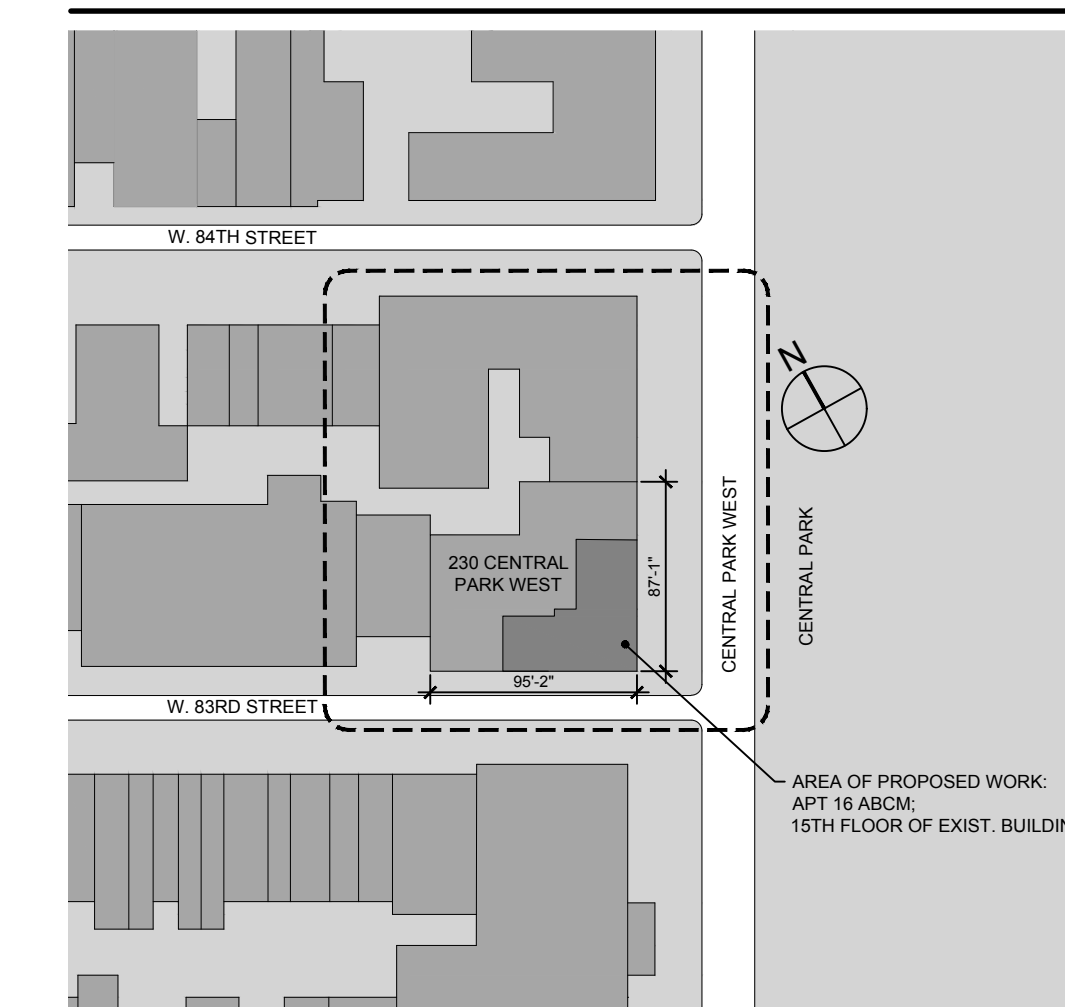
By Phone: 1 646-558-8656 US (New
York) 877-853-5257 (Toll free) US
888 475 4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

LEGENDS

- (XXX) NEW NOTE CALLOUTS
- (XXX) WINDOW TAG (SEE L-015 TO L-018 FOR WINDOW DETAILS AND SCHEDULE)

KEY PLAN



AREA OF WORK

- APT 16 ABCM / 15 FLOOR OF EXISTING BUILDING

ZONING INFO

230 CENTRAL PARK WEST
 NEW YORK, NY 10026

BLOCK: 1197
 LOT: 29
 MAP: R10A
 ZONE: 5D


NOTES

- 1 REPLACE EXISTING SLIDING WINDOW WITH NEW SLIDING WINDOW / TYPE A
- 2 REPLACE EXISTING DOUBLE CASEMENT WINDOW WITH NEW DOUBLE CASEMENT WINDOW / TYPE B
- 3 REPLACE EXISTING SINGLE CASEMENT WINDOW WITH NEW SINGLE CASEMENT WINDOW / TYPE C
- 4 REPLACE EXISTING SINGLE CASEMENT WINDOW WITH NEW SINGLE CASEMENT WINDOW / TYPE D

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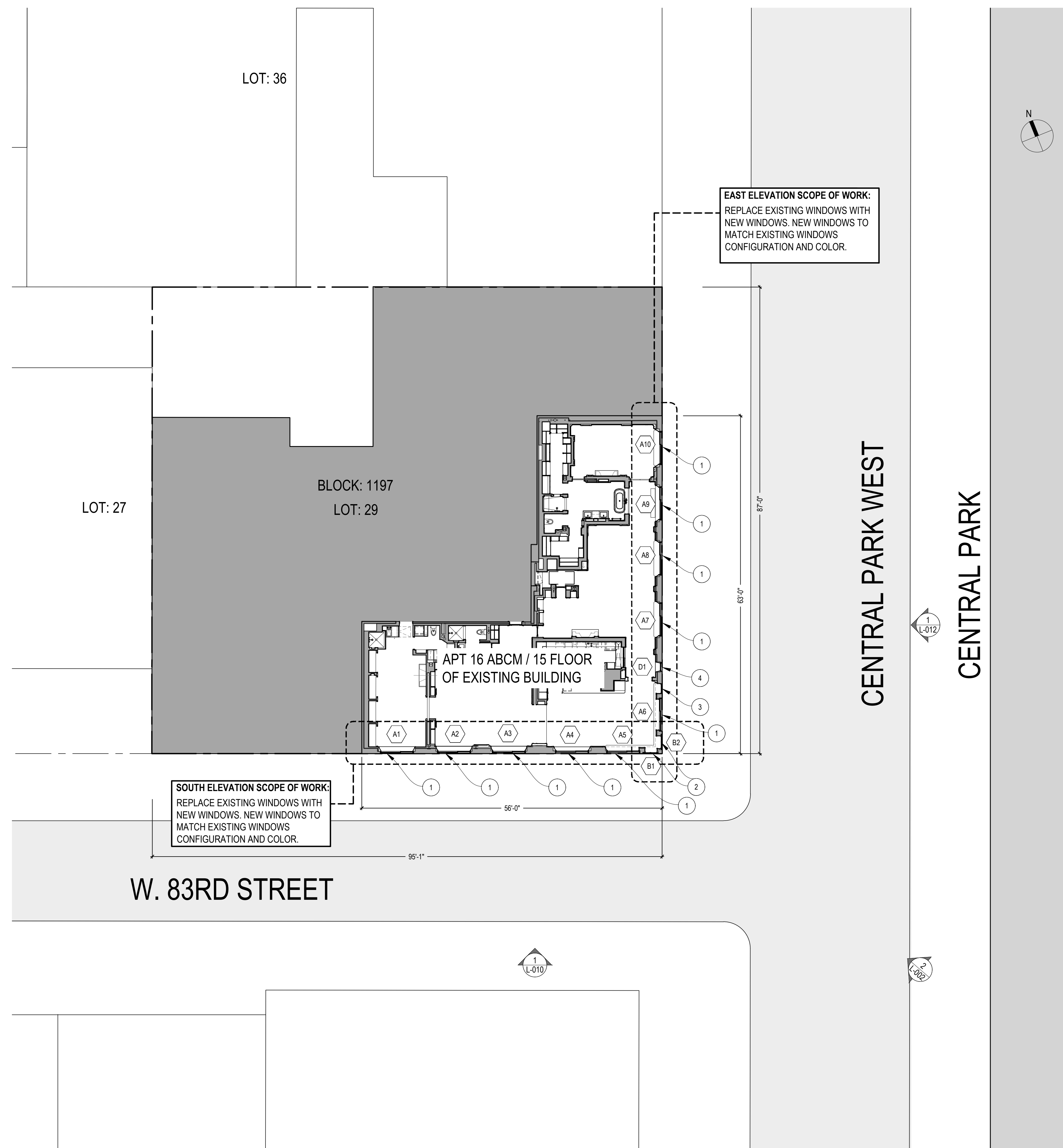
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DRAWING: **CENTRAL PARK WEST
 HISTORIC DISTRICT,
 PLOT PLAN**

SEAL & SIGNATURE:  **DATE:** 04.30.24
PROJECT NO: 1710
DRAWN BY: ND
SCALE:
DWG NO:

THOMAS W. HUT ARCHITECT PLLC
 NO. 017011-1 **L-001.00**

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LOT: 36

LOT: 27

BLOCK: 1197
 LOT: 29

EAST ELEVATION SCOPE OF WORK:
 REPLACE EXISTING WINDOWS WITH NEW WINDOWS. NEW WINDOWS TO MATCH EXISTING WINDOWS CONFIGURATION AND COLOR.

SOUTH ELEVATION SCOPE OF WORK:
 REPLACE EXISTING WINDOWS WITH NEW WINDOWS. NEW WINDOWS TO MATCH EXISTING WINDOWS CONFIGURATION AND COLOR.

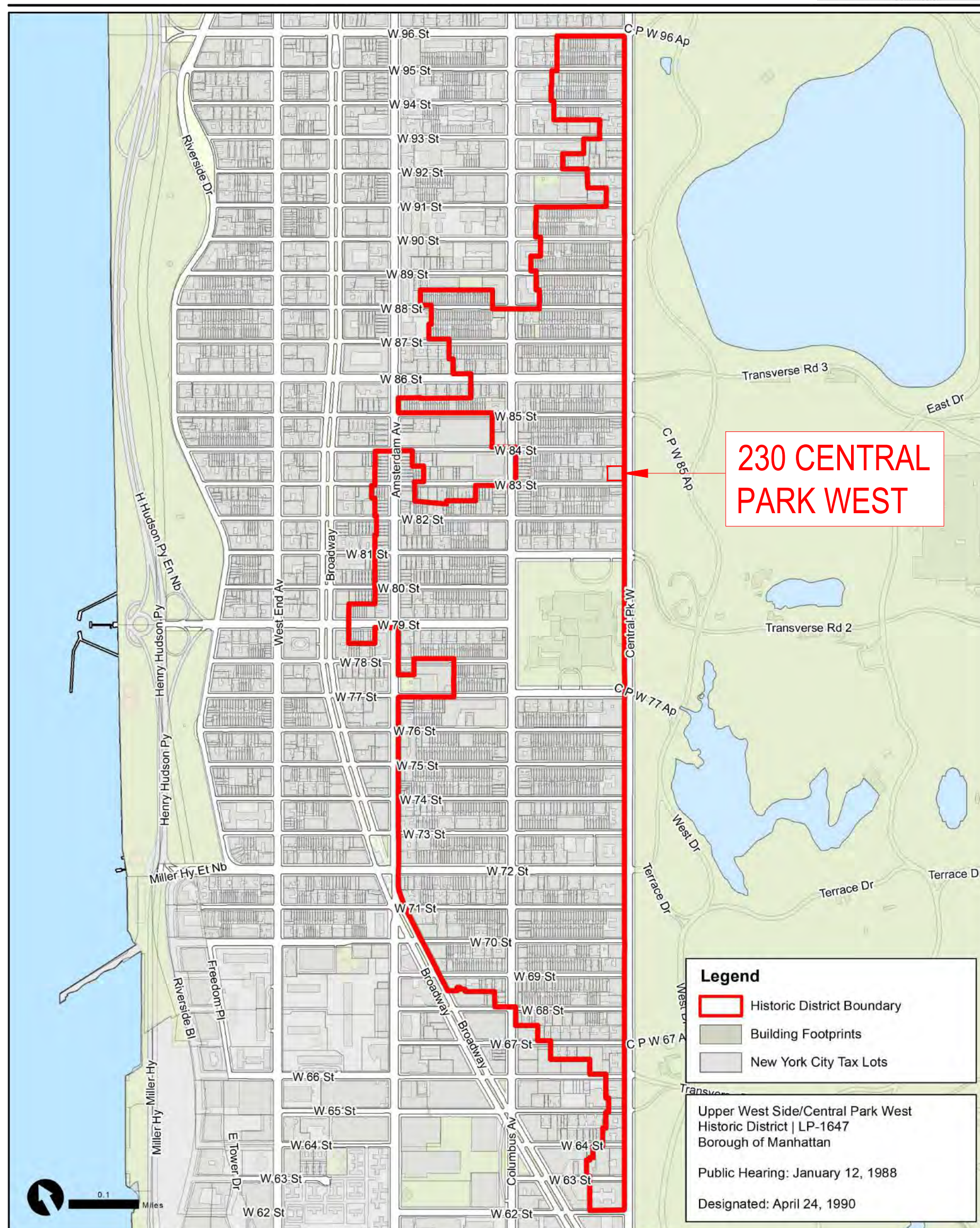
APT 16 ABCM / 15 FLOOR
 OF EXISTING BUILDING




W. 83RD STREET

CENTRAL PARK WEST

CENTRAL PARK

Upper West Side/Central Park West Historic District | LP-1647



Legend
 Historic District Boundary
 Building Footprints
 New York City Tax Lots

Upper West Side/Central Park West
 Historic District | LP-1647
 Borough of Manhattan
 Public Hearing: January 12, 1988
 Designated: April 24, 1990

Graphic Source: Map PLUTO, Edition 18v1, Author: New York City Landmarks Preservation Commission, LCR Date: 3.28.2019

CENTRAL PARK WEST HISTORIC DISTRICT
 SCALE: N.T.S.

1

PLOT PLAN
 SCALE: 3/32" = 1'-0"

2

APT 16AMBC AT 230 CENTRAL PARK WEST, NEW YORK, NEW YORK

MUIR/CASTELLANO RESIDENCE
230 CENTRAL PARK WEST, 15TH FLOOR, APT 16AMBC
NEW YORK, NEW YORK 10026



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DRAWING: **APT 16AMBC**
230 CENTRAL PARK WEST

SEAL & SIGNATURE:



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HISTORIC FACADE AND WINDOWS OF W 83RD STREET & CENTRAL PARK WEST. TAX PHOTO 1980

NTS

1



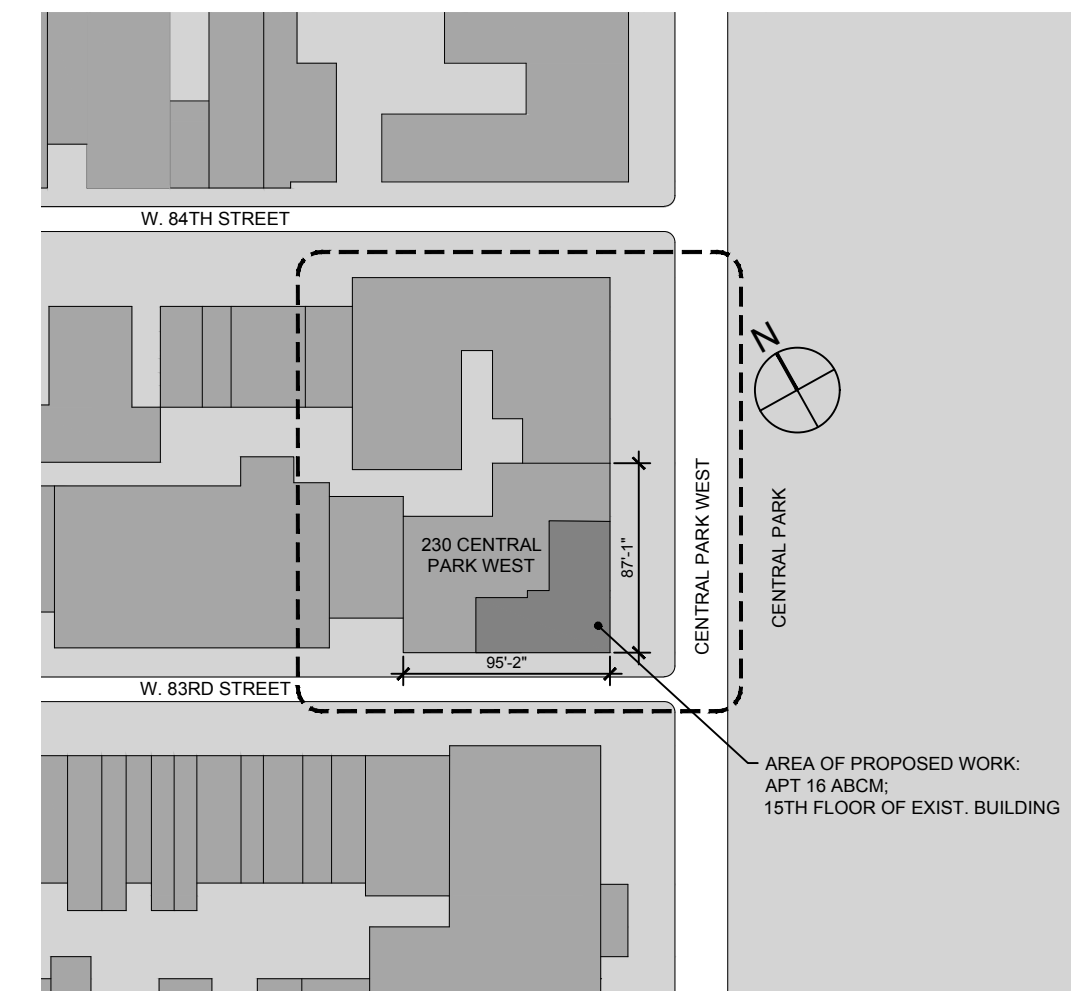
CURRENT PHOTO FROM 2023: CORNER OF W 83RD STREET & CENTRAL PARK WEST

NTS

2

MUIR/CASTELLANO RESIDENCE
230 CENTRAL PARK WEST, 15TH FLOOR, APT 16AMBC
NEW YORK, NEW YORK 10026

KEY PLAN



AREA OF WORK

- APT 16 ABCM / 15 FLOOR OF EXISTING BUILDING

ZONING INFO

230 CENTRAL PARK WEST
NEW YORK, NY 10026

BLOCK: 1197
LOT: 29
MAP: R10A
ZONE: 5D

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DRAWING:

**BUILDING FACADE PHOTOGRAPHS:
HISTORIC FACADE TAX PHOTO FROM 1980
COMPARE TO CURRENT PHOTO**

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

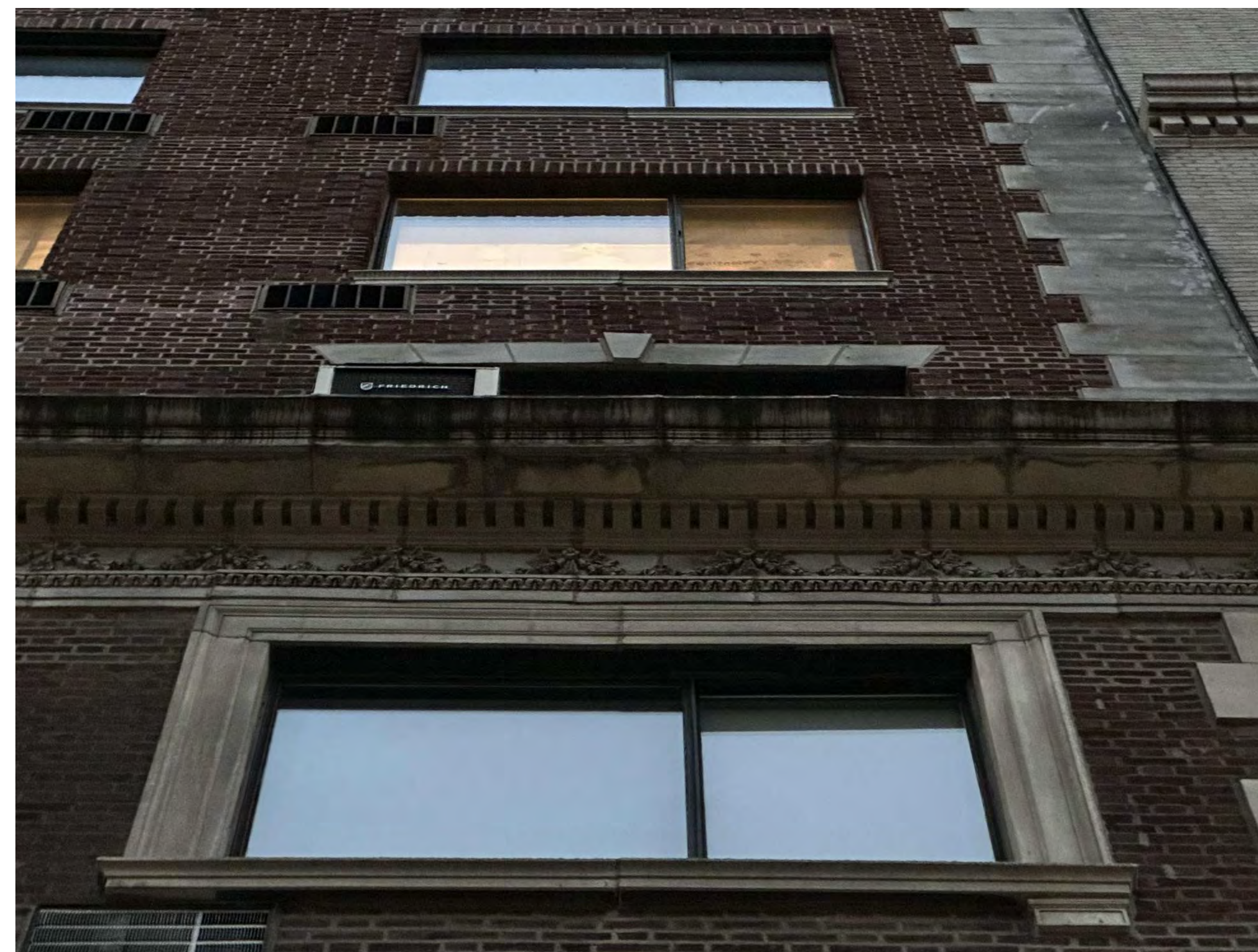
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DRAWING: **1940s
TAX PHOTO**

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DATE: 04.30.24

PROJECT NO: 1710

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SCALE:

DWG NO:

L-005.00



EXISTING "HISTORIC" SLIDING WINDOWS, 230 CENTRAL PARK WEST TAX PHOTO (1980s)

PIVOTAL TIME IN THE HISTORY OF THE BOLIVAR WAS THE MAJOR FACADE ALTERATION IN 1976-1978 WHEN IT CONVERTED FROM BEING A HOTEL TO APARTMENTS, THE BOLIVAR, ALONG WITH ALL THE INTERNAL ALTERATIONS, THE BUILDING HAD A MAJOR FACADE ALTERATION WITH ALL OF THE BUILDINGS FENESTRATION CHANGING IN DESIGN AND PATTERN, AND CREATING THE BUILDINGS HISTORY AND CHARACTER.

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DRAWING:
**1980s
TAX PHOTOS**

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NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

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SCALE:

DWG NO:

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HISTORIC AND MAJOR ALTERATION OF THE BOLIVAR 1976-1978

THE BUILDING WAS CONVERTED FROM THE BOLIVAR HOTEL TO BOLIVAR APARTMENTS BESIDES THE WHOLE INTERNAL CONFIGURATION FROM HOTEL ROOMS TO APARTMENTS WITH KITCHENS AND NEW PLUMBING AND ELECTRICAL. ALL EXTERNAL FENESTRATION WAS RENOVATED BEFORE DESIGNATION, ALONG WITH THE FOYER CHANGING FROM HOTEL FOYER.

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DRAWING: **HISTORIC AND MAJOR
ALTERATION OF THE BOLIVAR
1976-1978**

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

DRAWN BY: ND

SCALE:

DWG NO:

L-007.00

STATE OF CURRENT WINDOWS
FRAMES ARE WRACKED, NOT PROPERLY ANCHORED, DEFECTIVE FRAMES/SASHES, CONDENSATION, ETC.



THE GASKETING AND GLASS STOP AT THE WINDOW SASH FRAME OF WINDOW WAS VISIBLY LOOSE AND ABLE TO REMOVED BY HAND.



WRACKED FRAMES WITH GAPS EVEN WHEN CLOSED



CORROSION & OXIDATION OF FRAMES FROM WATER EGRESS, THROUGH ALL WINDOWS



EXTREME CONDENSATION

16AMBC WAS AN ESTATE SALE AND FORTUNATELY ATYPICAL ONE OFF FOR THE REST OF THE BUILDING. THE LOCATION IN THE BUILDING ON THE HIGHEST ELEVATION, EXPOSED CORNER UNDER THE CROWN.

AS A CONSEQUENCES IN WHICH REPLACEMENT IS MORE ECONOMICAL AND FUNCTIONALLY ADVANTAGEOUS THEN REPAIR.

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DRAWING:

STATE OF CURRENT WINDOWS

SEAL & SIGNATURE:



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NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

DRAWN BY: ND

SCALE:

DWG NO:

L-008.00

STATE OF CURRENT WINDOWS



CLOSE UP OF OXIDIZATION



THE LEVEL OF OXIDIZATION TO THE WINDOW SNAP BEADS DEMONSTRATES THE INFILTRATION OF THE GLAZING CAVITY.



THE LEVEL OF DECAY OF THE TIMBER REVEAL ENCAPSULATING THE WINDOW ASSEMBLY IS EXTREME AND REQUIRES IMMEDIATE REMOVAL.



WINDOW LEANS FORWARD, THIS IS WHY THE MULLION LOOKS WIDER & CLOSER AT THE TOP

NARROW MULLION AT THE BOTTOM



FRAME SNAP PROFILE HAVE BROKEN, MOST LIKELY DUE TO WATER PENETRATION AND OXIDIZATION.

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DRAWING:

STATE OF CURRENT WINDOWS

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

DRAWN BY: ND

SCALE:

DWG NO:

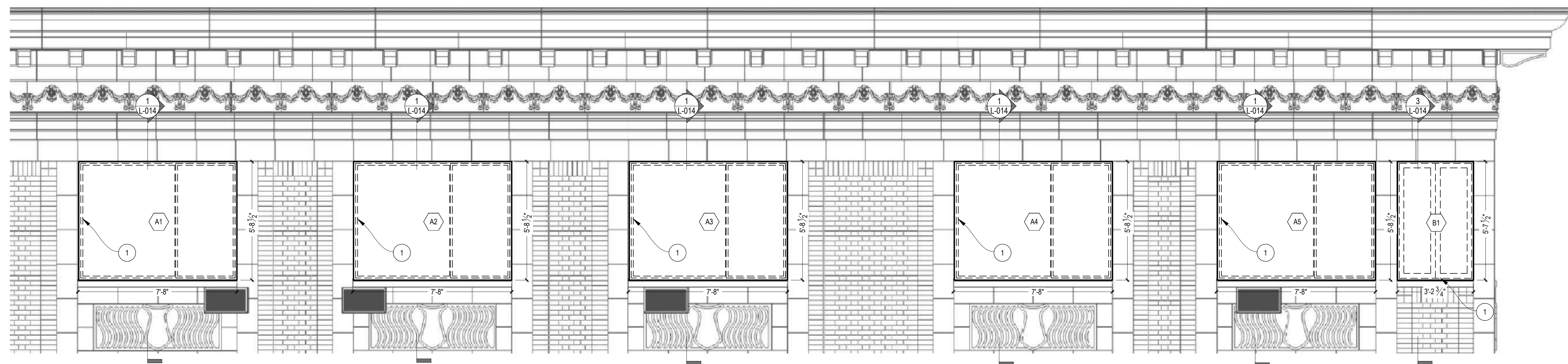
L-009.00

LEGENDS

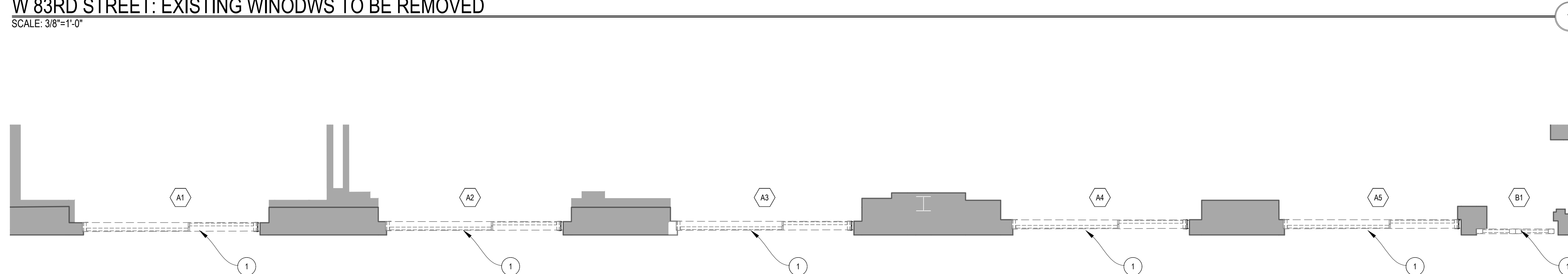
(XXX)	NEW NOTE CALLOUTS
(XXX)	WINDOW TAG (SEE L-015 TO L-018 FOR WINDOW DETAILS AND SCHEDULE)

NOTES:

- 1 REMOVE EXISTING ALUMINUM WINDOW. EXISTING WINDOW SILL / STONE SURROUND / STONE HEADER TO REMAIN
- 2 NEW ALUMINUM WINDOW. SEE SHEET L-015 TO L-018 FOR SCHEDULE AND DETAILS
- 3 NEW INTERIOR STONE WINDOW SILL



W 83RD STREET: EXISTING WINODWS TO BE REMOVED
 SCALE: 3/8"=1'-0"



PLAN: EXISTING WINDOWS TO BE REMOVED
 SCALE: 3/8"=1'-0"

PLOT PLAN

SCALE: 1/32" = 1'-0"



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DRAWING: **BUILDING FACADE
 EXISTING ELEVATIONS
 FROM W.83RD STREET**

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
 NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

DRAWN BY: ND

SCALE:

DWG NO:

L-010.00

LEGENDS

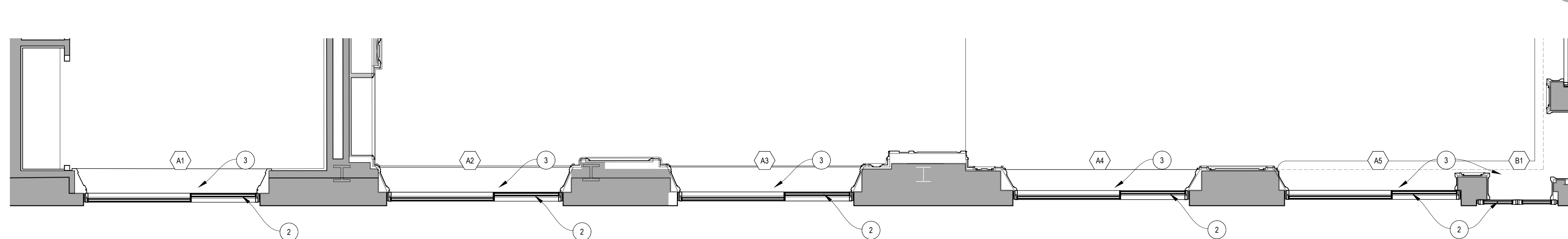
(XXX)	NEW NOTE CALLOUTS
(XXX)	WINDOW TAG (SEE L-015 TO L-018 FOR WINDOW DETAILS AND SCHEDULE)

NOTES:

- 1 REMOVE EXISTING ALUMINUM WINDOW. EXISTING WINDOW SILL / STONE SURROUND / STONE HEADER TO REMAIN
- 2 NEW ALUMINUM WINDOW. SEE SHEET L-015 TO L-018 FOR SCHEDULE AND DETAILS
- 3 NEW INTERIOR STONE WINDOW SILL



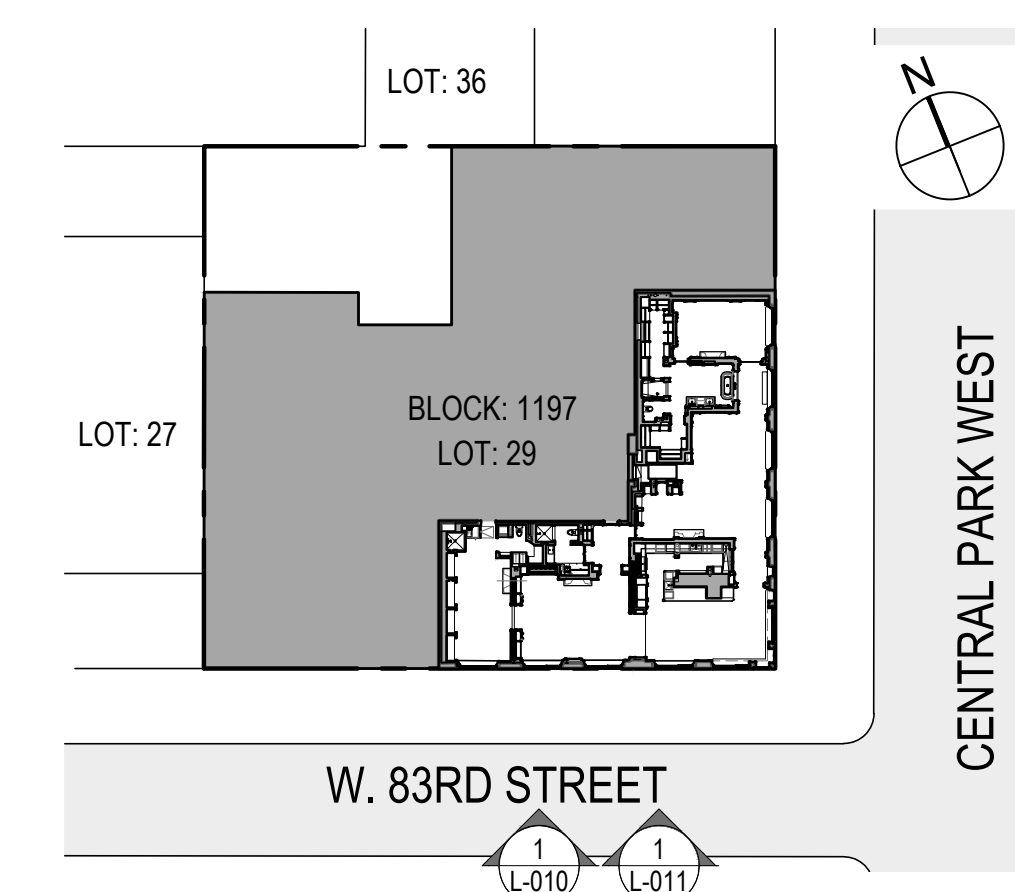
W 83RD STREET: PROPOSED WINDOWS
 SCALE: 3/8"=1'-0"



PLAN: PROPOSED WINDOWS
 SCALE: 3/8"=1'-0"

PLOT PLAN

SCALE: 1/32" = 1'-0"



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DRAWING: **BUILDING FACADE
 PROPOSED ELEVATIONS
 FROM W.83RD STREET**

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
 NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

DRAWN BY: ND

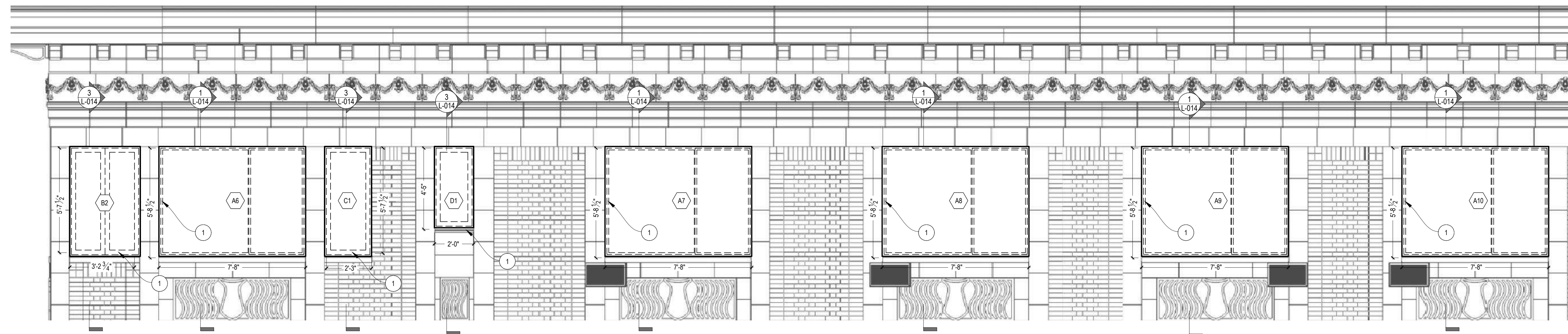
SCALE:

DWG NO:

L-011.00

LEGENDS	
(XXX)	NEW NOTE CALLOUTS
(XXX)	WINDOW TAG (SEE L-015 TO L-018 FOR WINDOW DETAILS AND SCHEDULE)

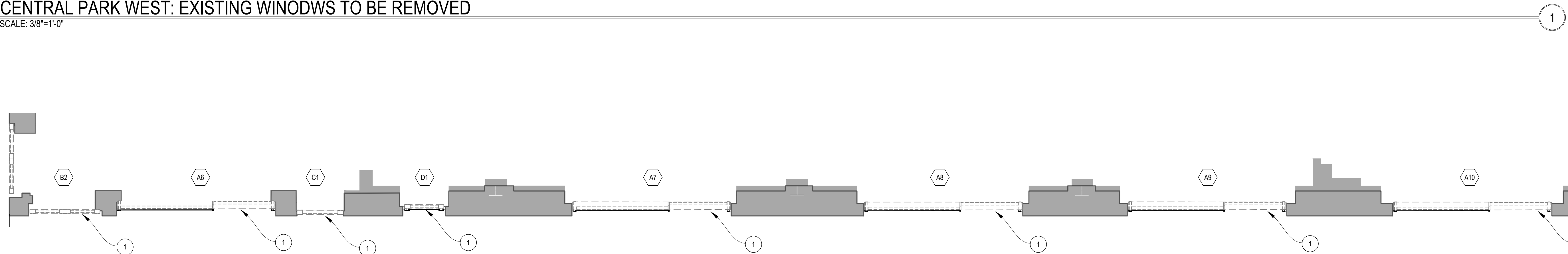
NOTES:	
1	REMOVE EXISTING ALUMINUM WINDOW. EXISTING WINDOW SILL / STONE SURROUND / STONE HEADER TO REMAIN
2	NEW ALUMINUM WINDOW. SEE SHEET L-015 TO L-018 FOR SCHEDULE AND DETAILS
3	NEW INTERIOR STONE WINDOW SILL



PLOT PLAN SCALE: 1/32" = 1'-0"

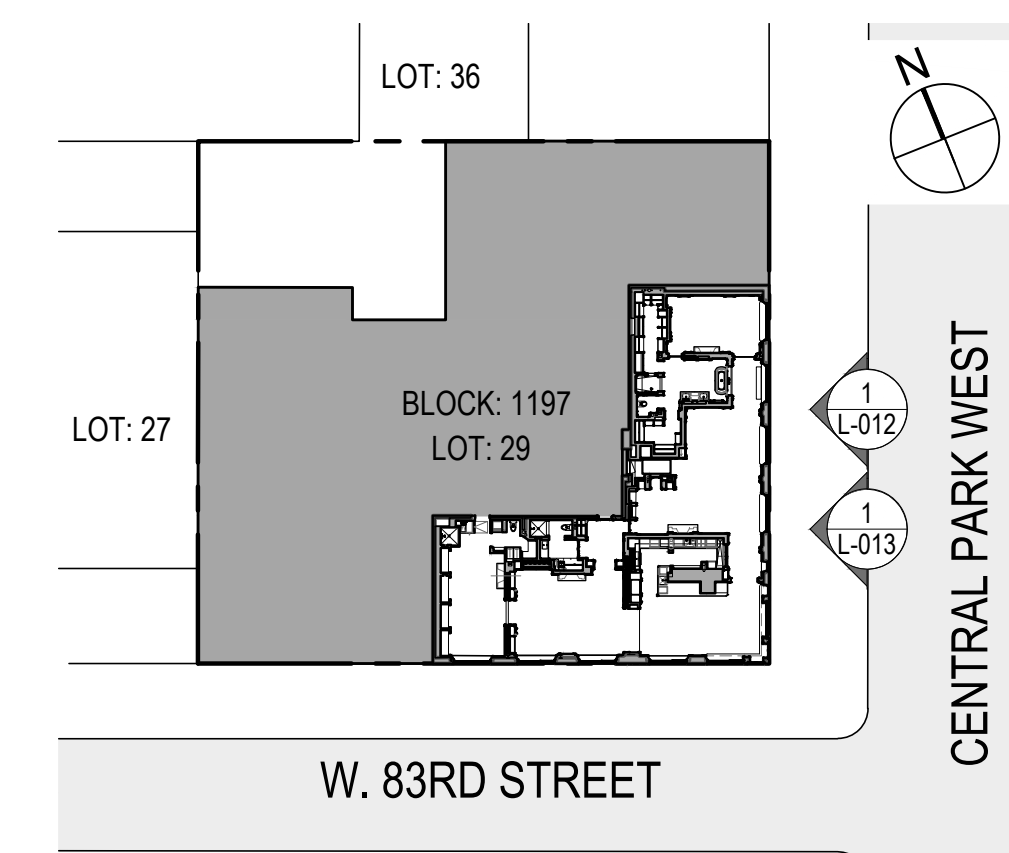
CENTRAL PARK WEST: EXISTING WINDOW TO BE REMOVED

SCALE: 3/8" = 1'-0"



PLAN: EXISTING WINDOW TO BE REMOVED

SCALE: 3/8" = 1'-0"



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DRAWING: **BUILDING FACADE
 EXISTING ELEVATIONS
 FROM CENTRAL PARK WEST**

SEAL & SIGNATURE:



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 NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

DRAWN BY: ND

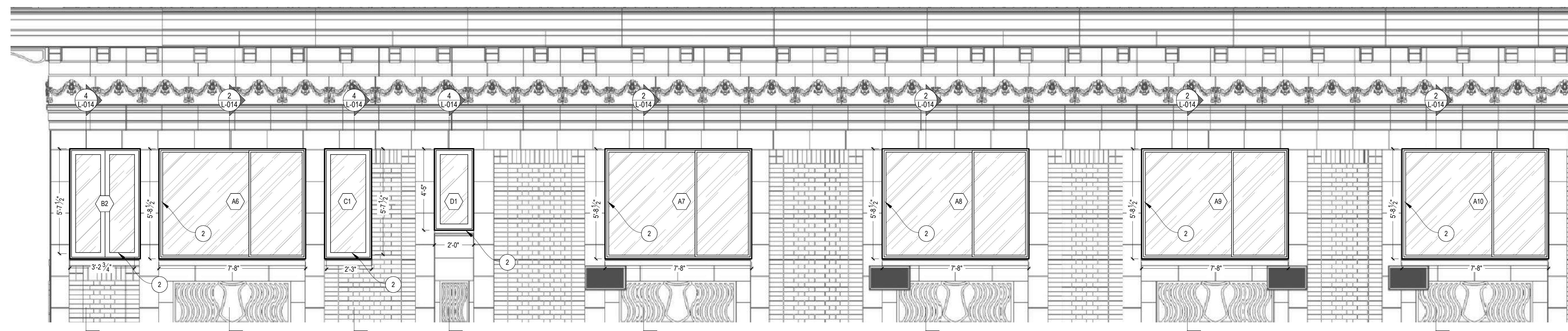
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DWG NO:

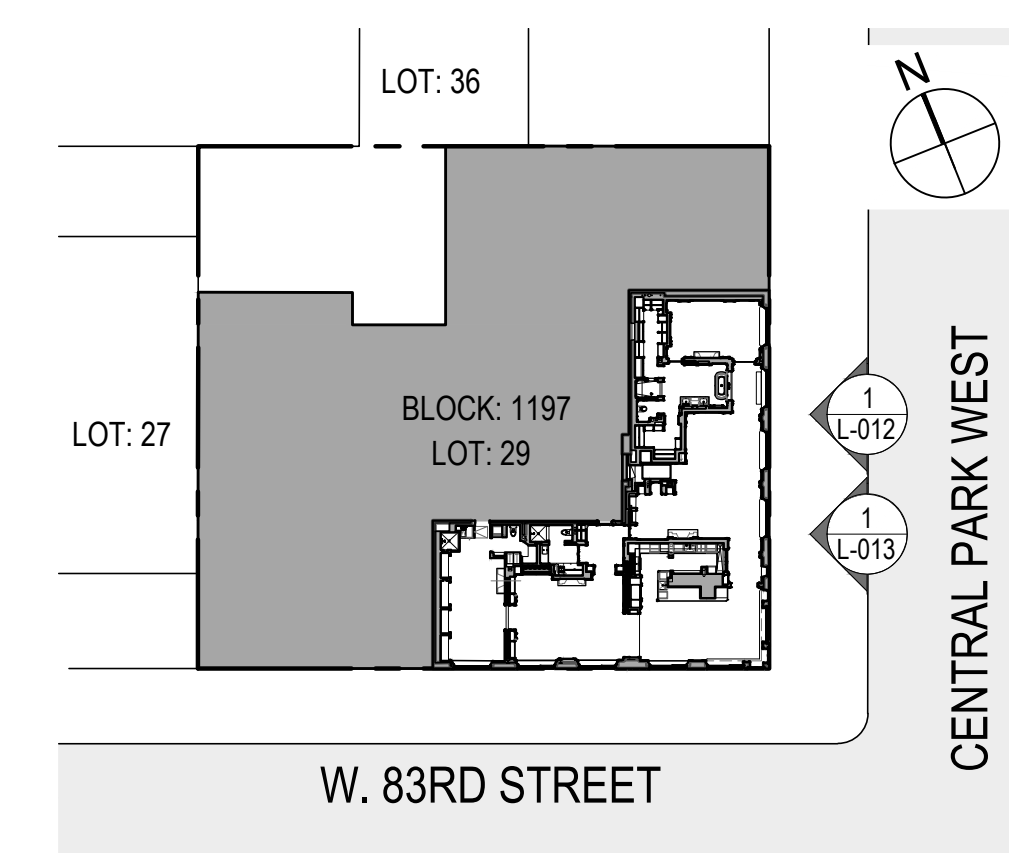
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LEGENDS	
(XXX)	NEW NOTE CALLOUTS
(XXX)	WINDOW TAG (SEE L-015 TO L-018 FOR WINDOW DETAILS AND SCHEDULE)

NOTES:	
1	REMOVE EXISTING ALUMINUM WINDOW. EXISTING WINDOW SILL / STONE SURROUND / STONE HEADER TO REMAIN
2	NEW ALUMINUM WINDOW. SEE SHEET L-015 TO L-018 FOR SCHEDULE AND DETAILS
3	NEW INTERIOR STONE WINDOW SILL

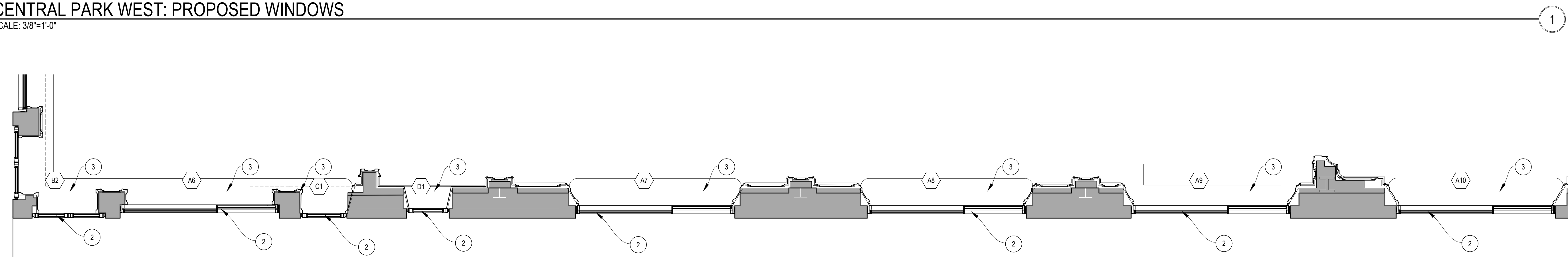


PLOT PLAN SCALE: 1/32" = 1'-0"



CENTRAL PARK WEST: PROPOSED WINDOWS

SCALE: 3/8"=1'-0"



PLAN: PROPOSED WINDOWS

SCALE: 3/8"=1'-0"

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DRAWING: **BUILDING FACADE
 PROPOSED ELEVATIONS
 FROM CENTRAL PARK WEST**

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
 NO. 017011-1

DATE: 04.30.24

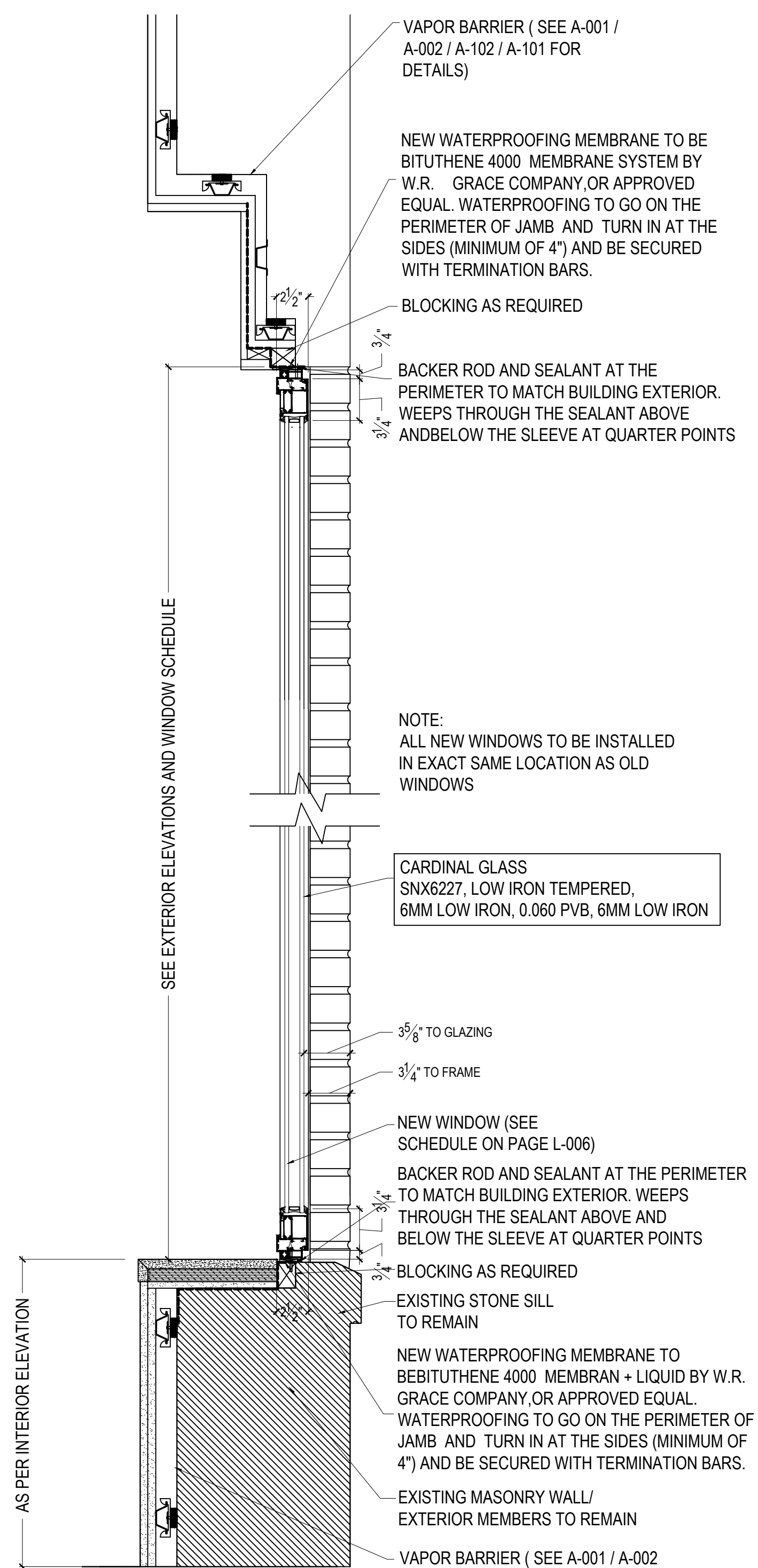
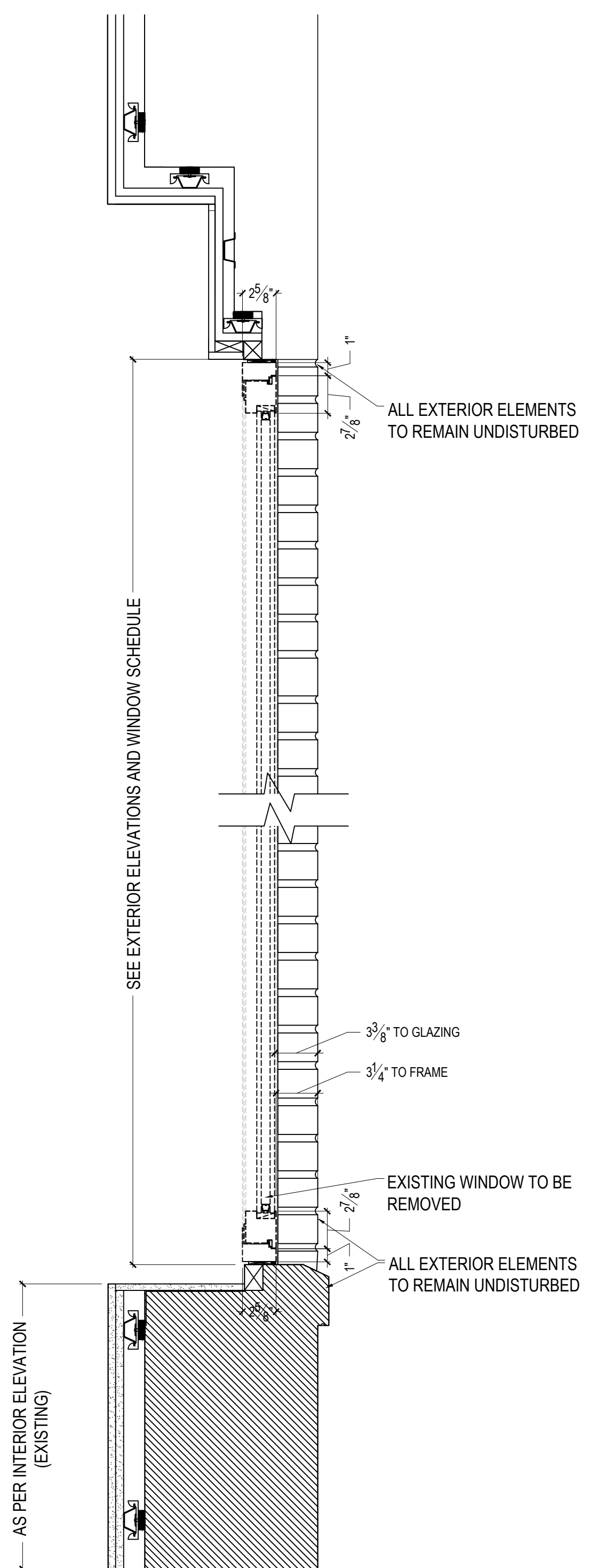
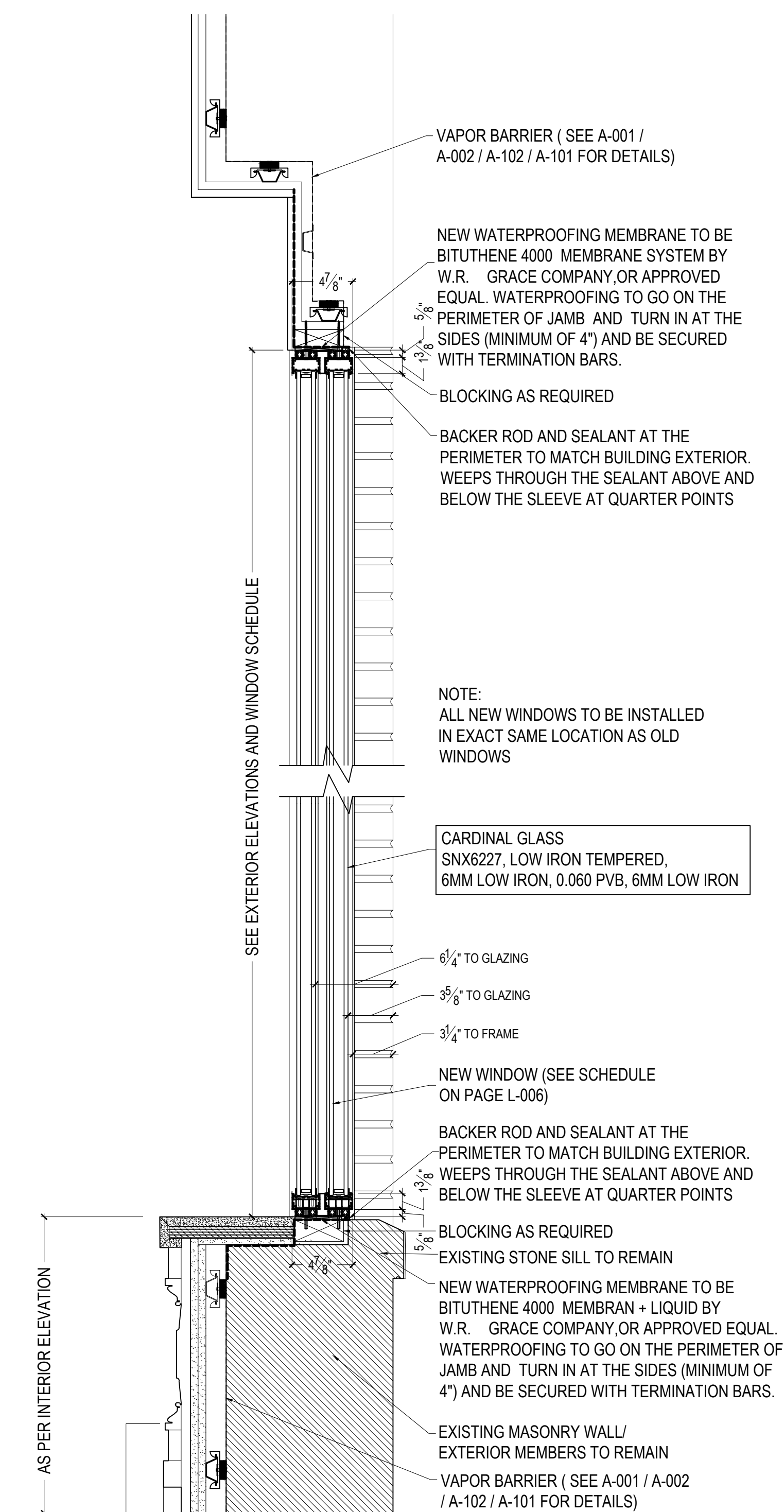
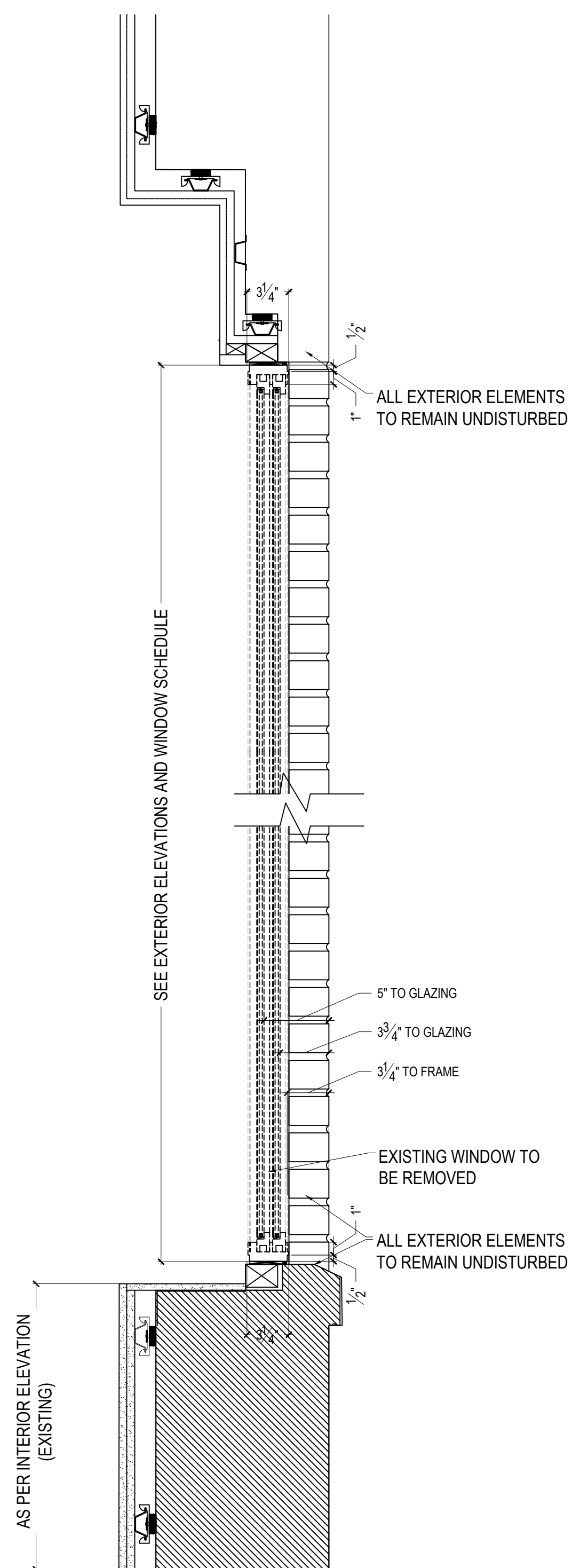
PROJECT NO: 1710

DRAWN BY: ND

SCALE:

DWG NO:

L-013.00



EXISTING SLIDING WINDOWS SECTION
SCALE: 1-1/2"=1'-0"

PROPOSED SLIDING WINDOWS SECTION / INSTALLATION DETAILS
SCALE: 1-1/2"=1'-0"

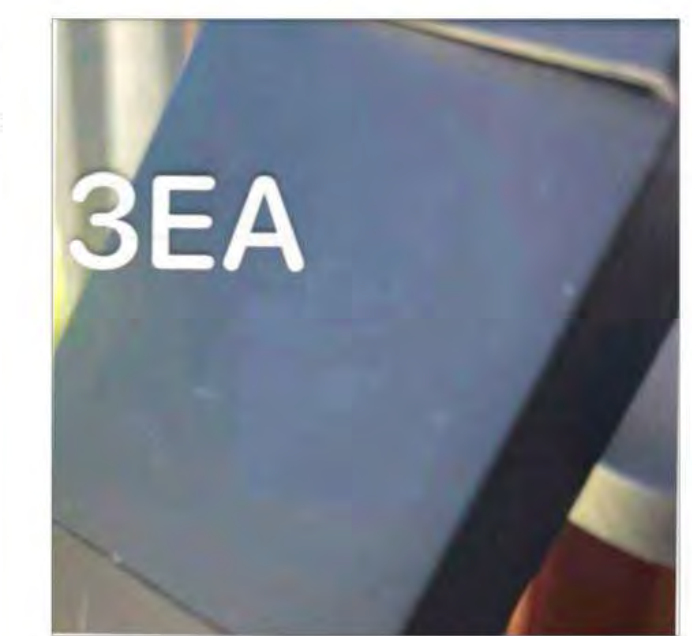
EXISTING CASEMENT WINDOWS SECTION
SCALE: 1-1/2"=1'-0"

PROPOSED CASEMENT WINDOWS SECTION / INSTALLATION DETAILS
SCALE: 1-1/2"=1'-0"

EXISTING WINDOW COLOR:




PROPOSED COLOR TO MATCH EXISTING:



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DRAWING: **PROPOSED WINDOWS SECTIONS AND INSTALLATION DETAILS**

SEAL & SIGNATURE:  DATE: 04.30.24
PROJECT NO: 1710
DRAWN BY: ND
SCALE:
DWG NO: **L-014.00**

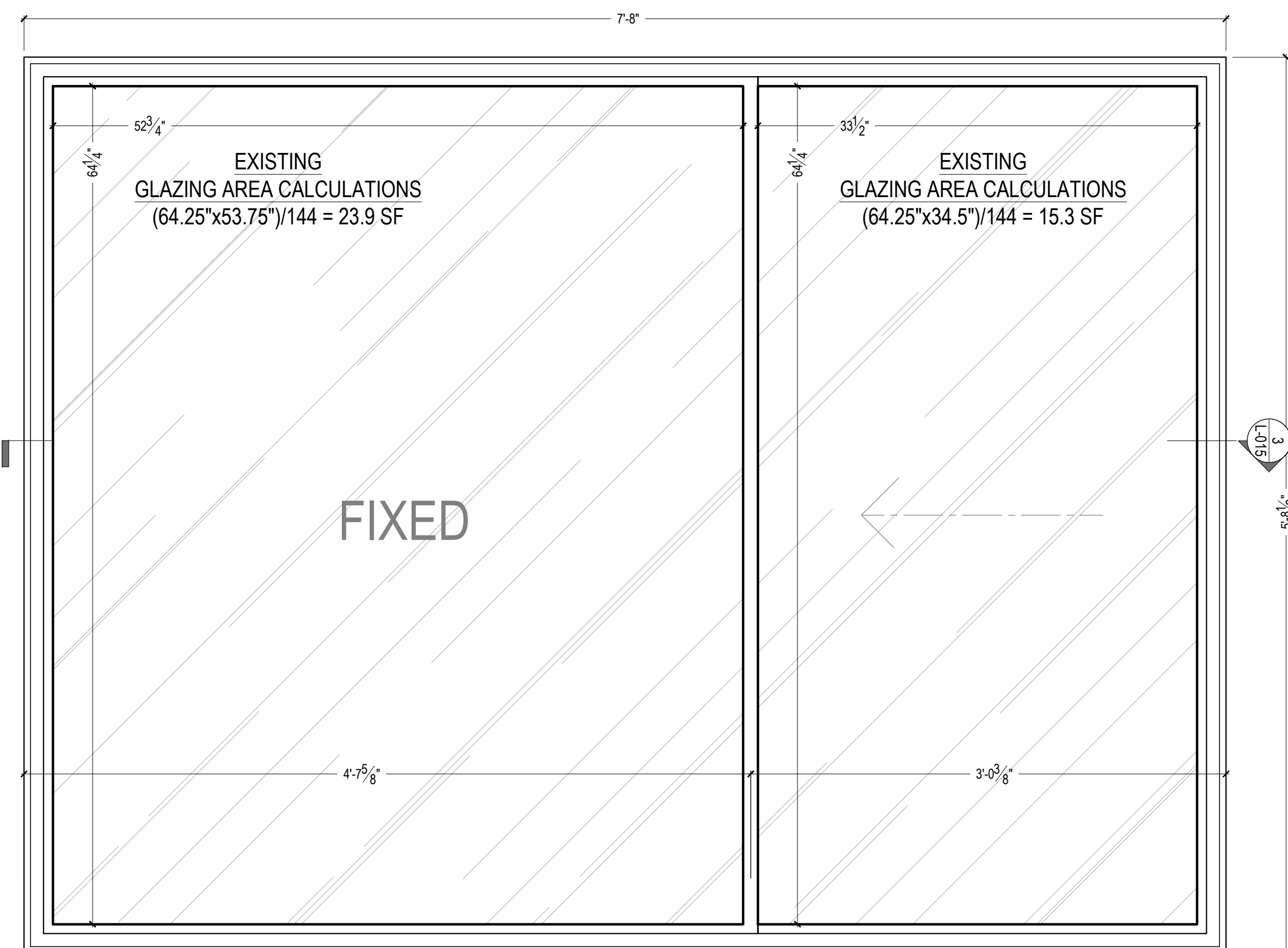
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VIEW FROM INTERIOR

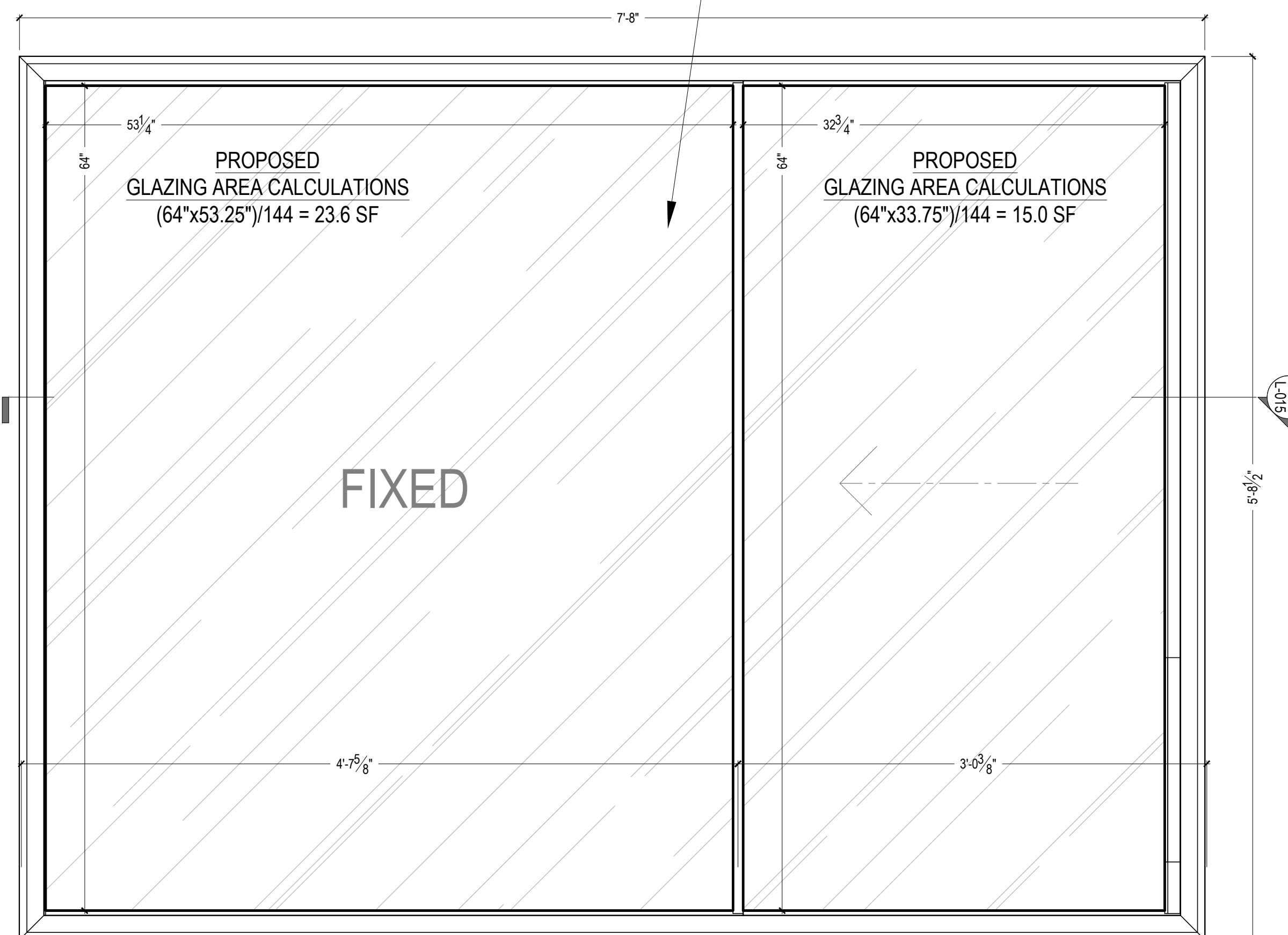
WINDOW TYPE "A": EXIST. WINDOW PHOTO
 NTS

1



VIEW FROM EXTERIOR
 WINDOW TYPE "A": EXIST. WINDOW EXT. ELEV
 SCALE: 1-1/2"=1'-0"

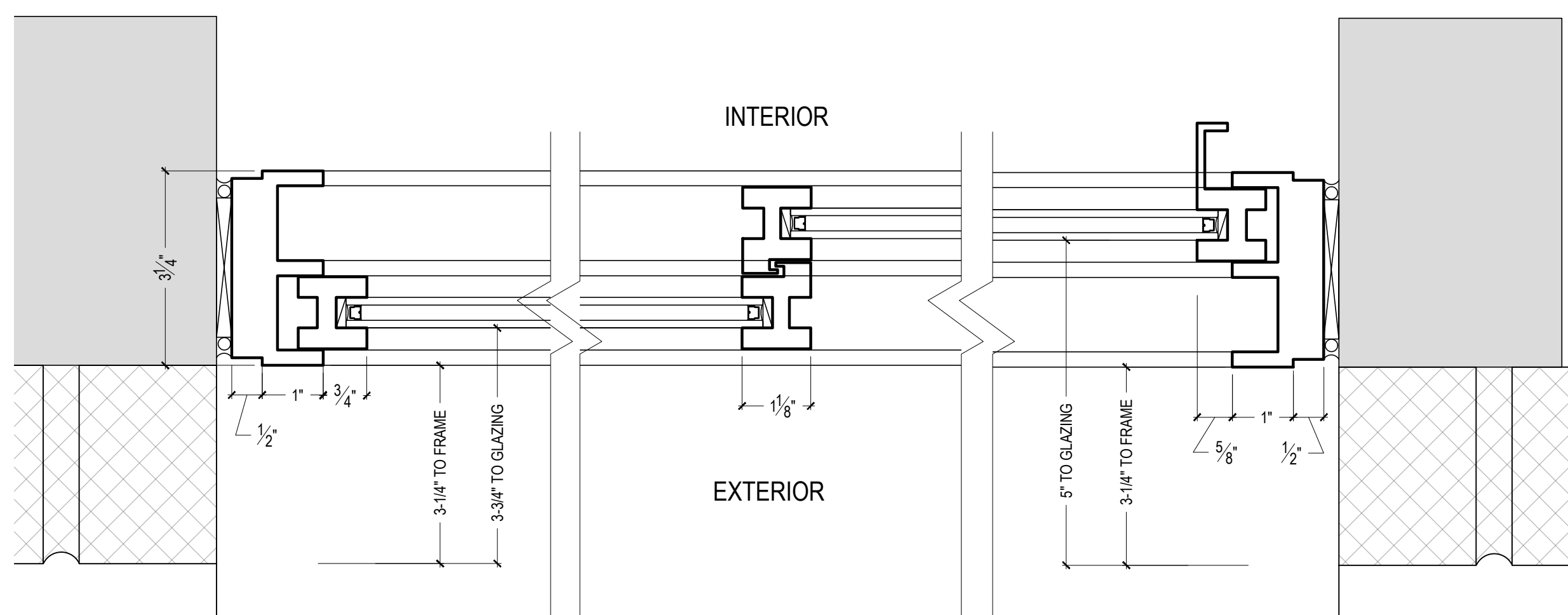
2



VIEW FROM EXTERIOR
 WINDOW TYPE "A": PROPOSED WINDOW EXT. ELEV
 SCALE: 1-1/2"=1'-0"

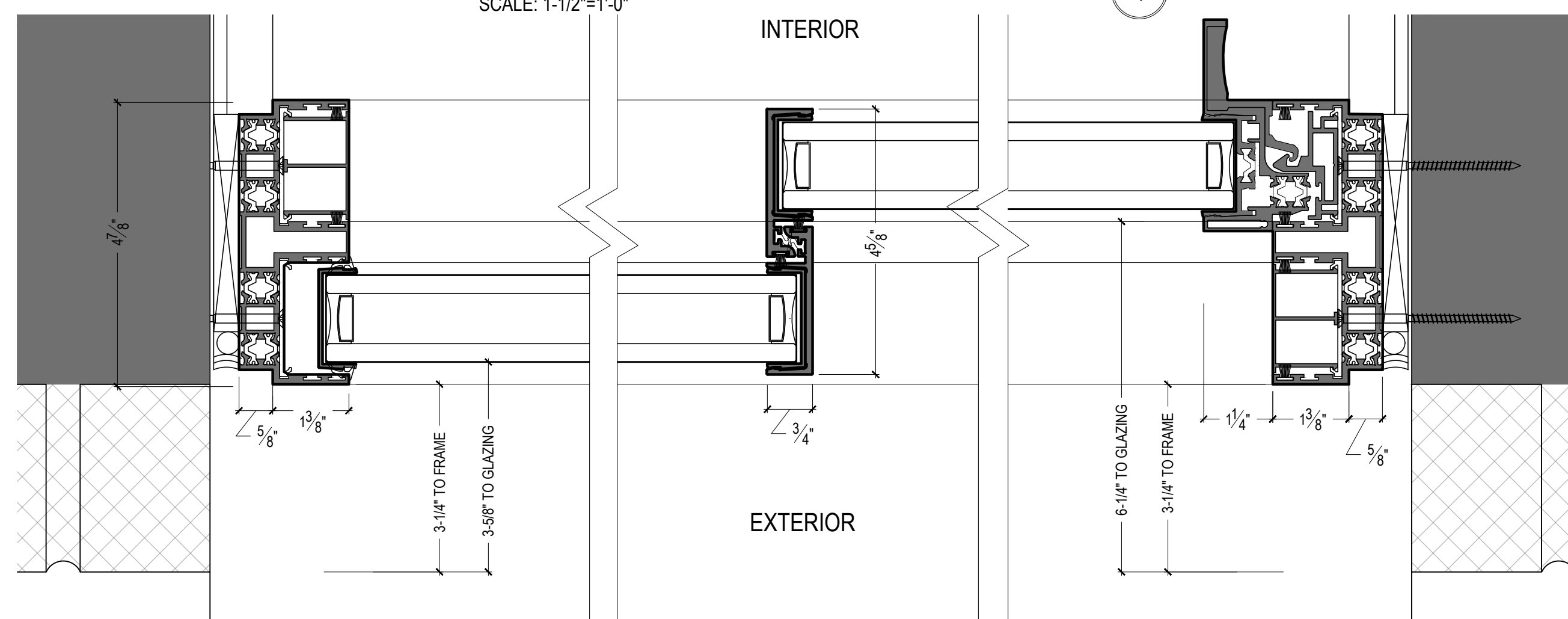
4

CARDINAL GLASS
 SNX6227, LOW IRON TEMPERED,
 6MM LOW IRON, 0.060 PVB, 6MM LOW IRON



WINDOW TYPE "A": EXIST. WINDOW SECTION
 SCALE: 6"=1'-0"

3



WINDOW TYPE "A": PROPOSED WINDOW SECTION
 SCALE: 6"=1'-0"

5

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DRAWING: **EXISTING WINDOW TYPE "A"
 PICTURES AND DETAILS
 PROPOSED WINDOWS DETAILS**

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
 NO. 017011-1

DATE: 04.30.24

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SCALE:

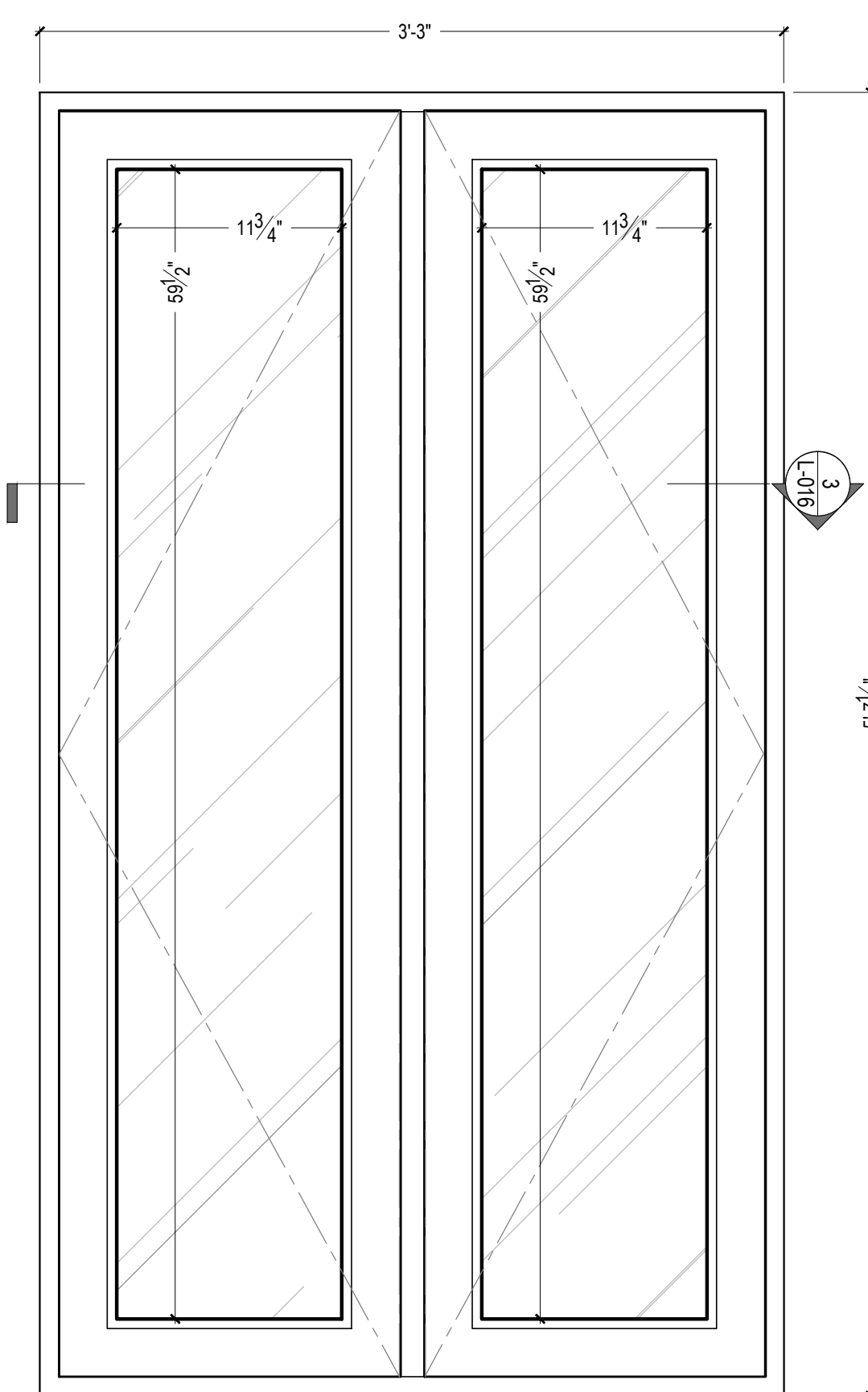
DWG NO:

L-015.00



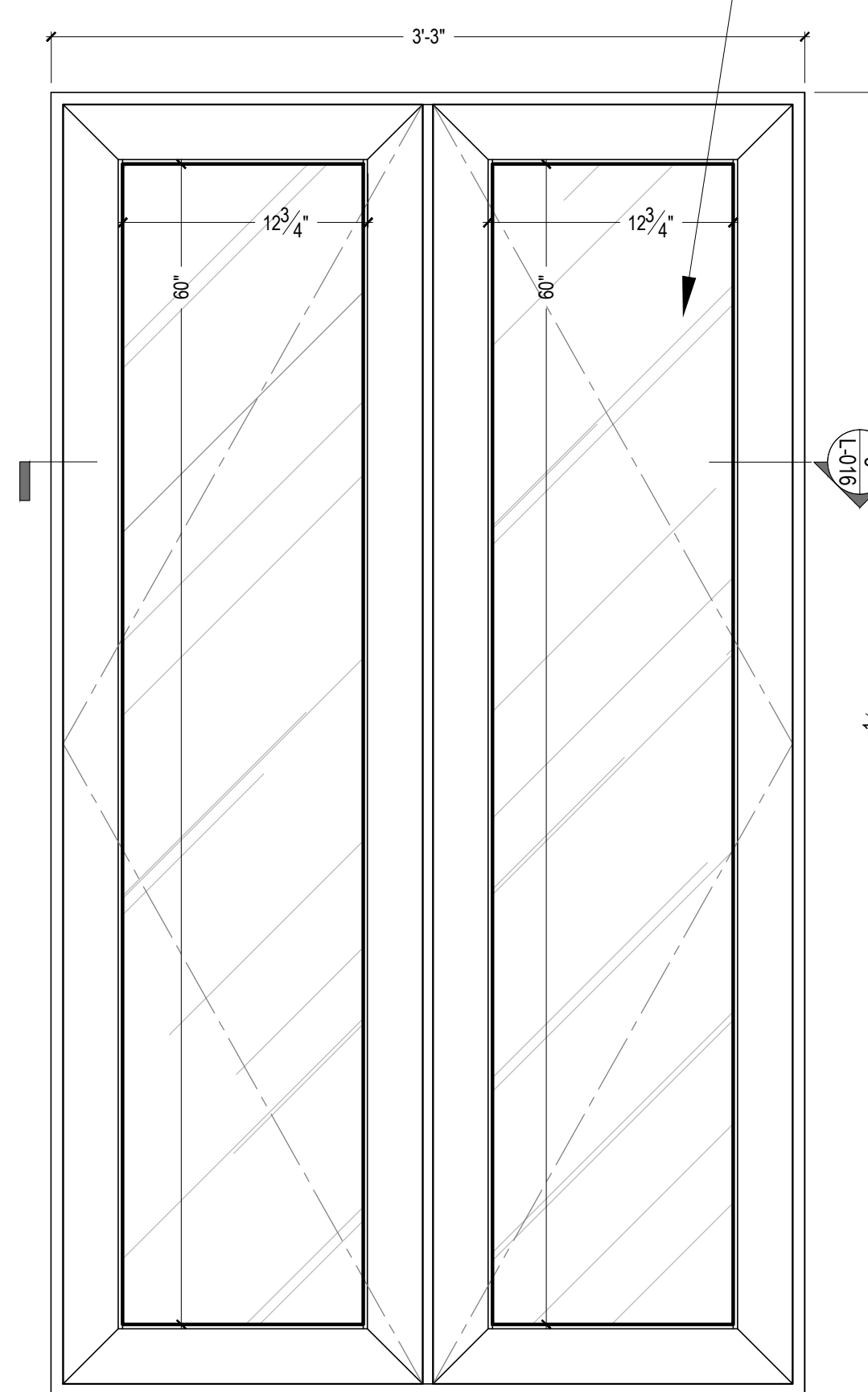
VIEW FROM INTERIOR

WINDOW TYPE "B": EXIST. WINDOW PHOTO
 NTS 1



EXISTING
 GLAZING AREA CALCULATIONS
 $2 \times [(59.5" \times 11.75") / 144] = 9.7 \text{ SF}$

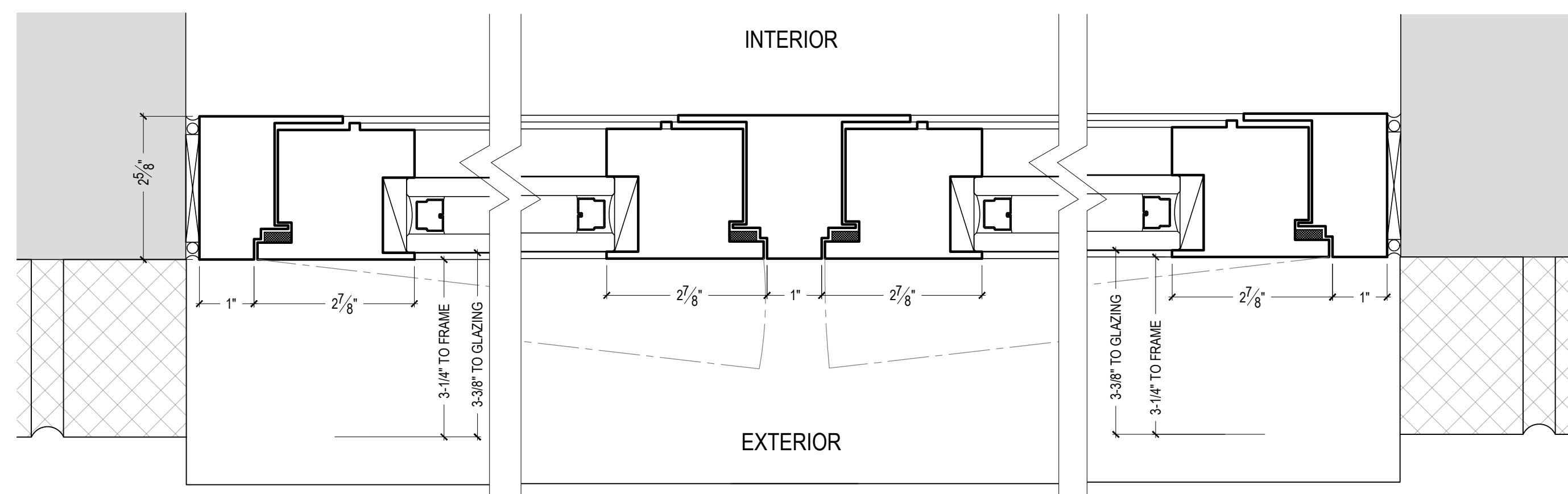
CARDINAL GLASS
 SNX6227, LOW IRON TEMPERED,
 6MM LOW IRON, 0.060 PVB, 6MM LOW IRON



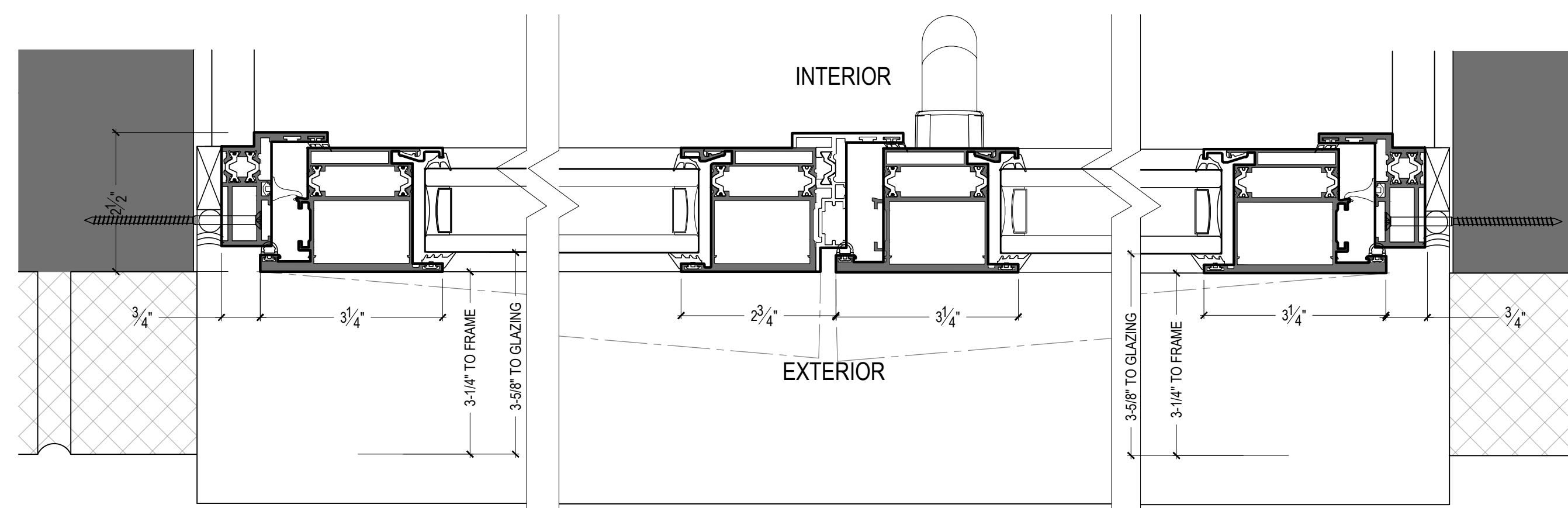
PROPOSED
 GLAZING AREA CALCULATIONS
 $2 \times [(60" \times 12.75") / 144] = 10.6 \text{ SF}$

VIEW FROM EXTERIOR
 WINDOW TYPE "B": EXIST. WINDOW EXT. ELEV
 SCALE: 1-1/2"=1'-0" 2

VIEW FROM EXTERIOR
 WINDOW TYPE "B": PROPOSED WINDOW EXT. ELEV
 SCALE: 1-1/2"=1'-0" 4



WINDOW TYPE "B": EXIST. WINDOW SECTION
 SCALE: 6"=1'-0" 3



WINDOW TYPE "B": PROPOSED WINDOW SECTION
 SCALE: 6"=1'-0" 5

04.30.24 ISSUED TO LPC

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 NEW YORK, NY 10013
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 FAX. 212.219.1677
 WWW.HS2ARCHITECTURE.COM

DRAWING:
**EXISTING WINDOW TYPE "B"
 PICTURES AND DETAILS
 PROPOSED WINDOWS DETAILS**

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
 NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

DRAWN BY: ND

SCALE:

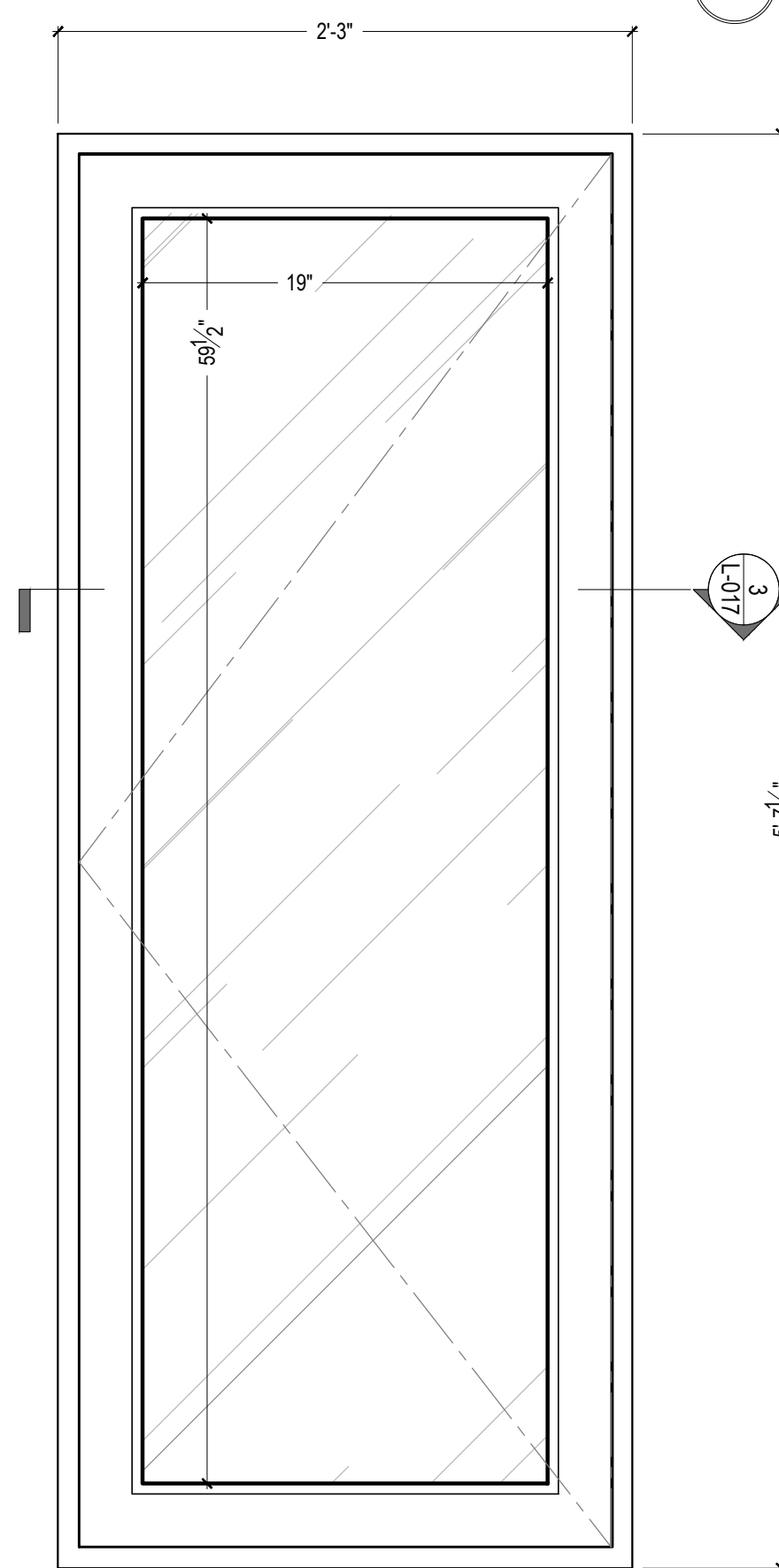
DWG NO:

L-016.00

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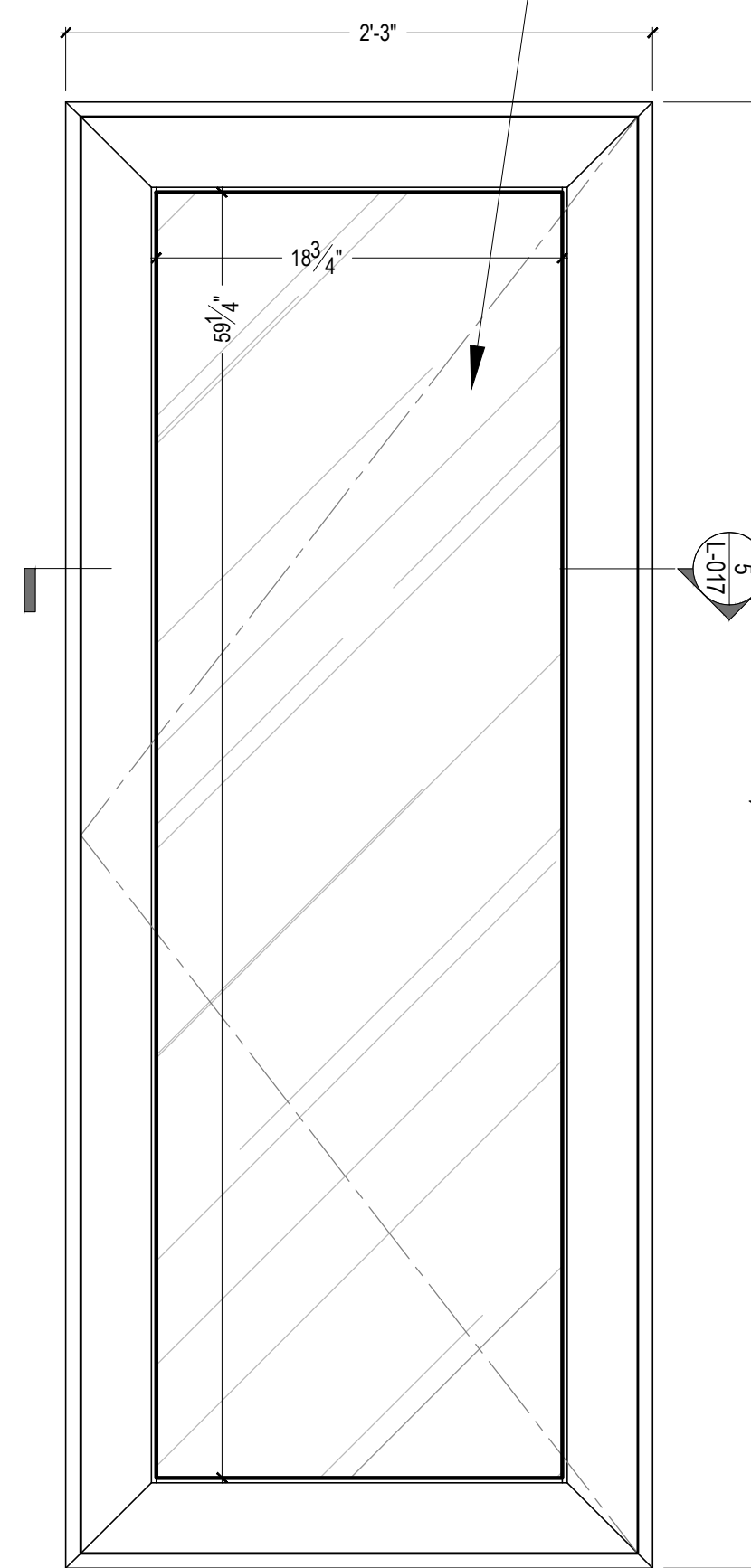


VIEW FROM INTERIOR
 WINDOW TYPE "C": EXIST. WINDOW PHOTO
 NTS 1



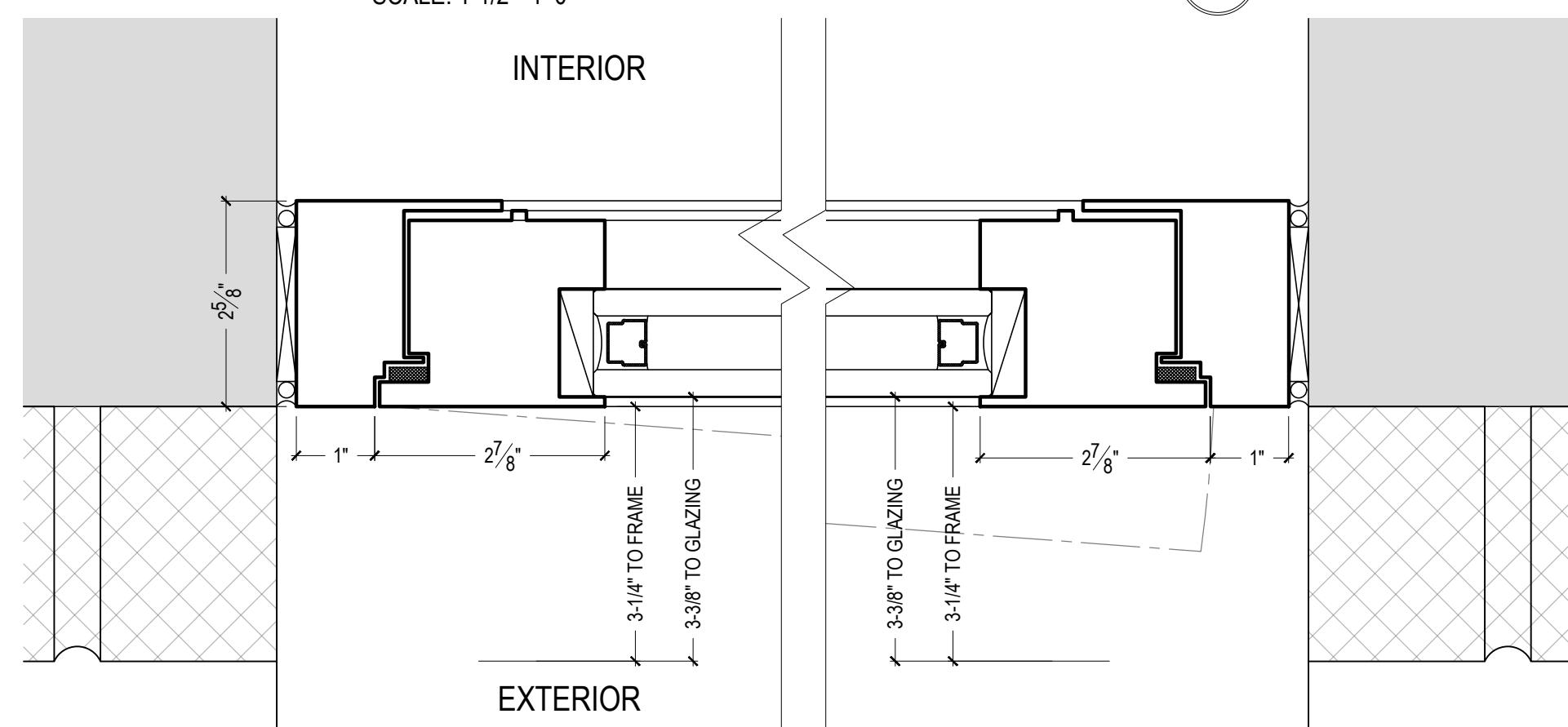
EXISTING
 GLAZING AREA CALCULATIONS
 (59.5"x19")/144 = 7.9 SF

CARDINAL GLASS
 SNX6227, LOW IRON TEMPERED,
 6MM LOW IRON, 0.060 PVB, 6MM LOW IRON



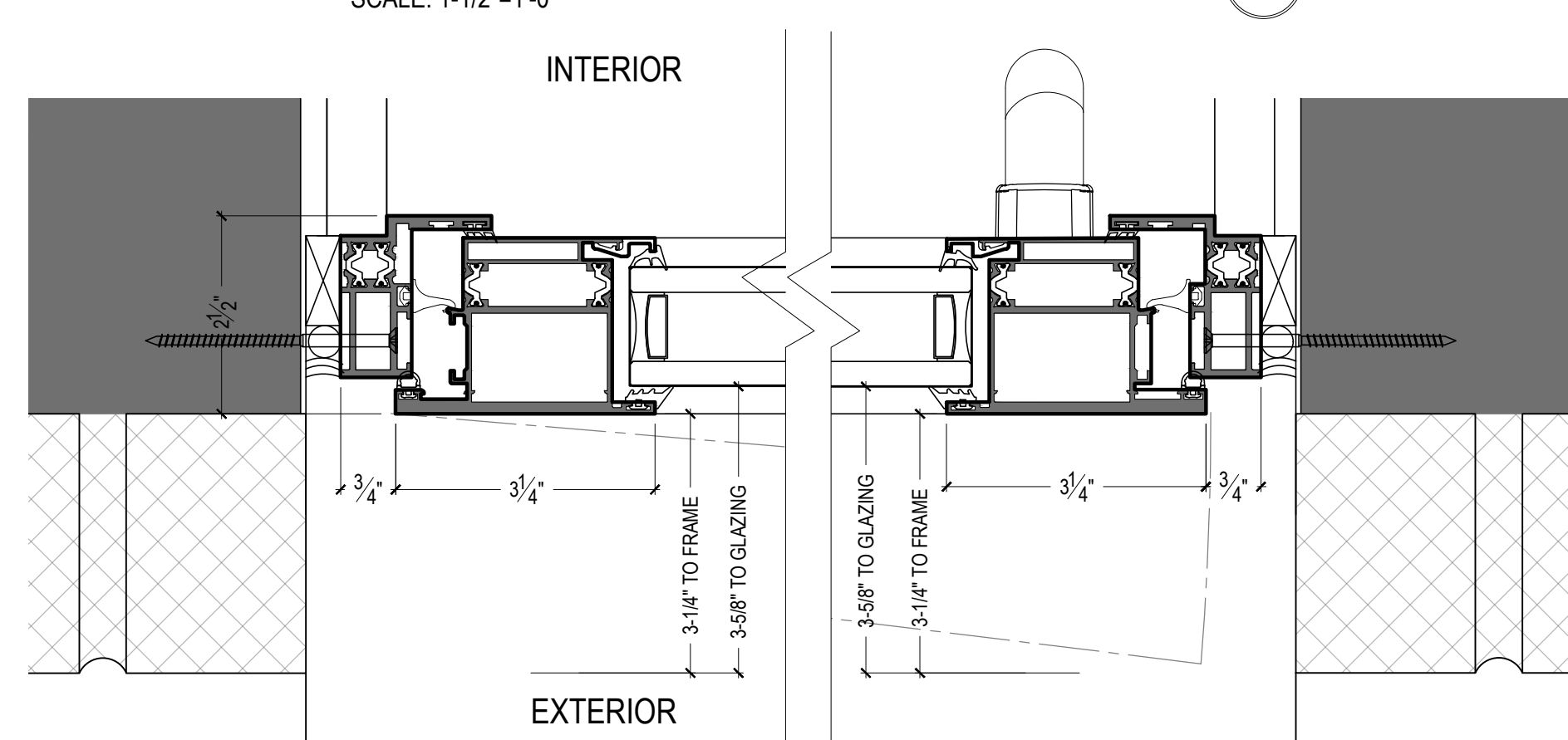
PROPOSED
 GLAZING AREA CALCULATIONS
 (59.25"x18.75")/144 = 7.7 SF

VIEW FROM EXTERIOR
 WINDOW TYPE "C": EXIST. WINDOW EXT. ELEV
 SCALE: 1-1/2"=1'-0" 2



WINDOW TYPE "C": EXIST. WINDOW SECTION
 SCALE: 6"=1'-0" 3

VIEW FROM EXTERIOR
 WINDOW TYPE "C": PROPOSED WINDOW EXT. ELEV
 SCALE: 1-1/2"=1'-0" 4




WINDOW TYPE "C": PROPOSED WINDOW SECTION
 SCALE: 6"=1'-0" 5

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DRAWING:
**EXISTING WINDOW TYPE "C"
 PICTURES AND DETAILS
 PROPOSED WINDOWS DETAILS**

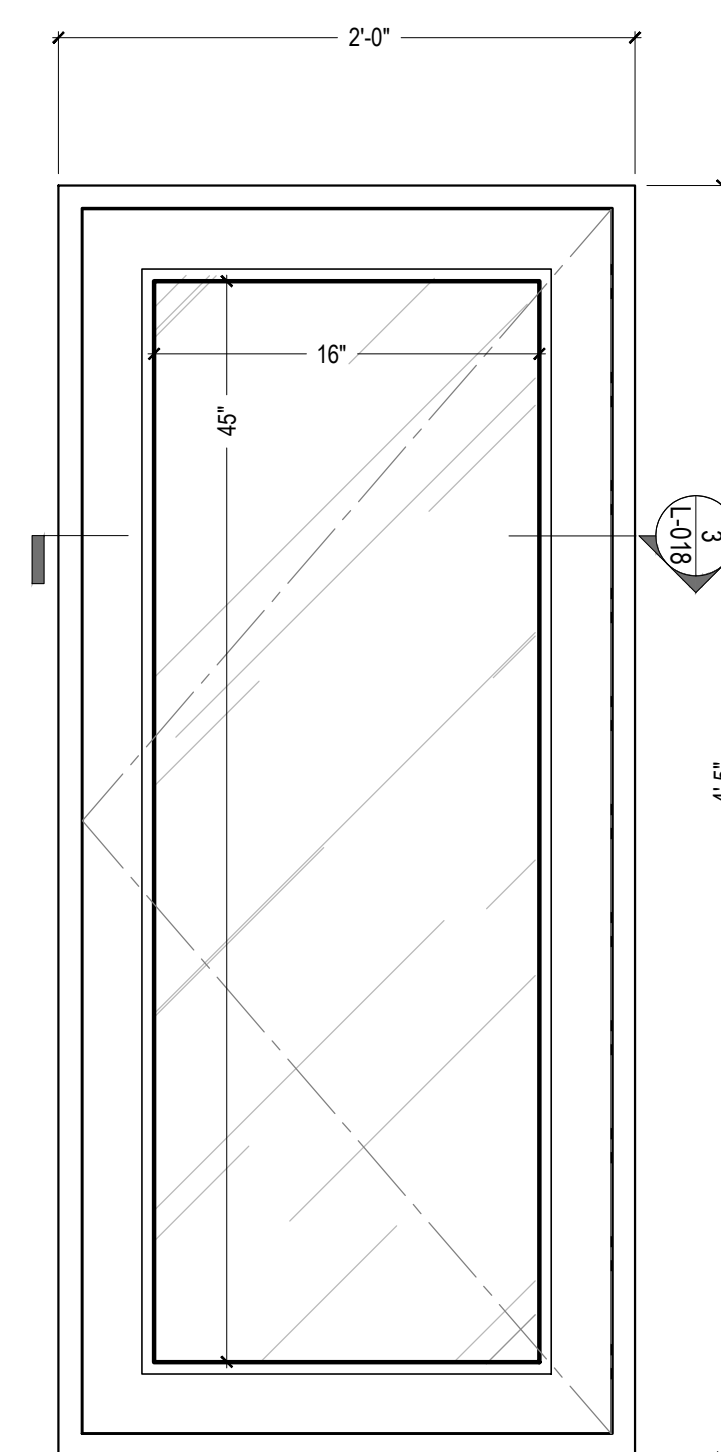
SEAL & SIGNATURE:  DATE: 04.30.24
 PROJECT NO: 1710
 DRAWN BY: ND
 SCALE:
 DWG NO: **L-017.00**

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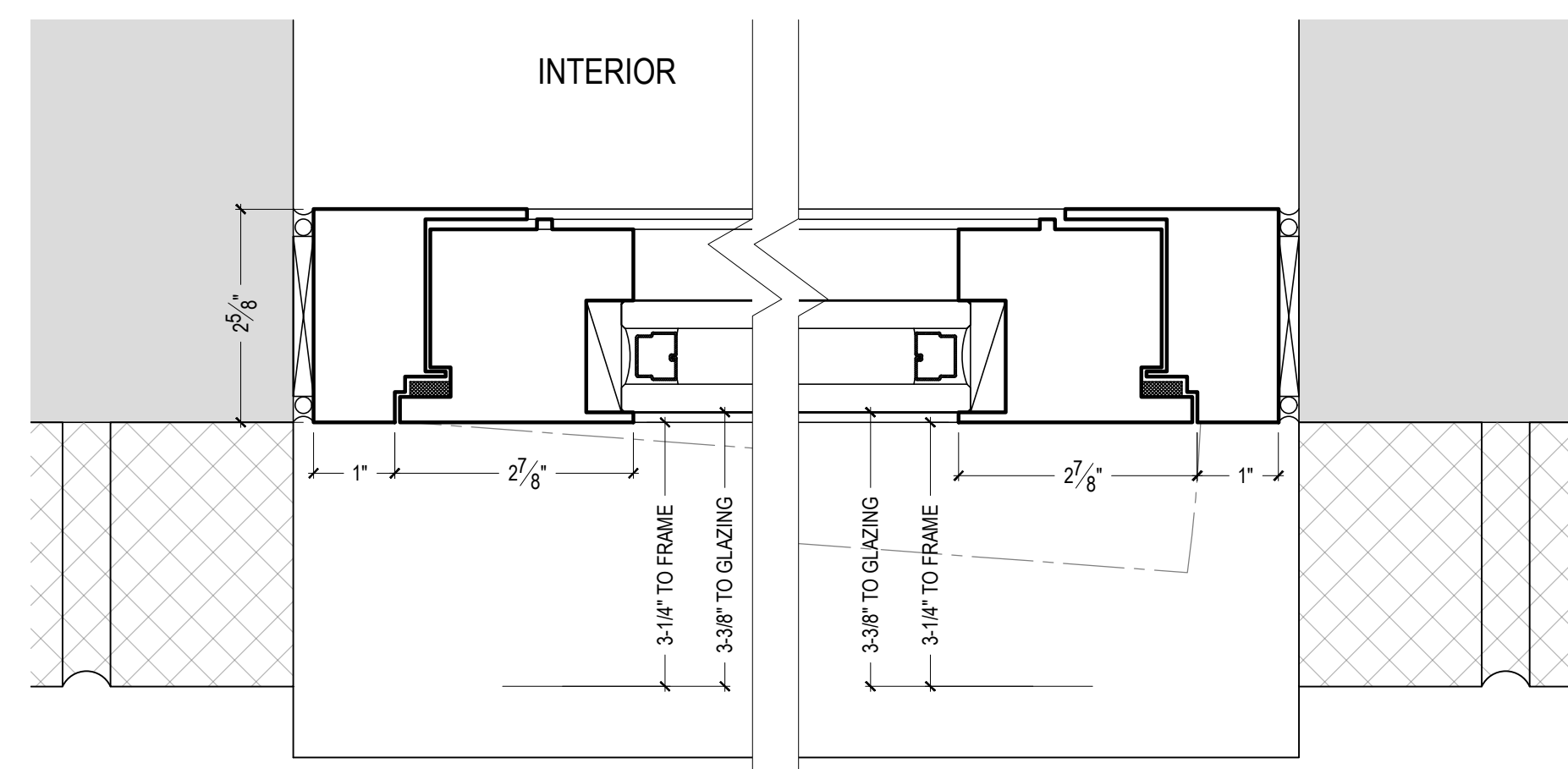
VIEW FROM INTERIOR

WINDOW TYPE "D": EXIST. WINDOW PHOTO
 NTS 1



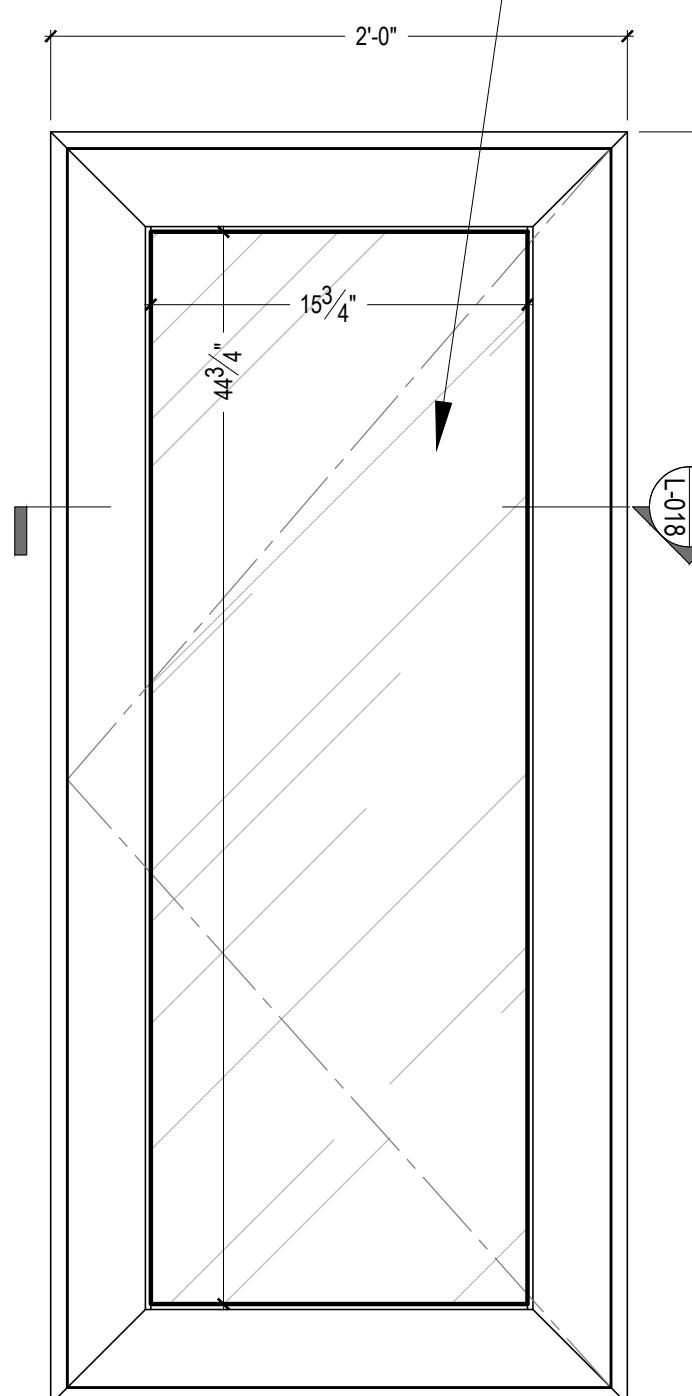
VIEW FROM EXTERIOR

WINDOW TYPE "D": EXIST. WINDOW EXT. ELEV
 SCALE: 1-1/2"=1'-0" 2



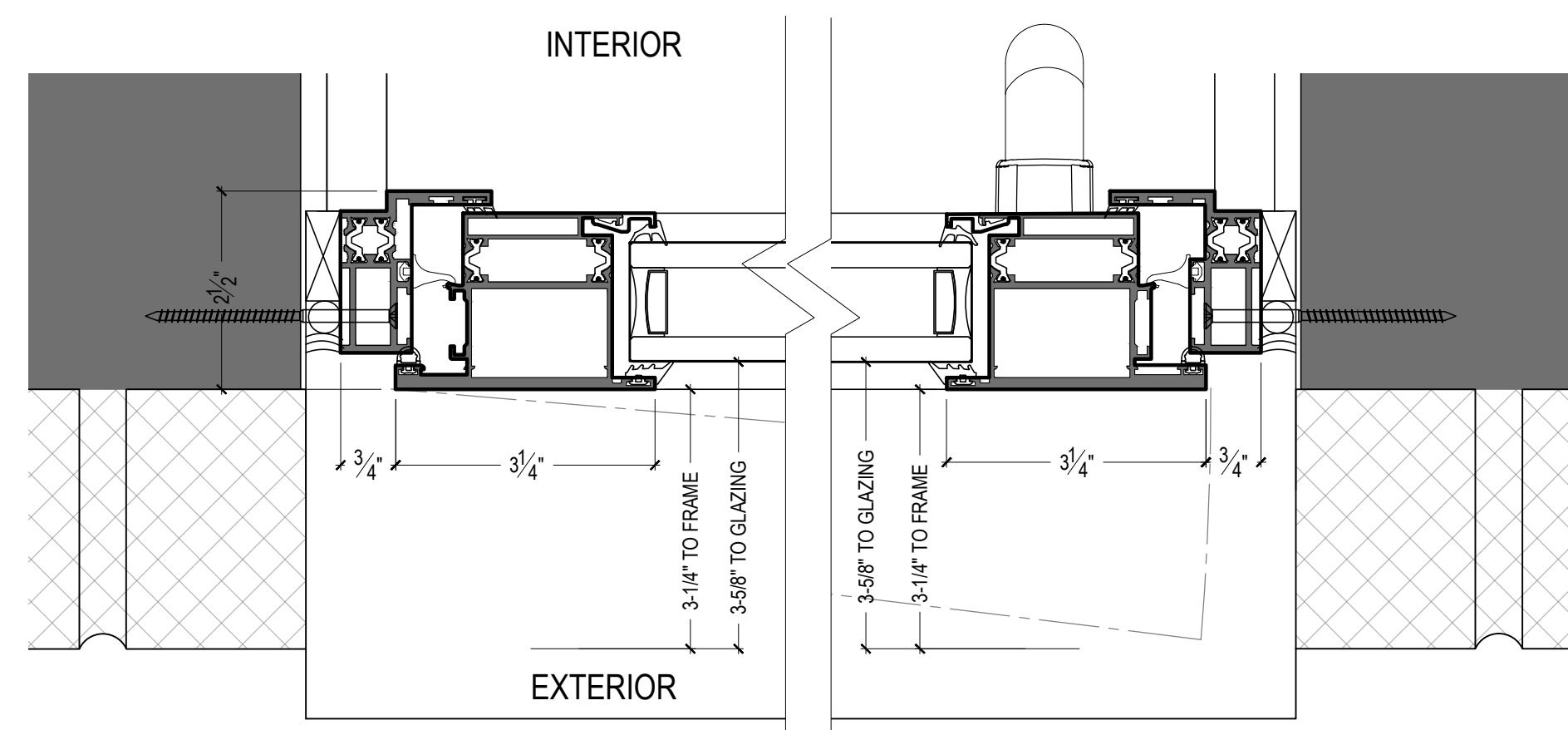
WINDOW TYPE "D": EXIST. WINDOW SECTION
 SCALE: 6"=1'-0" 3

CARDINAL GLASS
 SNX6227, LOW IRON TEMPERED,
 6MM LOW IRON, 0.060 PVB, 6MM LOW IRON



VIEW FROM EXTERIOR

WINDOW TYPE "D": PROPOSED WINDOW EXT. ELEV
 SCALE: 1-1/2"=1'-0" 4



WINDOW TYPE "D": PROPOSED WINDOW SECTION
 SCALE: 6"=1'-0" 5

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DRAWING:
**EXISTING WINDOW TYPE "D"
 PICTURES AND DETAILS
 PROPOSED WINDOWS DETAILS**

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
 NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

DRAWN BY: ND

SCALE:

DWG NO:

L-018.00

HIGHLY DECORATIVE FEATURES, ALLOWING WINDOWS TO RECEDE
MAJOR BUILDING FULL FACADE ALTERATION BEGINNING IN 1976 AND COMPLETED BY 1978.



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DRAWING:
FACADE DECORATION FEATURES

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
NO. 017011-1

DATE: 04.30.24
PROJECT NO: 1710
DRAWN BY: ND
SCALE:
DWG NO:
L-019.00

CONSISTENCY AND UNIFORMITY FOR THE LAST 46 YEARS
 UNIFORMITY AND CONSISTENCY OF THE FENESTRATION SINCE MAJOR FACADE ALTERATION IN 1976 - 1978

MUIR/CASTELLANO RESIDENCE
 230 CENTRAL PARK WEST, 15TH FLOOR, APT 16AMB
 NEW YORK, NEW YORK 10026

LEGEND

 WINDOWS APART OF THIS APPLICATION



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ARCHITECT: **HS2ARCHITECTURE**
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DRAWING: **BUILDING UNIFORMITY**
230 CENTRAL PARK WEST

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
 NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

DRAWN BY: ND

SCALE:

DWG NO:

L-020.00

CONSISTENCY AND UNIFORMITY FOR THE LAST 46 YEARS
UNIFORMITY AND CONSISTENCY OF THE FENESTRATION SINCE MAJOR FACADE ALTERATION IN 1976 - 1978

MUIR/CASTELLANO RESIDENCE
230 CENTRAL PARK WEST, 15TH FLOOR, APT 16AMB
NEW YORK, NEW YORK 10026

LEGEND

WINDOWS APART OF
THIS APPLICATION



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DRAWING: **BUILDING UNIFORMITY**
230 CENTRAL PARK WEST

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

DRAWN BY: ND

SCALE:

DWG NO:

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PRECEDENT FOR IN KIND WINDOW REPLACEMENT AT 950 PARK AVENUE

950 PARK AVENUE CERTIFICATE OF APPROPRIATENESS DOCKET # 1919188



950 PARK AVENUE

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DRAWING:
**PRECEDENT FOR IN KIND WINDOW
REPLACEMENT AT 950 PARK AVENUE**

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

DRAWN BY: ND

SCALE:

DWG NO:

L-022.00

APT 16AMBC AT 230 CENTRAL PARK WEST, NEW YORK, NEW YORK

MUIR/CASTELLANO RESIDENCE
230 CENTRAL PARK WEST, 15TH FLOOR, APT 16AMBC
NEW YORK, NEW YORK 10026



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DRAWING: **APT 16AMBC**
230 CENTRAL PARK WEST

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

DRAWN BY: ND

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APPENDIX A

NO VESTIGES OF THE "ORIGINAL" WINDOWS REMAINED ON STREET FACING FACADES. BOTH MAJOR FACADES REPLACED STARTING IN 1976, COMPLETED IN 1978.

UNDER LPC GUIDELINES OF 'HISTORIC' (ANY BUILDING THAT IS 30+ YEARS OLD), THE BOLIVAR WOULD QUALIFY.

1. Windows

Replacing Windows at Primary Facades

Staff can approve new windows at primary facades if they match original or historic windows in terms of configuration, operation, details, materials, and finish. However, variations are permitted in certain situations. See *Acceptable Variations* below and on page 2.8.

Configuration

New windows must match the original design in terms of number, shape, organization, and relationship of panes (lights) of glass, mullions, and muntins. Check historic tax photos to determine historic window configuration.

Operation

New windows must open, close, and function generally in the same manner as historic windows, e.g., casement or double-hung. Variations are acceptable, depending on type. See *Acceptable Variations* below.

Details

New window details — the dimensions and contours of stationary and movable portions of windows and moldings — must be as dimensionally close to historic window details as possible.

Materials

New windows must generally match historic windows. Exceptions are allowed based on the size of the building and window type:

For small buildings classified by LPC as six stories or less with street frontage of 40 feet or less, if original windows had a one-over-one configuration, replacements may be made of other alternative materials.

Other materials, including wood, metal, or fiberglass (but not vinyl), may be used for windows and brick molds.

For large buildings, classified by LPC as seven or more stories or with street frontage of more than 40 feet, replacement windows may be made of other alternative materials.

Other materials, including wood, metal, or fiberglass (but not vinyl), may be used for windows and brick molds.

2.

Chapter 2
Subchapter B
Subsection 2-14
Windows & Doors

Fenestration. "Fenestration" means the arrangement, proportioning and design of windows in a building.

Finish. "Finish" means the visual characteristics, including color, texture and reflectivity of exterior material. Finish can be based on the original or historic finish, or finishes used at similar buildings in later eras of significance typical of a particular historic district as an alternative to matching the original or historic finish.

Frame. "Frame" means the stationary portion of a window or door unit that is affixed to the facade and holds the sash or other operable portions of the window or door.

Glazing. "Glazing" means the material, usually glass, that fills spaces between sash members (rails, stiles and muntins), commonly referred to as panes or lights. Note: glazing may consist of multiple layers of glass, including laminated glass and insulated glass with or without low-e coatings, provided the glass is otherwise clear.

Head. "Head" means the upper horizontal part of a window or door frame or opening.

Historic window or historic door. "Historic window" or "historic door" means:

- (1) a window or door installed at time of construction of the building; or
- (2) a window or door of a type installed at time of construction of similar buildings in similar periods and styles; or
- (3) a window or door installed at time of major facade alterations 30 or more years ago.

Jamb. "Jamb" means the side parts of a window or door frame or opening, as distinct from head and sill.

Landmarks law. "Landmarks Law" means Title 25, Chapter 3 of the Administrative Code of the City of New York.

WHEN THE BOLIVAR WAS DESIGNATED AS AN LPC-BUILDING, THE CURRENT WINDOWS EXISTED IN THE ENTIRE BUILDING. THESE "IN-KIND" WINDOWS WE ARE SUBMITTING HAVE BEEN IN EXISTENCE SINCE LPC DESIGNATED THE AREA.

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DRAWING:

APPENDIX A

SEAL & SIGNATURE:



THOMAS W. HUT ARCHITECT PLLC
NO. 017011-1

DATE: 04.30.24

PROJECT NO: 1710

DRAWN BY: ND

SCALE:

DWG NO:

L-024.00

May 14, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 11, LPC-24-06259

**230 Central Park West – Upper West Side/Central Park West
Historic District
Borough of Manhattan**

To testify virtually, please join Zoom

Webinar ID: 825 9802 2468

Passcode: 721460

By Phone: 1 646-558-8656 US (New
York) 877-853-5257 (Toll free) US
888 475 4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.