



# COMMUNITY BOARD No. 1

435 GRAHAM AVENUE - BROOKLYN, NY 11211- 8813

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Website: [www.nyc.gov/brooklyn1](http://www.nyc.gov/brooklyn1)

HON. ANTONIO REYNOSO  
BROOKLYN BOROUGH PRESIDENT



SIMON WEISER  
FIRST VICE-CHAIRMAN

DEL TEAGUE  
SECOND VICE-CHAIRPERSON

GINA BARROS  
THIRD VICE-CHAIRPERSON

MARIA VIERA  
FINANCIAL SECRETARY

SONIA IGLESIAS  
RECORDING SECRETARY

PHILIP A. CAPONEGRO  
MEMBER-AT-LARGE

DEALICE FULLER  
CHAIRPERSON

GERALD A. ESPOSITO  
DISTRICT MANAGER

HON. LINCOLN RESTLER  
COUNCILMEMBER, 33rd CD

HON. JENNIFER GUTIERREZ  
COUNCILMEMBER, 34th CD

## COMBINED PUBLIC HEARING AND BOARD MEETING JANUARY 11, 2021 VIA WEBEX

### PUBLIC HEARING

#### ROLL CALL.

Chairperson Ms. Dealice Fuller called the meeting to order at 6:06 PM. Chair Fuller introduced our new Brooklyn Borough President Antonio Reynoso who offered greetings to our board.

Ms. Kristina Naplatarski also offered greetings on behalf of Councilmember Jennifer Gutierrez (33CD) who is on maternity leave.

Chair Fuller introduced Councilmember Lincoln Restler who also offered greetings as the new Councilmember for the 34<sup>th</sup> CD.

Chair Fuller called for a roll call at 6:38 PM, there were 31 members present (attached) the Public Hearing began.

**PRESENTATION:** City Planning (C 210299 ZMK, 210300ZRK) 840 Lorimer Street, Brooklyn, NY 11222 - The Project Area consists of the southern most tax lots of tax block 2679, bounded by Driggs Avenue to the south, Lorimer Street to the west and Manhattan Avenue to the east. The lots in the Project Area are lots 32, 34, 42 and 43. Lot 43 is the Development Site. (Applicant/Presenter: Mr. Richard Lobel, Sheldon Lobel PC, Ms. Amanda Iannotti, Sheldon Lobel PC, Richard Bienenfeld, Bienenfeld Architecture, and Sam Feigenbaum, Bienenfeld Architecture)

**IN THE MATTER OF an application submitted by Zucker Enterprises, LLC pursuant to Sections 197-c and 201 of the New York City Charter for the amendment of the Zoning Map, Section No. 13a.:**

(1) eliminating from within an existing R6A District a C2-4 District bounded by a line perpendicular to the northeasterly street line of Lorimer Street distant 135 feet northwesterly (a measured along the street line) from the point of intersection of the northeasterly street line of Lorimer Street and the northwesterly street line of Driggs Avenue, Manhattan Avenue, Driggs Avenue, and a line midway between Lorimer Street and Manhattan Avenue:

2) eliminating a Special Mixed Use District (MX-8) bounded by a line perpendicular to the northeasterly street line of Lorimer Street distant 135 feet northwesterly (a measured along the street line) from the point of intersection of the northeasterly street line of Lorimer Street and the northwesterly street line of Driggs Avenue, a line midway between Lorimer Street and Manhattan Avenue, Driggs Avenue, and Lorimer Street;

3) changing from an R6A District to a C4-5D District property bounded by a line perpendicular to the northeasterly street line of Lorimer Street distant 135 feet northwesterly (a measured along the street line) from the point of intersection of the northeasterly street line of Lorimer Street and the northwesterly street line of Driggs Avenue, Manhattan Avenue, Driggs Avenue, and a line midway between Lorimer Street and Manhattan Avenue; and

4) changing from an M1-2/R6 District to a C4-5D District property bounded by a line perpendicular to the northeasterly street line of Lorimer Street distant 135 feet northwesterly (a measured along the street line) from the point of intersection of the northeasterly street line of Lorimer Street and the northwesterly street line of Driggs Avenue, a line midway between Lorimer Street and Manhattan Avenue, Driggs Avenue, and Lorimer Street; as shown on a diagram (for illustrative purposes only) dated November 29, 2021, and subject to the conditions of CEQR Declaration E-650.

Presentation on 840 Lorimer Street was made by Mr. Richard Lobel and his team see attached presentation and questionnaire.

After a discussion by the members, it was decided by the committee Chair Teague that the item would be continued February 1, 2022. Mr. Lobel Also committed to sending a letter asking for a two week extension. The Community Board review clock for this item is 12/8/21-2/7/22.

Chair Fuller acknowledged those individuals who signed up to speak during public session:

Ms. Cristal Calderon was called to speak regarding 840 Lorimer street but was not present.

Mr. Benjamin Sheena spoke not in favor of 840 Lorimer street

Ms. Katie Naplatarski spoke not in favor of 840 Lorimer street

### **LIQUOR LICENSES:**

Chair Fuller acknowledged those individuals who signed up to speak regarding Liquor Licenses during public session:

Ms. Liz Mckenzie spoke not in favor of Don Pancho Villa liquor license.

Mr. Sebastian Flores was called to speak but was not present.

Ms. Shayan Asadi spoke not in favor of Don Pancho Villa liquor license.

Chairperson Ms. Fuller asked all to review the listing and provide comments  
There were no comments at this time, and the items were referred to the SLA Review & DCA Committee for review.

## **NEW**

- 1) 270 Meserole Rest Corp., dba TBD, 272 Meserole Street (New, liquor, wine, beer, cider, bar, tavern)
- 2) Berry Golf Club LLC, dba Cinderella Story, 8 Berry Street, (Corporate Change, liquor, wine, beer, cider, rest)
- 3) Corp to be Formed, 232 Varet Street, (New, liquor, wine, beer, cider, bar, tavern)
- 4) Don Pancho Villa Restaurant LTD, 189 Borinquen Place, (All night Permit)
- 5) Edith's Eatery LLC, dba Edith's Eatery and Grocery, Expansion onto Municipal Property
- 6) New York Events Inc., dba The Garden Carver (plant based cafe), 187 Grand Street, (New, wine, beer, cider, rest)
- 7) Plant Based Pizza Williamsburg LLC, dba TBD, 235 Kent Avenue, (New, liquor, wine, beer, cider, rest)
- 8) Room and Boards LLC, dba TBD, 132 Havemeyer Street, Store #2, (New, liquor, wine, beer, cider, bar)
- 9) Samuel Neely Entity TBA, dba Super Burrito, 320, Bedford Avenue, (New, liquor, wine, beer, cider, rest)
- 10) Silo Brooklyn LLC, dba Silo, 90 Scott Avenue, (New, liquor, wine, beer, cider, bar, tavern)

## **RENEWAL**

- 1) 161 Grand St. Rest. Inc., dba Fresh Kills Bar, 161 Grand Street, (Renewal, liquor, wine, beer, cider, bar/tavern)
- 2) 301 Tavern Corp. dba General Public, 301 Ainslie Street, (Renewal, liquor, wine, beer, cider, bar, tavern)
- 3) 451 Graham Avenue Corp, dba The Richardson, 451 Graham Avenue, (Renewal, liquor, wine, beer, cider, bar/tavern)
- 4) 559 Lorimer Corp., Db a Metropolitan, 559 Lorimer Street, (Renewal, liquor, wine, beer, cider, night club)
- 5) Aura Cocina & Bar Inc. dba Aura, 315 Meserole Street, (Renewal, liquor, wine, beer, cider, rest)
- 6) Bamonte Restaurant Corp., 32 Withers Street, (Renewal, liquor, wine, beer, cider, rest, )
- 7) Bogart House LLC, dba Bogart House, 230 Bogart Street, (Renewal, liquor, wine, beer, cider, catering facility)
- 8) Brooklyn Ball Factory Inc., dba Brooklyn Ball Factory, 95 Montrose Avenue, (Renewal, wine, beer, cider, rest)
- 9) Café Mogador LLC, 133 Wythe Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 10) Casa Ora LLC, 148 Meserole Street, (Renewal, liquor, wine, beer, cider, rest)
- 11) Dow Young Group Inc., dba The Commodore, 366 Metropolitan Avenue, (Renewal, liquor, wine, beer, cider, bar, tavern)
- 12) Graham Central Café LTD, 442 Graham Avenue, (Renewal, wine, beer, cider, rest)
- 13) HTL Greenpoint LLC, dba The Moonlight Mile, 200 Franklin Street, Unit C1, (Renewal, liquor, wine, beer, cider, bar, tavern)
- 14) King Luke Inc. dba Marlow & Sons, 81 Broadway, (Renewal, liquor, wine, beer, cider, rest)
- 15) Lama 222 Corp. dba Tradesman, 222 Bushwick Avenue -Store, (Renewal, liquor, wine, beer, cider, tavern, bar)
- 16) POD BK F & B LLC & Great Food, Beer & Games LLC as Manager, dba Clinton Hall, 247

Metropolitan Avenue AKA 626 Driggs Avenue, (Renewal, liquor, wine, beer, cider, hotel)  
17) St. Stanislaus Memorial Assn., 519 Leonard Street, (Renewal, liquor wine, beer, cider, American Legion Post)  
18) Stephen W. Ehresman, dba The Turkey's Nest Inc., 94 Bedford Avenue, (Renewal, liquor, wine, beer, cider, bar)  
19) Tasso Restaurant LLC, dba Baco & Abbracci, 204 Grand Street, (Renewal, liquor, wine, beer, cider, rest)

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## **BOARD MEETING**

### **MOMENT OF SILENCE**

Chairperson Ms. Fuller called for a moment of silence.

### **ROLL CALL**

Chairperson Ms. Fuller requested a roll of board members. At 7:24 PM, there were 32 members answering the call, a sufficient number for a quorum.

### **APPROVAL OF THE AGENDA**

Ms. Iglesias made a motion to approve the agenda as written. The motion was seconded by Ms. Cabrera. The motion was unanimously carried.

### **APPROVAL OF THE MINUTES**

Mr. Caponegro made a motion to approve as written, the Combined Public Hearing & Board Meeting of December 7, 2021. The motion was seconded by Mr. Vega. The motion was unanimously carried.

### **PUBLIC SESSION**

Mr. Noah Nowotarski spoke regarding McGoldrick Park.

Mr. Mark I Nagawiecki was called to speak but was not present.

Ms. Zara O'Brien spoke on behalf of the Environmental non-profit GrowNYC.

### **COMMITTEE REPORTS**

- SLA Review & DCA Committee –SLA committee report given by Chair Thomas Burrows. Motion made by Ms.Kaminski and seconded by Ms. Bamonte to accept the report (see the report attached) as written. The vote was as follows: 31"YES"; 0 "NO"; 0 "ABSTENTONS". The report was unanimously approved.
- Parks & Waterfront Committee – Parks committee report given by Ms. Trina Mckeever (see the report attached). Discussion of the committee's recommendation to send a letter to State Parks recommending that a licensing agreement be given to Biba for outdoor use of State Park Property. A question was raised as to why the State Parks discontinued this license?

State parks Director Leslie Wright indicated that Biba failed to apply for any furtherance of the license.

Motion was made to table so that Biba could reapply and provide a copy of the application for the committee to review.

Parks committee resolution to send a letter to State Parks on the 3 points stated relating to Marsha P. Johnson. Motion was made by Mr. Chesler, seconded by Ms. Teague. (letter attached) The vote was as follows: 31 "YES"; 0 "NO"; 0 "ABSTENTIONS". The report was unanimously approved.

- Ad Hoc Committee on Outreach- Chair Sante Miceli and Economic Development Chair Toby Moskovits held a joint committee meeting on 12/13/21. Report is attached.
- Land Use, ULURP & Landmarks (subcommittee)Committee- Land Use Chair Del Teague presented the committee recommendation on 103 Lee Avenue (see the attached report) Motion made by Ms. Iglesias seconded by Mr. Chesler. The vote was as follows: 27 "YES"; 2 "NO"; 2 "ABSTENTIONS". The report was unanimously approved.
- Landmarks subcommittee- Ms. Trina Mckeever submitted her report (see the attached report) to deny the application for 1097 Lorimer Street. Motion was made by Mr. Chesler seconded by Ms. Teague. The vote was as follows: 27 "YES"; 0 "NO"; 0 "ABSTENTIONS". The report was unanimously approved.

**PARKS DEPARTMENT MINUTE** – Ms. Salig submitted a written report that was distributed. (Attached).

**NEW BUSINESS**- A discussion followed about a recent cash of bank closings in the area. Ms. Mary Odomirok indicated that she would report this back to Hon. Carolyn B. Maloney, Congresswoman.

**ADJOURNMENT**- The meeting was adjourned at 8:52 PM.

Respectfully submitted,

*Sonia Iglesias*

Sonia Iglesias  
Recording Secretary



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DISTRICT MANAGER

**HON. STEPHEN T. LEVIN**  
COUNCILMEMBER, 33rd CD

**HON. ANTONIO REYNOSO**  
COUNCILMEMBER, 34th CD

December 23, 2021

## COMBINED PUBLIC HEARING AND BOARD MEETING NOTICE

**TO:** Community Board Members and Residents  
**FROM:** Dealice Fuller, Chairperson  
**RE:** Scheduled Combined Public Hearing and Board Meeting  
(25 Members Constitute a Quorum for the Board)

Please be advised that a Combined Public Hearing and Board Meeting of Brooklyn Community Board No. 1 will be held as follows:

**WHEN:** TUESDAY --- JANUARY 11, 2022  
**TIME:** \* 6:00 PM \*  
**WHERE:** VIA WEBEX

(While we cannot meet in person, we will be meeting virtually. Below are options for you to connect)

**Event Address for Attendees:**

<https://nyccb.webex.com/nyccb/onstage/g.php?MTID=e612f6401bfc6b617d3afa75563a41bf8>

**Event Number:** 2341 196 7133

**Event Password:** ErjcJPr263

**Audio conference:** +1-646-992-2010 [New York City]

**Access code:** 2341 196 7133

NOTE --- All persons who wish to speak during Public Session, please see form (submission deadline - 2:00 PM):

<https://www1.nyc.gov/site/brooklyn1/meetings/speaker-request-form.page>

NOTE --- Elected Officials who wish to speak, please send an email to: [Bk01@cb.nyc.gov](mailto:Bk01@cb.nyc.gov)

**PUBLIC HEARING**

**AGENDA**

**1.) PRESENTATION: City Planning (C 210299 ZMK, 210300ZRK) 840 Lorimer Street, Brooklyn, NY 11222 - The Project Area consists of the southern most tax lots of tax block 2679, bounded by Driggs Avenue to the south, Lorimer Street to the west and Manhattan Avenue to the east. The lots in the Project Area are lots 32, 34, 42 and 43. Lot 43 is the Development Site. (Applicant/Presenter: Mr. Richard Lobel, Sheldon Lobel PC and Mr. David Rosenberg, Sheldon Lobel PC)**

**(\*\*\* TO BE VOTED ON THIS EVENING \*\*\*)**

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**(\*\*\* TO BE VOTED ON THIS EVENING \*\*\*)**

## **2. LIQUOR LICENSES**

### **NEW**

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### **BOARD MEETING**

1. **MOMENT OF SILENCE**

2. **ROLL CALL**

3. **APPROVAL OF THE AGENDA**

4. **APPROVAL OF THE MINUTES** – Combined Public Hearing & Board Meeting of December 7, 2021.

5. **PUBLIC SESSION** (Reserved for the Public's expression. Board Members will not be allowed to speak.) **NOTE** --- All persons who wish to speak during this portion of the meeting **must: Register (by 2P.M.) using the link:**

<https://www1.nyc.gov/site/brooklyncb1/meetings/speaker-request-form.page>

Each scheduled participant for this session will have an allowance of two (2) minutes [time permitting.] (No questions will be entertained. Speakers are requested to submit their testimony in writing)

6. **COMMITTEE REPORTS**

7. **PARKS DEPARTMENT MINUTE** – As written.

8. **ANNOUNCEMENTS: ELECTED OFFICIALS** – Called in the order of signup.

9. **ADJOURNMENT**

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Note: For further information on accessibility or to make a request for accommodations, such as sign language interpretation services, please contact Brooklyn Community Board No. 1, Tel. (718) 389- 0009; at least (5) business days in advance to ensure availability.



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SLA REPORT AS written

**BOARD MEETING AND PUBLIC HEARING** DATE: 1/11/22

	YES	NO	ABS		Yes	NO	ABS
GINA ARGENTO	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RYAN KUONEN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOGDAN BACHOROWSKI	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LANDAU	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LISA BAMONTE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIE LEANZA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GINA BARROS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ABRAHAM LEBOVITS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
TEON BROOKS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LOW	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ERIC BRUZAITIS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TRINA McKEEVER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THOMAS J. BURROWS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SANTE MICELI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
IRIS CABRERA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOBY MOSKOVITS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
PHILIP CAPONEGRO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARTIN NEEDELMAN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
FRANK CARBONE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RABBI DAVID NIEDERMAN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
STEPHEN CHESLER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	KAREN NIEVES	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MICHAEL CHIRICHELLA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARY ODOMIROK	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THERESA CIANCIOTTA	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	JANICE PETERSON	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GIOVANNI D'AMATO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DANA RACHLIN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ERIN DRINKWATER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	BELLA SABEL	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
ARTHUR DYBANOWSKI	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ISAAC SOFER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
T. WILLIS ELKINS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ROBERT SOLANO	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JULIA AMANDA FOSTER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	DEL TEAGUE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
DEALICE FULLER	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TOMMY TORRES	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOEL GOLDSTEIN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	WILLIAM VEGA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
JOEL GROSS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIA VIERA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
KATIE DENNY HOROWITZ	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	STEPHEN WEIDBERG	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
SONIA IGLESIAS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SIMON WEISER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
MOISHE INDIG	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOZENA KAMINSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Time: \_\_\_\_\_ Tally: 31 YES 0 NO 0 ABS \_\_\_\_\_ RECUSAL



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*Parks Committee Report  
 on the 3 points*

**BOARD MEETING AND PUBLIC HEARING** DATE: \_\_\_\_\_

	YES	NO	ABS		Yes	NO	ABS
GINA ARGENTO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RYAN KUONEN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
BOGDAN BACHOROWSKI	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	YOEL LANDAU	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
LISA BAMONTE	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	MARIE LEANZA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
GINA BARROS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	ABRAHAM LBOVITS	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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ERIC BRUZAITIS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	TRINA McKEEVER	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
THOMAS J. BURROWS	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	SANTE MICELI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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BOZENA KAMINSKI	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Time: \_\_\_\_\_ Tally: 31 YES 0 NO 0 ABS \_\_\_\_\_ RECUSAL



**COMMUNITY BOARD NO. 1**  
 435 GRAHAM AVENUE – BROOKLYN, NY 11211  
 PHONE: (718) 389-0009  
 FAX: (718) 389-0098  
 Email: [bk01@cb.nyc.gov](mailto:bk01@cb.nyc.gov)  
 Website: [www.nyc.gov/brooklyncb1](http://www.nyc.gov/brooklyncb1)



*103 Lee Ave*  
*ULURP Committee Recco*

**BOARD MEETING AND PUBLIC HEARING** DATE: *1/11/22*

	YES	NO	ABS		Yes	NO	ABS
GINA ARGENTO	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	RYAN KUONEN	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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BOZENA KAMINSKI	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Time: \_\_\_\_\_ Tally: 27 YES 2 NO 2 ABS \_\_\_\_\_ RECUSAL



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1097 Lorimer Street  
Landmarks Committee  
Recommendation to deny the application  
 DATE: 1/11/22 *check ready*

**BOARD MEETING AND PUBLIC HEARING**

	YES	NO	ABS		Yes	NO	ABS
GINA ARGENTO	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	RYAN KUONEN	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
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Time: \_\_\_\_\_ Tally: 27 YES 0 NO 0 ABS \_\_\_\_\_ RECUSAL

- DATE:
1. P/H Roll call @ 6:38 PM
  2. Bd meet Roll call @ 7:24 PM
  3. Approval of minutes
  4. 1/11/22
  - 5.

NAME	ROLL CALL 1ST	ROLL CALL 2ND	ROLL CALL 3RD	ROLL CALL 4TH	ROLL CALL 5TH
GINA ARGENTO					
BOGDAN BACHOROWSKI					
LISA BAMONTE	/	/	/		
GINA BARROS	/				
TEON BROOKS	/	/	/		
ERIC BRUZAITIS	/	/	/		
THOMAS J. BURROWS	/	/	/		
IRIS CABRERA	/	/	/		
PHILIP CAPONEGRO	/	/	/		
FRANK P. CARBONE	/	/	/		
STEPHEN CHESLER	/	/	/		
MICHAEL CHIRICHELLA	/	/	/		
THERESA CIANCIOTTA					
GIOVANNI D'AMATO	/	/	/		
ERIN DRINKWATER	/	/	/		
ARTHUR DYBANOWSKI					
T. WILLIS ELKINS	/	/	/		
JULIA AMANDA FOSTER	/	/	/		
DEALICE FULLER	/	/	/		
JOEL GOLDSTEIN					
JOEL GROSS					
KATIE DENNY HOROWITZ	/	/	/		
SONIA IGLESIAS	/	/	/		
MOISHE INDIG					
BOZENA KAMINSKI	/	/	/		
RYAN KUONEN	/	/	/		
YOEL LANDAU					
MARIE LEANZA	/	/	/		
ABRAHAM LEBOVITS	/	/	/		
YOEL LOW					
TRINA MCKEEVER	/	/	/		
SANTE MICELI	/	/	/		
TOBY MOSKOVITS	/	/	/		
MARTIN NEEDELMAN					
RABBI DAVID NIEDERMAN		/	/		
KAREN NIEVES	/	/	/		
MARY ODOMIROK	/	/	/		
JANICE PETERSON					
DANA RACHLIN	/				
BELLA SABEL					
ISAAC SOFER		/	/		
ROBERT SOLANO					
DEL E. TEAGUE	/	/	/		
TOMMY TORRES					
WILLIAM VEGA	/	/	/		
MARIA VIERA	/				
STEPHEN WEIDBERG	/	/	/		
SIMON WEISER		/	/		
TOTAL:	31	32	32		
TIME:	6:38	7:24	8:20		

S/AS

ULURP, CALENDAR OR REFERENCE #: C 210299 ZMK, 210300 ZRK  
APPLICANT: Zucker Enterprises, LLC  
LOCATION: 840 Lorimer Street  
REQUEST: Zoning Map Amendment, Zoning Text Amendment

**COMMUNITY BOARD NO. 1 QUESTIONNAIRE FOR LAND USE ITEMS**

(Please complete this questionnaire and return to District Manager Gerald A. Esposito at  
CB #1's Headquarters, 435 Graham Avenue, Brooklyn, New York 11211.  
Feel Free to contact the Board's Office at (718) 389-0009  
if you have any questions or require additional information

**PROPOSED ACTION:** What is the proposed ULURP, or BSA action (i.e. an amendment to the zoning map, a siting of a city facility, a zoning variance, etc.)? ULURP - Zoning Map and Zoning Text Amendments

**1. For Ownership:**

a) Who are the owners? Zucker Enterprises, LLC

b) If a corporation, who are the principles? \_\_\_\_\_

c) What kind of a corporation? \_\_\_\_\_

**2. For Developers:**

a) Who is the developer if it is different than the owner? \_\_\_\_\_

b) What is their experience with this type of development? \_\_\_\_\_

c) Is there a sponsor(s) of the project (i.e. a CBO, NYC Housing Partnership, NYCHA)? \_\_\_\_\_

**3. Financing:**

a) What is the cost of the project? \_\_\_\_\_

b) How is it financed? \_\_\_\_\_

c) Will there be tax abatements? Subsidies? \_\_\_\_\_

4. Land:

a) What information can be provided about the land? Who owns the land? \_\_\_\_\_  
Zucker Enterprises, LLC

b) What is the condition, status and uses on the property and the zoning? Use groups? \_\_\_\_\_  
3-story manufacturing building

c) Has there been an environmental assessment or scope of an impact statement prepared for the proposed action? \_\_\_\_\_  
Yes - EAS

d) Will the land be purchased? What is the cost of the land? \_\_\_\_\_  
When was the property purchased? \_\_\_\_\_ What was the cost? \_\_\_\_\_

e) Will demolition be needed to clear the land? \_\_\_\_\_  
Yes

f) Is the project in a special district? Historic District? Is it in an Urban Renewal Area? \_\_\_\_\_  
No

g) Will unused development rights be utilized or sold (i.e. air rights)? \_\_\_\_\_

5. Construction:

a) What type of construction will be used (i.e. rehab/new) and methods (i.e. pre-form cast concrete, brick)? \_\_\_\_\_  
New construction

b) What is the time frame of the work (i.e. begin/end, etc.)? \_\_\_\_\_

c) Who will be doing the work (i.e. firm, sweat equity, student interns)? \_\_\_\_\_

6. Project Information:

a) Describe the project in terms of the proposed use(s) such as retail, office, commercial, loft, community facility, etc.)? \_\_\_\_\_  
Mixed use commercial and residential



b) If the project is residential, how many dwelling units are proposed and what is the number of bedrooms mix? What are the unit sizes?  
74 units - 12 studio, 20 1-bedroom, 35 2-bedroom, 7 3-bedroom

c) What are the projected costs of the rentals? If the units are to be condominium or one-to-three family house, what is the projected purchase price?

d) Will there be financing for the units? What are the terms?

e) Who is the lender?

**7. Marketing:**

a) How will the project be marketed? Advertised?

b) If newspaper, which ones?

c) When will the projects be marketed (before, during or after construction)?

d) What will be the outreach?

**8. Project Characteristics:**

a) Will the project be consistent with the surrounding buildings (i.e. height, FAR/Floor Area Ratio, conforming)? Yes

b) Will the project be handicap accessible? Explain specifics

c) Special populations for the project (i.e. homeless, low-income, SRO, etc.)

9. Open Space/Parking Amenities:

a) Will there be open space provided with the project? What type (i.e. rear yard, park, waterfront)? Will there be public access? Courtyard

b) Will there be landscaping? Fencing? Street tree planting? Street Trees

c) Will parking be provided for (indoor, outdoor, on-street)? Will a waiver be requested? 28 attended parking spaces

d) What amenities, if any, will be incorporated with the project? How were they developed and with who (i.e. tenants, residents, community group)? \_\_\_\_\_

10. Building/Lot -- currently undergoing any renovations, demolition, construction (of any size)?

11. Any violations on the building or lot (i.e. Department of Buildings, Department of Environmental Protection, EPA, etc.)?

12. In addition to the BSA's Environmental Report (or similar document) please provide the following information:

a) List previous industrial uses and processes: Feather processing facility

b) List chemicals and quantities used in and stored for those processes: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

c) List Hazardous Waste Disposal permits for prior operators: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

d) List any proposed remediations: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

e) Please provide any ASTM Phase I & II information: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

PREPARED BY: \_\_\_\_\_ TITLE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

CONTACT # ( ) \_\_\_\_\_ FAX # ( ) \_\_\_\_\_

**Community Board #1**  
**Supplemental Land Use Application Information**

Special permit actions - on a separate sheet, list all waivers, etc. requested

**A. Project size**

Commercial: (sq ft)	<u>24,089 SF</u>
Manufacturing (sq ft)	<u>                    </u>
Residential (sq ft)	<u>59,659 SF</u>
Total (sq ft)	<u>83,748 SF</u>
Height (feet)	<u>115'</u>
Height (stories)	<u>10 stories</u>

(for projects with more than one building, provide the the above data for each building)

**B. Residential projects**

	$\Sigma$ # of units	# affordable	
0 bedroom (studio)	<u>12</u>	<u>                    </u>	19 Affordable Units
1 bedroom	<u>20</u>	<u>                    </u>	
2 bedroom	<u>35</u>	<u>                    </u>	
3 bedroom	<u>7</u>	<u>                    </u>	
≥4 bedroom	<u>                    </u>	<u>                    </u>	
Total units	<u>74</u>	<u>                    </u>	

Market-rate units

Rental or condo?                       
 Estimated cost/rent psf                       
 (market rate units only)

Affordable units

Rental or condo?                     

Distribution of affordability by % of AMI

19 affordable units - MIH Option 1

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**C. Open space**

	required	proposed
Total area	_____	_____
Publicly accessible	_____	_____

What are the hours of accessibility for the publicly-accessible open space? \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Will the publicly-accessible open space be turned over the Department of Parks for operation?

\_\_\_\_\_

**D. Parking**

Parking - number of spots, number required by zoning

	required	proposed
# of spaces	28	28

**E. Environmental**

List all environmental issues identified, environmental designations (Little 'E', HAZMAT, brownfield, Super Fund, etc.) and all remediation required \_\_\_\_\_

E designations for haz mat, air quality and noise \_\_\_\_\_

\_\_\_\_\_

**F. Additional information**

For all projects, please provide the following information:

- Draft or final EAS/EIS (pdf and one hard copy)
- 15 copies of power point presentation (11 x 17) to meeting
- Copies of power point presentation, architectural plans and renderings (pdf)
- NYS DEP signoff or status letter (waterfront sites only, pdf)
- List of project team (architect, engineer, landscape architect, code consultant, counsel, et al)
- List of all partners, corporation members, shareholders on ownership/development team
- Contact information (name, telephone, fax and email)



# 840 LORIMER STREET REZONING

ULURP Nos.:  
C 210299 ZMK, 210300 ZRK

Brooklyn Community Board 1

Combined Public Hearing and  
Board Meeting

January 11, 2022

Applicant Representatives:  
Sheldon Lobel, P.C.  
Bienenfeld Architecture  
Equity Environmental  
Engineering

# PROJECT SUMMARY

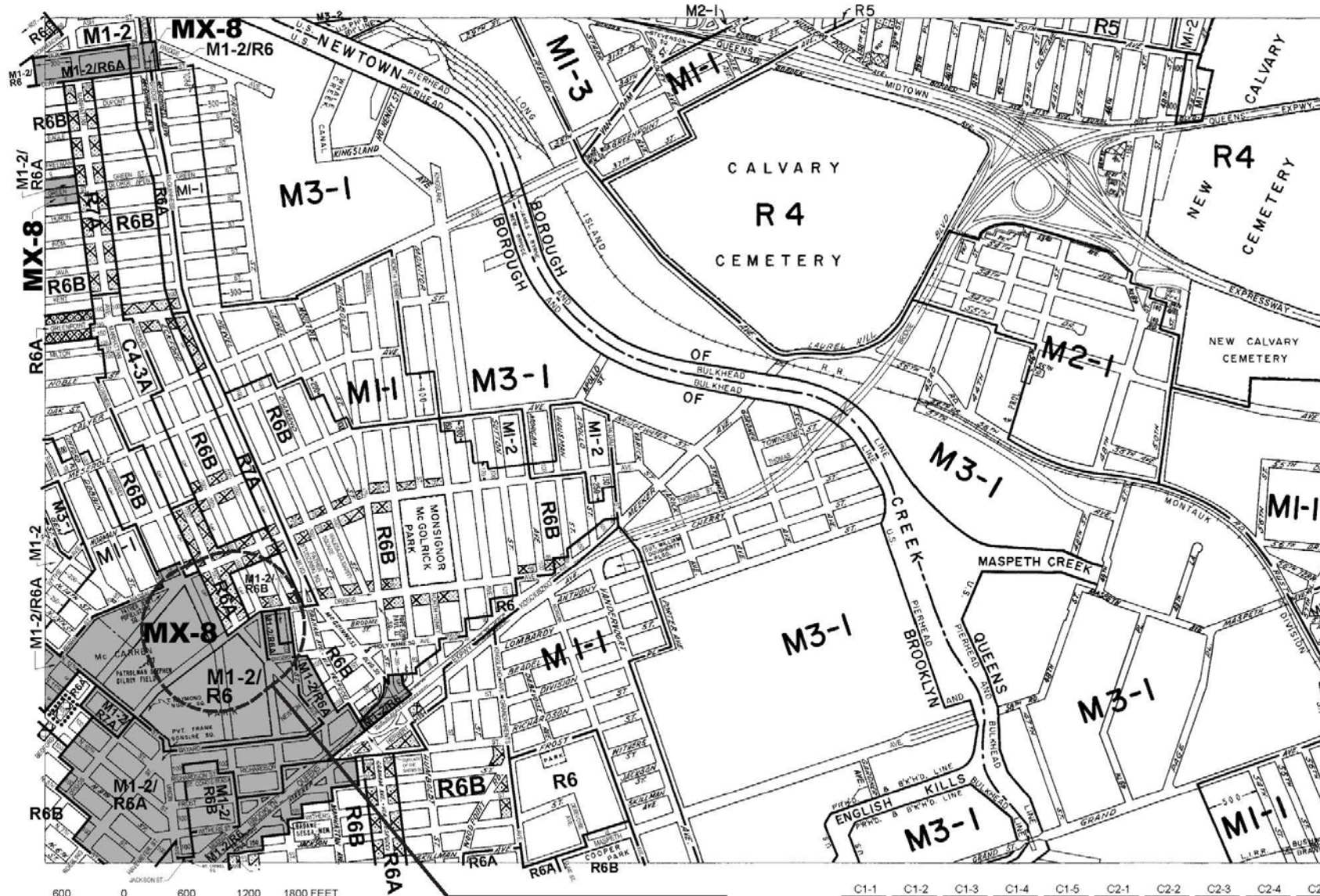
- 1. Zoning Map Amendment to rezone Block 2679, Lots 32, 34, 42 and Lot 43 (the “Proposed Project Area”) from the existing M1-2/R6 (MX-8) and R6A/C2-4 zoning districts to a C4-5D zoning district.**
  - The proposed Zoning Map Amendment will facilitate the redevelopment of 840 Lorimer Street (Block 2679, Lot 43) with a new 10-story plus cellar, mixed-use commercial and residential building with approximately 83,748 square feet of floor area/5.54 FAR.
  - The proposed building will be a residential and commercial building with retail and commercial office uses, and 74 dwelling units including 19 permanently affordable in accordance with Option 1
  
- 2. Zoning Text Amendment to Appendix F of the Zoning Resolution to designate the Proposed Project Area as a Mandatory Inclusionary Housing (“MIH”) Area.**
  - The proposed Zoning Text Amendment will facilitate the development of approximately 19 permanently affordable dwelling units at 840 Lorimer Street pursuant to MIH Option 1.
  - The applicant proposes to map Options 1 and 2 to provide maximum flexibility for non-applicant controlled sites.

# PROPOSED DEVELOPMENT

840 LORIMER STREET  
BLOCK 2679, LOT 43

Number of Stories	10 stories plus cellar
Floor Area / FAR	83,748 SF / 5.54 FAR Total 59,659 SF / 3.95 FAR residential use 24,089 SF / 1.59 FAR ground-3 <sup>rd</sup> floor commercial use
Base Height / Total Height	93 feet / 115 feet
Setback	15 feet at 8 <sup>th</sup> floor
Parking	28 attended parking spaces in cellar and ground floor
Units	74 12 studio, 20 one-bedroom, 35 two-bedroom, 7 three-bedroom
Affordable Units	19 (MIH Option 1) 3 studio, 5 one-bedroom, 9 two-bedroom, 2 three-bedroom





**Proposed Project Area**

### ZONING MAP

THE NEW YORK CITY PLANNING COMMISSION

#### Major Zoning Classifications:

The number(s) and/or letter(s) that follows on R, C or M District designation indicates use, bulk and other controls as described in the text of the Zoning Resolution.

- R – RESIDENTIAL DISTRICT
- C – COMMERCIAL DISTRICT
- M – MANUFACTURING DISTRICT
- SPECIAL PURPOSE DISTRICT  
The letter(s) within the shaded area designates the special purpose district as described in the text of the Zoning Resolution.
- AREA(S) REZONED

#### Effective Date(s) of Rezoning:

01-31-2018 C 170024 ZMK

#### Special Requirements:

For a list of lots subject to CEQR environmental requirements, see APPENDIX C.  
For a list of lots subject to "D" restrictive declarations, see APPENDIX D.  
For Inclusionary Housing designated areas and Mandatory Inclusionary Housing areas on this map, see APPENDIX F.

#### MAP KEY

8d	9b	9d
12c	<b>13a</b>	13c
12d	13b	13d

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- C1-1
- C1-2
- C1-3
- C1-4
- C1-5
- C2-1
- C2-2
- C2-3
- C2-4
- C2-5

NOTE: Where no dimensions for zoning district boundaries appear on the zoning maps, such dimensions are determined in Article VII, Chapter 6 (Location of District Boundaries) of the Zoning Resolution.

ZONING MAP 13a

# 840 Lorimer Street, Brooklyn

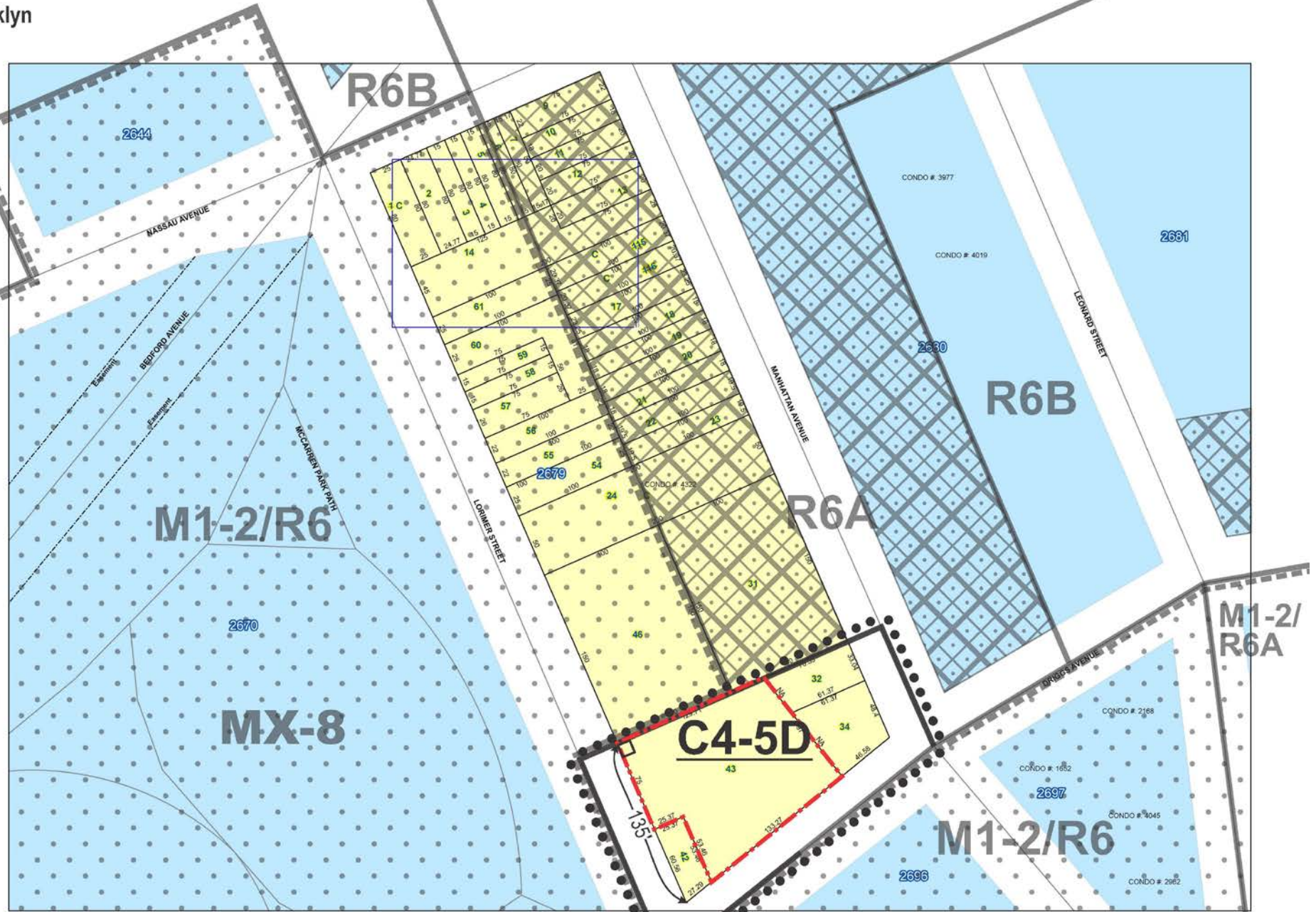


## NYC Digital Tax Map

Effective Date : 01-31-2020 09:26:41  
 End Date : Current  
 Brooklyn Block: 2679






- Legend**
- Streets
  - Miscellaneous Text
  - Possession Hooks
  - Boundary Lines
  - Lot Face Possession Hooks
  - Regular
  - Underwater
  - Tax Lot Polygon
  - Condo Number
  - Tax Block Polygon
- 
- Development Site
  - Area Proposed to be Rezoned
  - Existing Zoning District Line
  - Proposed Zoning District Line
  - Existing Special Purpose District
  - M1-2/R6 Existing Zoning District
  - R6A Existing Zoning District
  - Existing C2-4 Overlay
  - C4-5D** Proposed Zoning District



# 840 Lorimer Street, Brooklyn Area Map





Block: 2679, Lots: 32, 34, 42 & 43

## Project Information

-  600' Radius
-  Development Site
-  Area Proposed to be Rezoned

## Existing Commercial Overlays & Zoning Districts

- |  |  |   |
|--|--|---|
|  C1-1 |  C2-1 |  Zoning Districts  |
|  C1-2 |  C2-2 |  Special Districts |
|  C1-3 |  C2-3 |   |
|  C1-4 |  C2-4 |   |
|  C1-5 |  C2-5 |   |

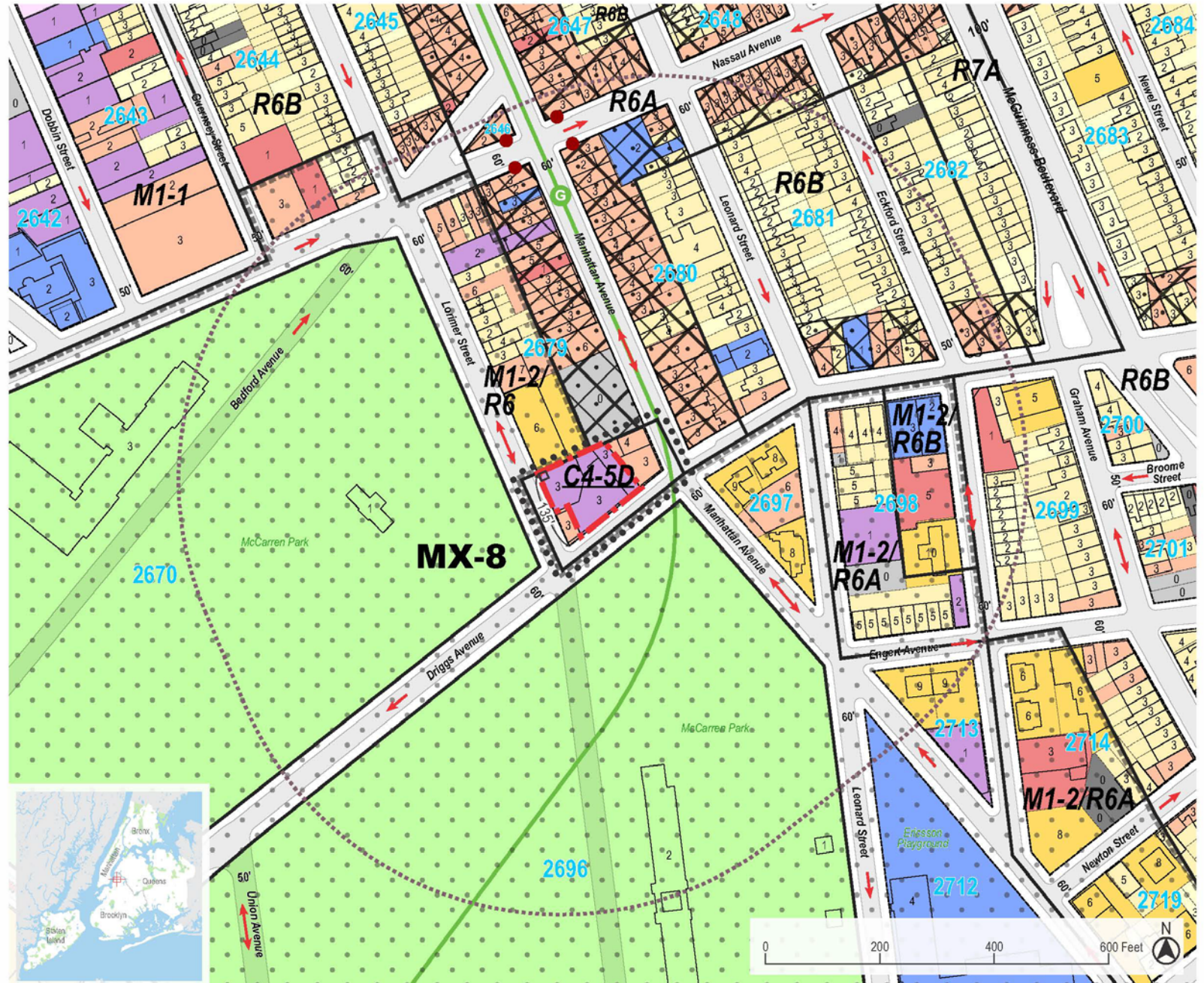
-  Subway Entries
-  5037 Block Numbers
-  Property Lines
-  5 Number of Floors

## Land Uses

-  One & Two Family Residential Buildings
-  Multi-Family Residential Buildings (Walk-up)
-  Multi-Family Residential Buildings (Elevator)
-  Mixed Residential & Commercial Buildings
-  Commercial/Office Buildings
-  Industrial/Manufacturing
-  Transportation/Utility
-  Public Facilities & Institutions
-  Open Space
-  Parking Facilities
-  Vacant Land
-  No Data/Other

July 2020

Urban Cartographics





1. View of the Development Site facing east from Lorimer Street.



2. View of Lorimer Street facing southeast (Development Site at left).



3. View of the Development Site facing northeast from Lorimer Street.



Development Site Project Area



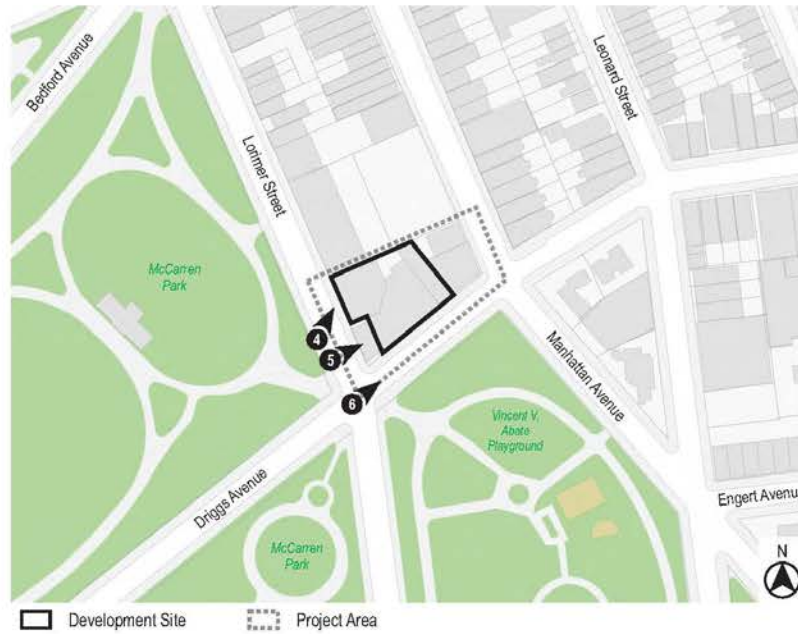
4. View of the Development Site facing northeast from Lorimer Street.



5. View of the Project Area facing northeast from Lorimer Street.



6. View of Driggs Avenue facing northeast from Lorimer Street (Project Area at left).





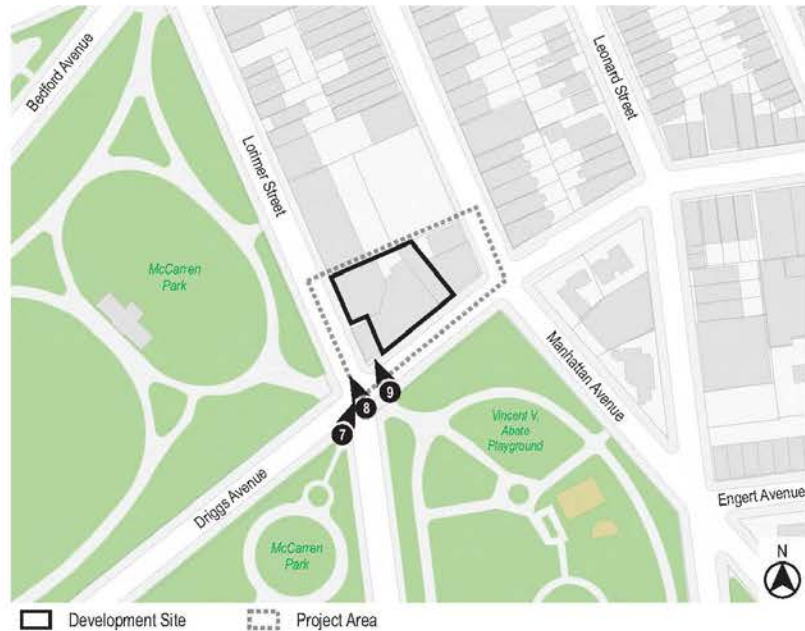
7. View of the Project Area facing northeast from the intersection of Lorimer Street and Driggs Avenue.



8. View of Lorimer Street facing northwest from Driggs Avenue (Project Area at right).



9. View of the Project Area facing northwest from Driggs Avenue.



Development Site Project Area



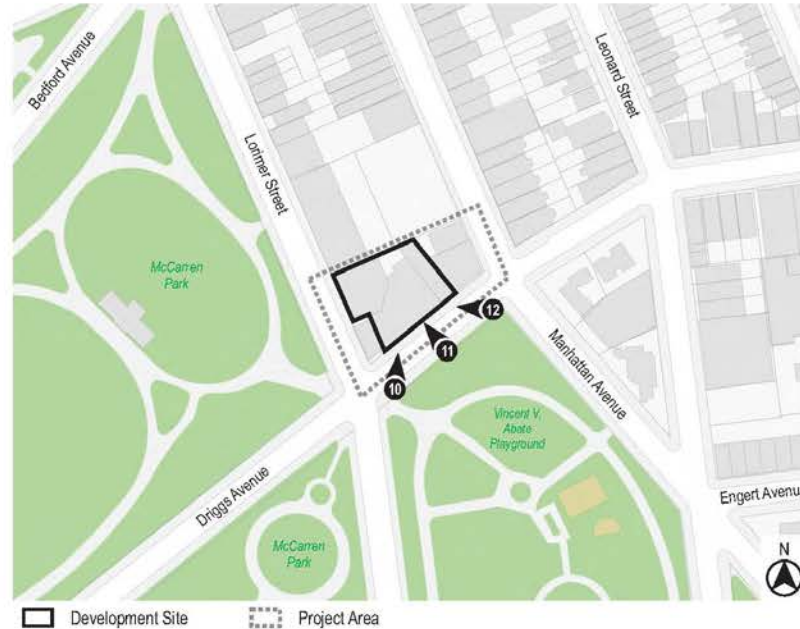
10. View of the Development Site facing north from Driggs Avenue.



11. View of the Development Site facing northwest from Driggs Avenue.



12. View of the Development Site facing west from Driggs Avenue.





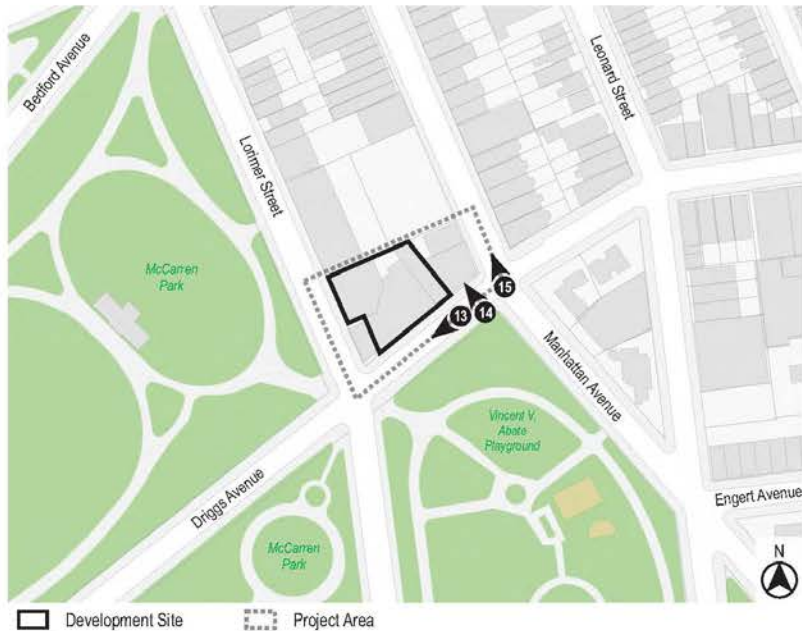
13. View of Driggs Avenue facing southwest (Development Site at right).



14. View of the Project Area facing northwest from Driggs Avenue.



15. View of Manhattan Avenue facing northwest from Driggs Avenue (Project Area at left).



Development Site Project Area





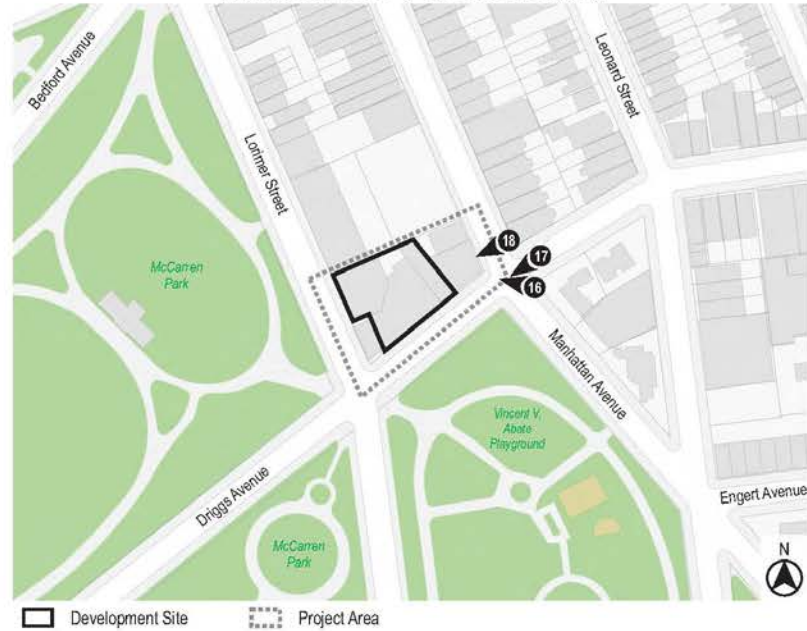
16. View of the Project Area facing west from the intersection of Manhattan Avenue and Driggs Avenue.



17. View of Driggs Avenue facing southwest from Manhattan Avenue (Project Area at right).



18. View of the Project Area facing southwest from Manhattan Avenue.





19. View of the Project Area facing southwest from Manhattan Avenue.



20. View of the Project Area facing south from Manhattan Avenue.



21. View of Manhattan Avenue facing southeast (Project Area at right).





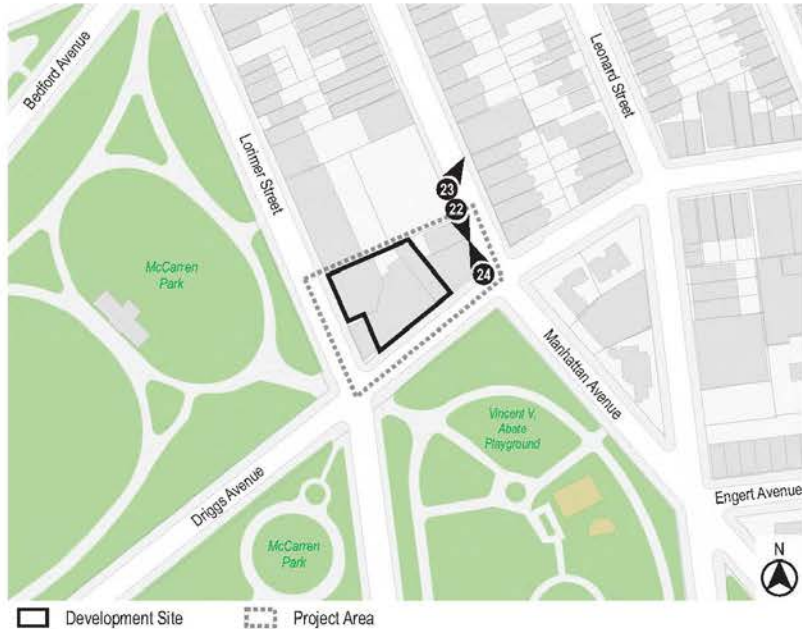
22. View of the sidewalk along the west side of Manhattan Avenue facing southeast (Project Area at right).



23. View of the east side of Manhattan Avenue facing northeast from the Project Area.



24. View of the sidewalk along the west side of Manhattan Avenue facing northwest from Driggs Avenue (Project Area at left).



Development Site      Project Area



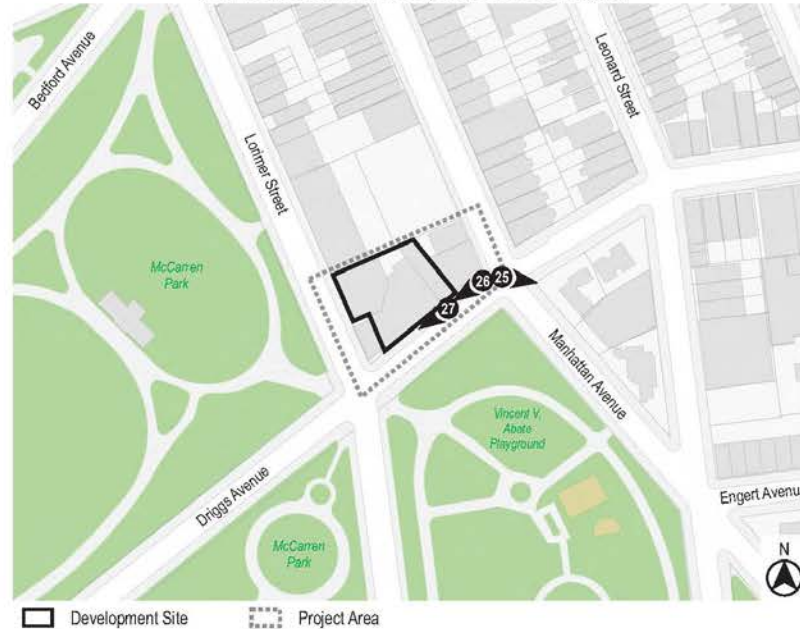
25. View of the intersection of Manhattan Avenue and Driggs Avenue facing east from the Project Area.



26. View of the sidewalk along the north side of Driggs Avenue facing southwest from Manhattan Avenue (Project Area at right).



27. View of the sidewalk along the north side of Driggs Avenue facing southwest (Development Site at right).





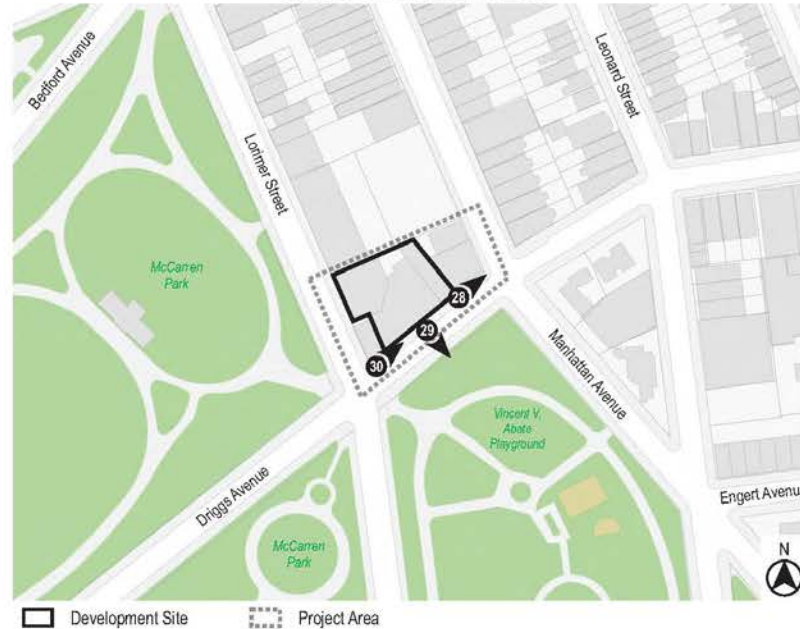
28. View of the sidewalk along the north side of Driggs Avenue facing northeast (Project Area at left).



29. View of the south side of Driggs Avenue facing southeast from the Development Site.



30. View of the sidewalk along the north side of Driggs Avenue facing northeast from Lorimer Street (Project Area at left).





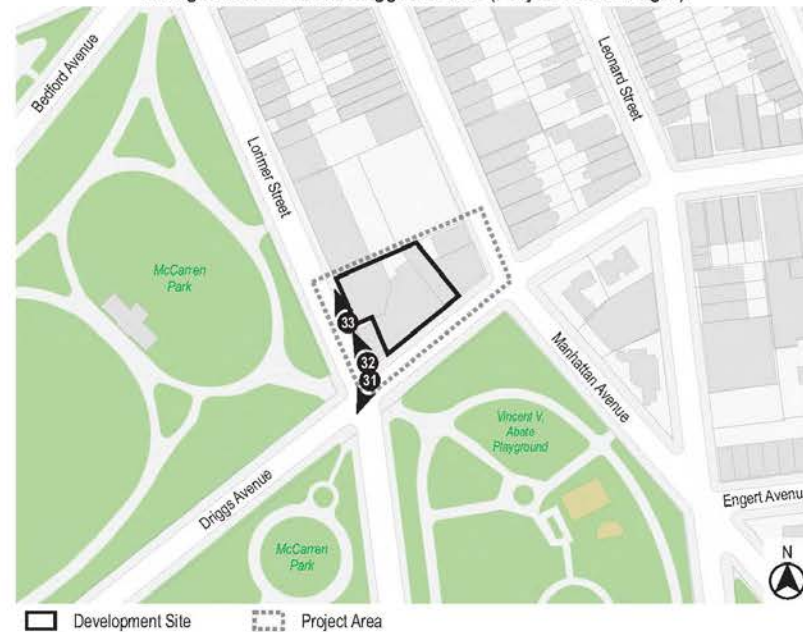
31. View of the intersection of Driggs Avenue and Lorimer Street facing south from the Project Area.



32. View of the sidewalk along the east side of Lorimer Street facing northwest from Driggs Avenue (Project Area at right).



33. View of the sidewalk along the east side of Lorimer Street facing northwest (Development Site at right).



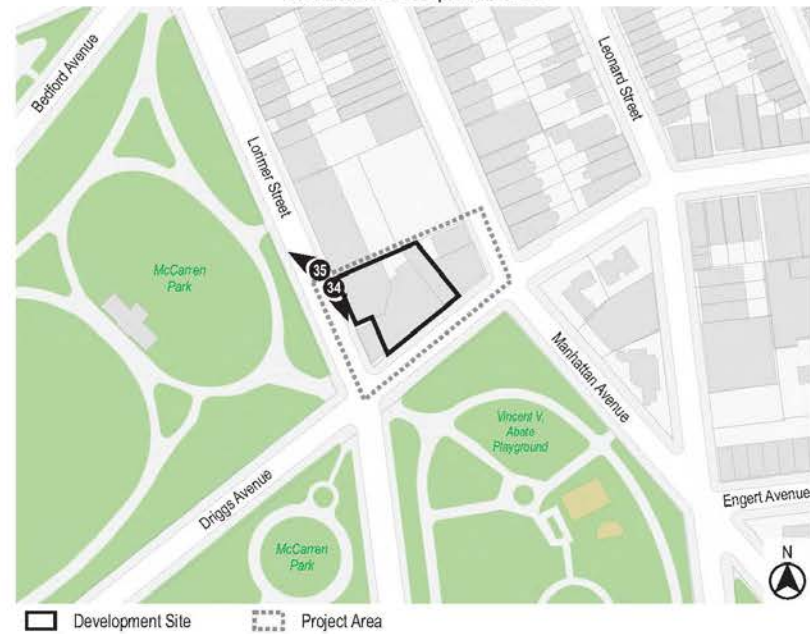
Development Site Project Area



34. View of the sidewalk along the east side of Lorimer Street facing southeast (Development Site at left).



35. View of the west side of Lorimer Street facing northwest from the Development Site.



# 840 LORIMER STREET



## DRAWING LIST

- |                                      |   |
|--------------------------------------|---|
| A-1 TITLE SHEET                      | A-14 CELLAR PLAN                              |
| A-2 RENDERINGS - EXISTING & PROPOSED | A-15 GROUND FLOOR PLAN                        |
| A-3 RENDERED ELEVATIONS              | A-16 2ND FLOOR PLAN                           |
| A-4 CLOSE-UP VIEWS                   | A-17 3RD FLOOR PLAN                           |
| A-5 AERIAL PHOTOGRAPH                | A-18 4TH & 5TH FLOOR PLAN                     |
| A-6 LAND USE MAP                     | A-19 6TH-8TH FLOOR PLAN                       |
| A-7 SITE & AREA PHOTOS               | A-20 9TH & 10TH PLAN                          |
| A-8 TAX MAP                          | A-21 FAR CALCULATION & UNIT TYPE MATRIX       |
| A-9 SURVEY                           | A-22 PROPOSED & POSSIBLE DEVELOPMENT SCENARIO |
| A-10 ZONING MAP                      | A-23 PROPOSED & POSSIBLE DEVELOPMENT SCENARIO |
| A-11 ZONING ANALYSIS- SITE           | A-24 FIRM AND BFE                             |
| A-12 ZONING ANALYSIS- CHART          |   |
| A-13 SITE PLAN & BUILDING ENVELOPE   |   |



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ARCHITECTURE

RICHARD BIENENFELD ARCHITECT. P.C.  
271 North Avenue, suite 613 • New Rochelle, NY 10801  
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TITLE SHEET

840 LORIMER STREET, BROOKLYN, NY 11222

DRAFT APPLICATION

DATE: 07/15/20  
SCALE: N.T.S.  
SHEET 1 OF 24

A-1





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RENDERINGS  
EXISTING & PROPOSED  
840 LORIMER STREET, BROOKLYN, NY 11222

DRAFT APPLICATION

DATE: 07/15/20  
SCALE: N.T.S.  
SHEET 2 OF 24

A-2



DRIGGS AVE VIEW SKETCH



LORIMER STREET VIEW SKETCH



DRIGGS AVE ELEVATION



LORIMER STREET ELEVATION

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**RENDERED ELEVATIONS**  
840 LORIMER STREET, BROOKLYN, NY 11222

DRAFT APPLICATION

DATE: 07/15/20  
SCALE: N.T.S.  
SHEET 3 OF 24

A-3



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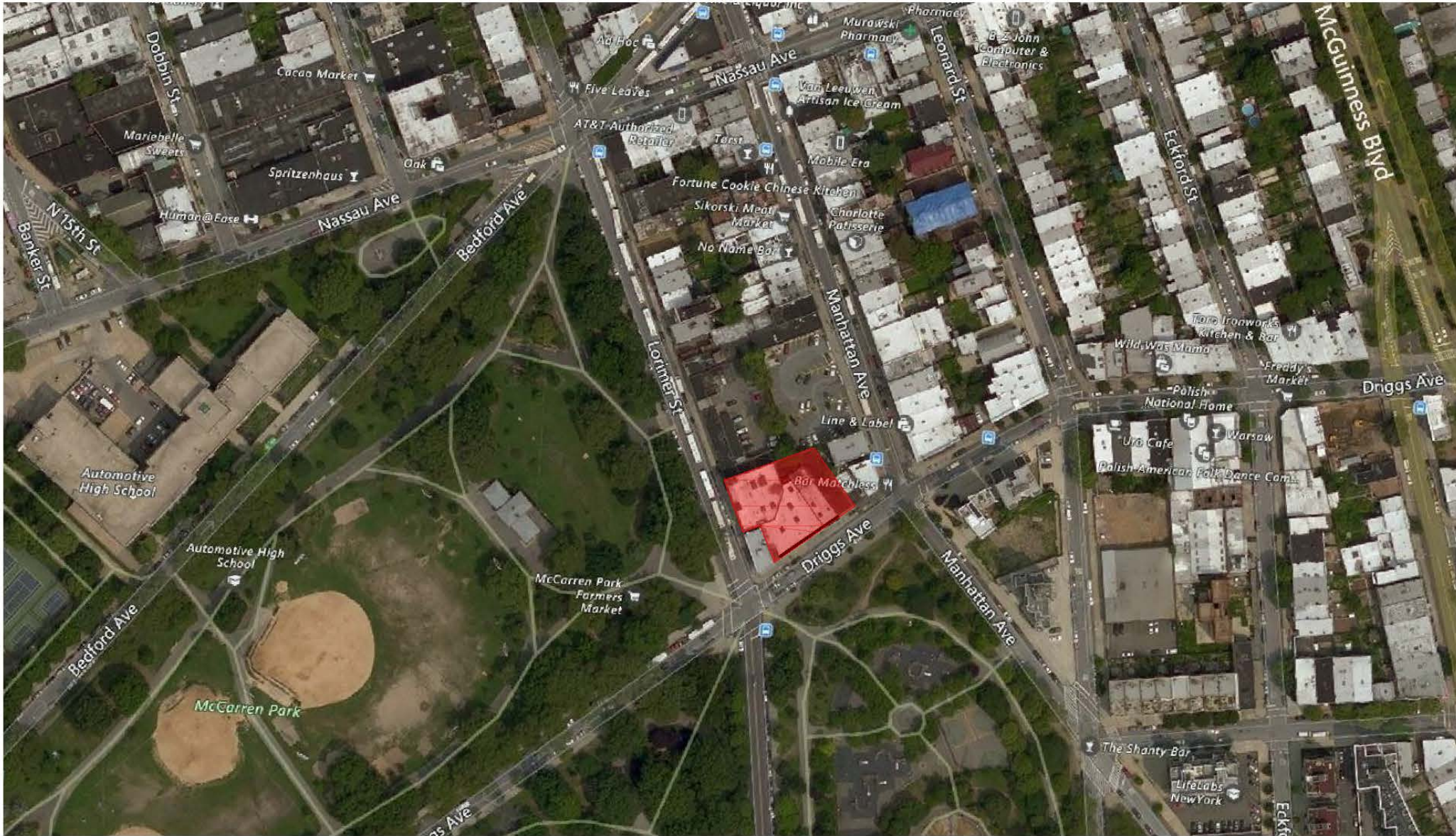
**CLOSE-UP VIEWS**

840 LORIMER STREET, BROOKLYN, NY 11222

DRAFT APPLICATION

DATE: 07/15/20  
SCALE: N.T.S.  
SHEET 4 OF 24

**A-4**



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AERIAL PHOTOGRAPH

840 LORIMER STREET, BROOKLYN, NY 11222

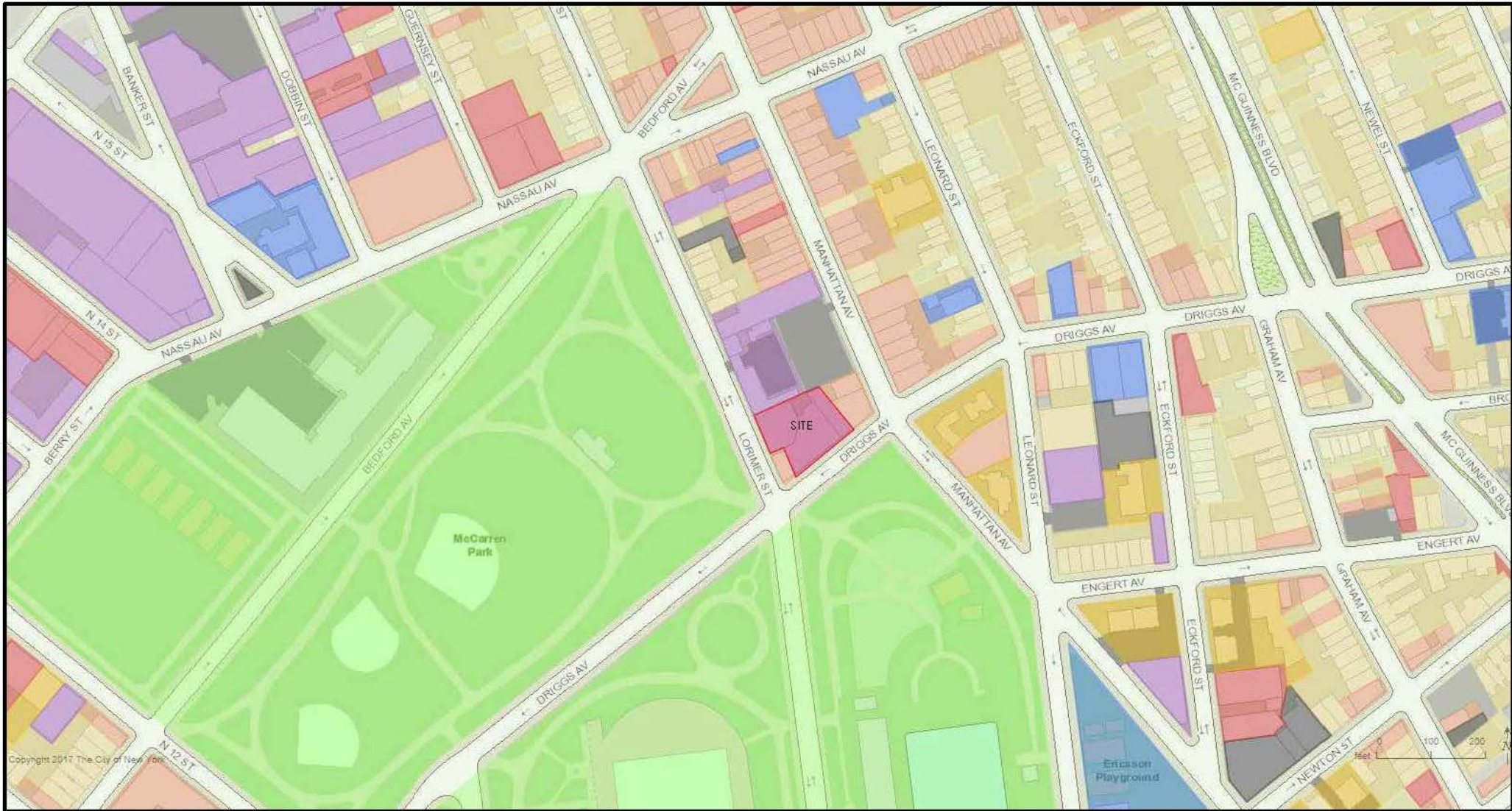
DRAFT APPLICATION

DATE: 07/15/20

SCALE: N.T.S.

SHEET 5 OF 24

A-5



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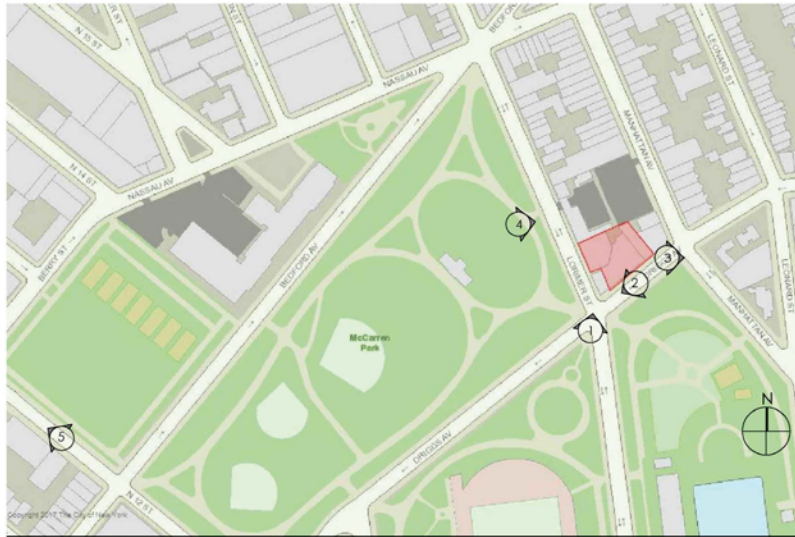
**LAND USE MAP**

840 LORIMER STREET, BROOKLYN, NY 11222

**DRAFT APPLICATION**

DATE: 07/15/20  
SCALE: AS NOTED  
SHEET 6 OF 24

**A-6**



6 KEY PLAN



1 INTERSECTION OF LORIMER ST & DRIGGS AVE



2 DRIGGS AVE - VIEW SOUTHWEST



3 MANHATTAN AVE & DRIGGS AVE - VIEW EAST



4 LORIMER AVE - VIEW EAST



5 N12TH STREET AND BERRY - VIEW NORTHWEST



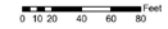
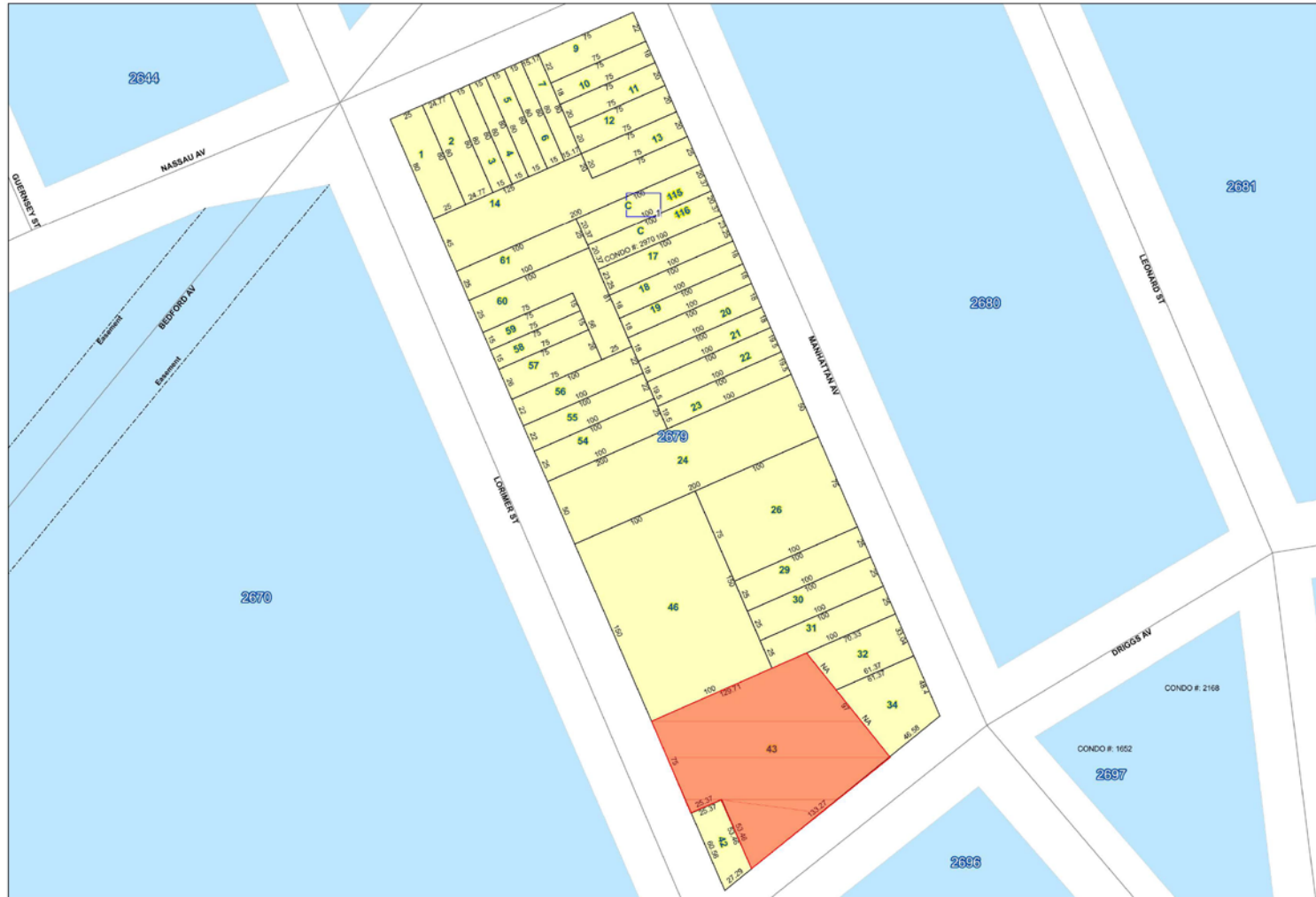
**NYC Digital Tax Map**

Effective Date : 03-10-2011 09:53:49  
End Date : Current  
Brooklyn Block: 2679



**Legend**

- Streets
- Miscellaneous Text
- ↓ Possession Hooks
- - - Boundary Lines
- ↓ Lot Face Possession Hooks
- Regular
- Underwater
- Yellow Tax Lot Polygon
- Blue Tax Block Polygon
- Condo Number
- Tax Block Polygon

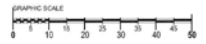


S:\08\108\Project\101 - Lerner Street\CD\025 - Revised\Drawings\101 - A8 - Tax Map.dwg / 202020 11:52:30 AM, Ebene, 1:1

<p><b>BIENENFELD</b> ARCHITECTURE</p> <p>© COPYRIGHT RICHARD BIENENFELD ARCHITECT P.C. ALL RIGHTS RESERVED.</p>	<p>RICHARD BIENENFELD ARCHITECT, P.C. 271 North Avenue, suite 613 · New Rochelle, NY 10801 T: 914.636.3800 · F: 914.636.4220 · www.bienefeld.com</p>	<p><b>TAX MAP</b></p> <p>840 LORIMER STREET, BROOKLYN, NY 11222</p>	<p><b>DRAFT APPLICATION</b></p>	<p>DATE: 07/15/20 SCALE: AS NOTED SHEET 8 OF 24</p>	<p><b>A-8</b></p>
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Job Number: B2679-43  
 Property Address: 320 DRIGGS AVENUE

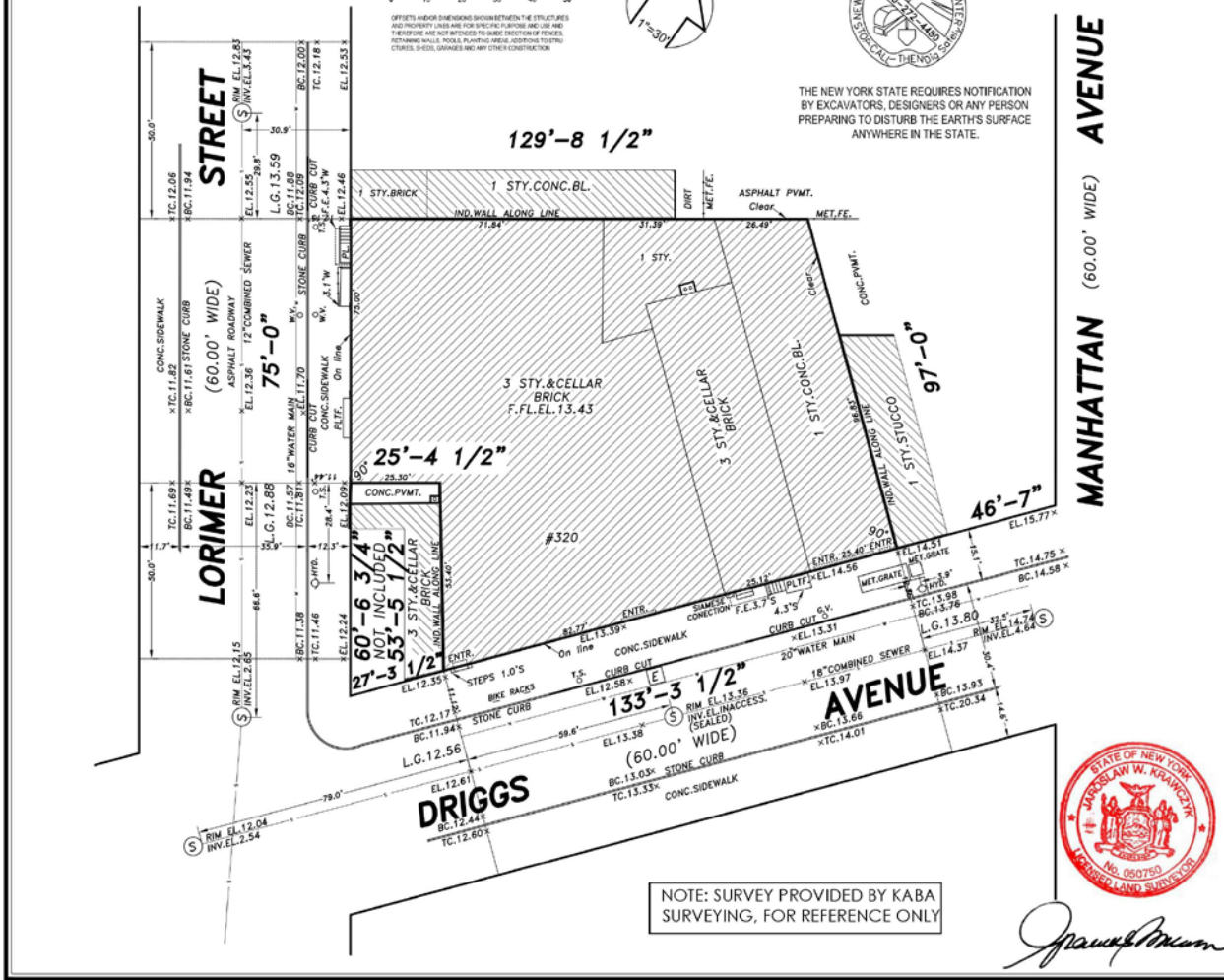
**NOTE:**  
 PROPERTY CORNER MONUMENTS WERE NOT PLACED AS PART OF THIS SURVEY.  
 LIABILITY IS LIMITED TO THE AMOUNT OF THIS AGREEMENT.



OFFSETS AND/OR DIMENSIONS SHOWN BETWEEN THE STRUCTURE AND PROPERTY LINES ARE FOR SPECIFIC PURPOSES AND USE ARE THEREFORE NOT INTENDED TO BE A BASIS FOR DETERMINING REMAINING WALLS, MOULDS, PLUMBING, ETC. ADDITIONS TO STRUCTURES, SIZES, SPACES AND ANY OTHER CONSTRUCTION.



THE NEW YORK STATE REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.



MANHATTAN (60.00' WIDE) AVENUE

SUBSURFACE UTILITIES ARE NOT GUARANTEED BY SURVEYOR. HIGH CAUTION RECOMMENDED AND VERIFICATION WITH PROPER CITY AGENCIES, IS MANDATORY BEFORE COMMENCING ALL NEW WORK.  
 ALL SUBSURFACE AND OVERHEAD UTILITIES (AS TO SIZE, TYPE AND DEPTH) SHOWN ON THIS SURVEY ARE TAKEN FROM RECORDS OF GOVERNMENTAL AGENCIES AND UTILITY COMPANIES, UNLESS OTHERWISE NOTED AND SHOWN.  
 COVER OR DEPTH OF UTILITIES WHICH DERIVED FROM FIELD MEASUREMENTS SHOWN ON THIS SURVEY SHOULD BE VERIFIED WITH PROPER AGENCY PRIOR TO CONSTRUCTION OF PROJECT. INVERT ELEVATIONS ARE DERIVED FROM CITY AGENCY RECORDS WHEN NOT AVAILABLE BY FIELD SURVEY AND NOTED AS "PER RECORD" ON THE SURVEY.  
 ALL SUBSURFACE UTILITY AS TO LOCATION AND DEPTH, SHOULD BE RECHECKED AND LEGAL GRADES SHOULD BE VERIFIED WITH THE TOPOGRAPHICAL BUREAU, PREFERABLY IN WRITING BEFORE COMMENCING CONSTRUCTION.  
 THIS IS TO CERTIFY THAT THERE ARE NO STREAMS OR NATURAL WATER COURSES ON THE SURVEYED PROPERTY EXCEPT AS SHOWN AND/OR DESCRIBED ON THIS SURVEY.  
 ALL OPERATIONS OF UNDERGROUND FACILITIES AND ALL EXCAVATORS ARE OBLIGATED TO COMPLY WITH ARTICLE 36 OF THE GENERAL BUSINESS LAW AND WITH PROVISIONS OF INDUSTRIAL CODE PART (RULE NO.35) BEFORE ANY EXCAVATION OR DEMOLITION IS COMMENCED. EVERY EXCAVATOR IS REQUIRED BY THESE LAWS TO GIVE ADVANCE NOTICE TO EVERY OPERATOR OF UNDERGROUND FACILITIES OF HIS INTENT TO PERFORM EXCAVATION OR DEMOLITION WORK IN THE SPECIFIED AREA.  
 ALL ELEVATIONS SHOWN REFER TO NAVD 88 DATUM.  
 LEGAL GRADES SHOWN ON THE SURVEY REFER TO NAVD 88 DATUM.

SYMBOLS AND ABBREVIATIONS		SYMBOLS AND ABBREVIATIONS	
FENCES	CL.FENCE	METAL FENCE	WOOD FENCE
UTILITY POLE	U.P.	CUT WIRE	UP
CATCH BASIN	CB	CR	CR
PARKING METER	P.M.	SET STAKE	▲
TRAFFIC LIGHT	T.L.	SET MARK (PAINTED)	▲
LIGHT	▲	SET BENCHMARK	▲
STREET LIGHT	SL	F.E.	FIRE ESCAPE
FIRE HYDRANT	F.H.	PL or PLTF.	PLATFORM
SIAMSE CONNECTION	S.C.	C.E.	CELLAR ENTRANCE
SHUT OFF VALVE	S.O.V.	A.W.	AIR WAY
HANDICAPPED PARKING	H.P.	CONC.	CONCRETE
EXISTING TREE	ET	P.V.M.T.	PAVEMENT
DRAINS	D	OR	AIR CONDITION
TRAFFIC SIGN	T.S.	AC	METAL
CURB AND CURB CUT	C.C.	TR	TR
OVERHEAD SERVICE	O.H.S.	N	NORTH OF PROPERTY LINE
CABLE TV MANHOLE	C.T.V.	S	SOUTH OF PROPERTY LINE
MANHOLES	G, E, T, W, S	E	EAST OF PROPERTY LINE
		W	WEST OF PROPERTY LINE

**kaba surveying** phone: 718-354-7279 718-470-2358  
 fax: 718-247-5854 718-470-2264  
 338 JERICHO TURNPIKE, FLORAL PARK, NY 11001  
 SURVEYS@KABAPLS.COM

SURVEYED & GUARANTEED FOR:  
 DEPARTMENT OF BUILDINGS

BOROUGH: KINGS  
 TOWN: BROOKLYN  
 BLOCK: 2679 SECTION:  
 LOT: 43

SURVEYED:  
 JULY 17, 2015-ARCHITECTURAL SURVEY

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYORS INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID COPY. GUARANTEES OR CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. GUARANTEES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUCCESSOR OWNERS.



*James M. Arndt*

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**SURVEY**  
 840 LORIMER STREET, BROOKLYN, NY 11222

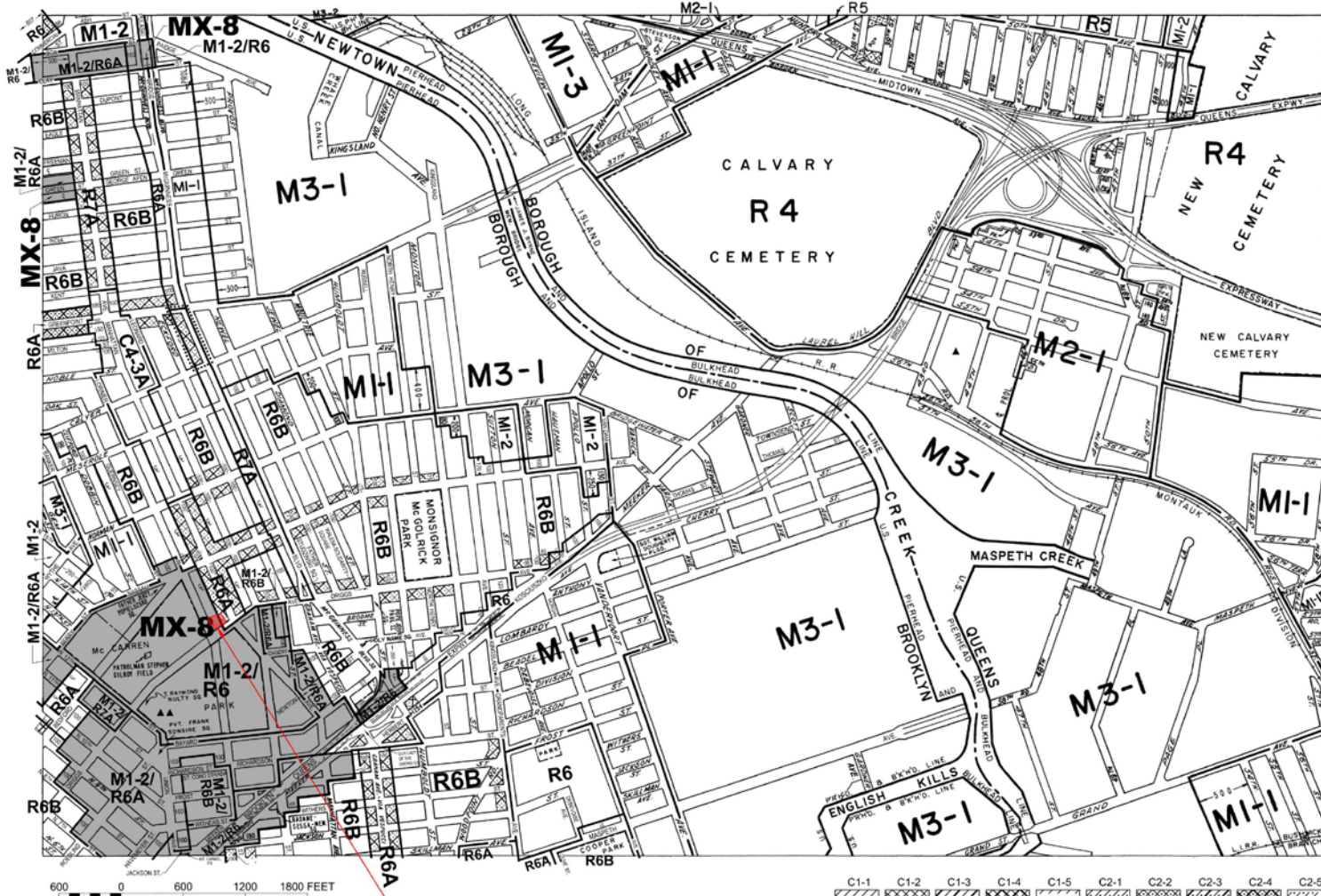
**DRAFT APPLICATION**

DATE: 07/15/20  
 SCALE: AS NOTED  
 SHEET 9 OF 24

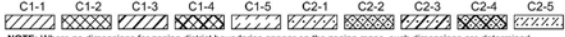
A-9  
 27

© 2015 KABA Surveying, Inc. Project: 1704 - Lorimer Street/42/02/15 - Richard Bienefeld/1704 - All Survey data 7/20/2015 11:55:31 AM. Sheet: 1 of 1





600 0 600 1200 1800 FEET



NOTE: Where no dimensions for zoning district boundaries appear on the zoning maps, such dimensions are determined in Article VII, Chapter 6 (Location of District Boundaries) of the Zoning Resolution.

### ZONING MAP

THE NEW YORK CITY PLANNING COMMISSION

**Major Zoning Classifications:**  
 The number(s) and/or letter(s) that follows on R, C or M District designation indicates use, bulk and other controls as described in the text of the Zoning Resolution.

- R – RESIDENTIAL DISTRICT
- C – COMMERCIAL DISTRICT
- M – MANUFACTURING DISTRICT

**SPECIAL PURPOSE DISTRICT**  
 The letter(s) within the shaded area designates the special purpose district as described in the text of the Zoning Resolution.

**AREA(S) REZONED**

**Effective Date(s) of Rezoning:**  
 12-10-2012 C 100218 ZMK

**Special Requirements:**  
 For a list of lots subject to CEQR environmental requirements, see APPENDIX C.  
 For a list of lots subject to "D" restrictive declarations, see APPENDIX D.  
 For Inclusionary Housing designated areas and Mandatory Inclusionary Housing areas on this map, see APPENDIX F.

**CITY MAP CHANGE(S):**  
 ▲ 06-08-2016 C 110254 MMK  
 ▲ 02-28-2015 C 070109 MMQ

**MAP KEY**

8d	9b	9d
12c	<b>13a</b>	13c
12d	13b	13d

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**ZONING MAP 13a**

NOTE: Zoning information as shown on this map is subject to change. For the most up-to-date zoning information for this map, visit the Zoning section of the Department of City Planning website: [www.nyc.gov/planning](http://www.nyc.gov/planning) or contact the Zoning Information Desk at (212) 720-3291.

© 2014/2015, Project 1704 - Lerner Street/CD/2015 - Revised/04/17/14 - A10 - 2014/10/16/14/14 - 7:20:20/2015 11:52:29 AM - E:\1014\_11

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 271 North Avenue, suite 613 · New Rochelle, NY 10801  
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ZONING MAP

840 LORIMER STREET, BROOKLYN, NY 11222

DRAFT APPLICATION

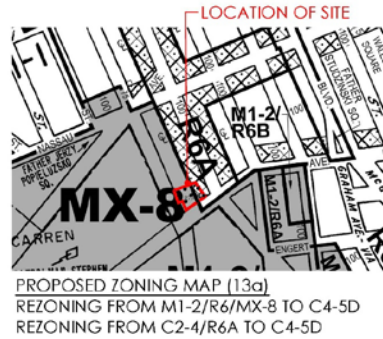
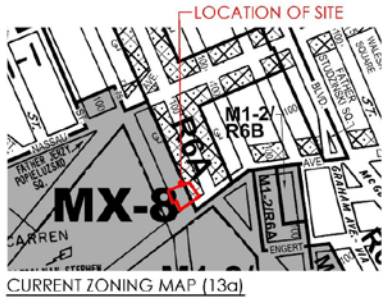
DATE: 07/15/20  
 SCALE: AS NOTED  
 SHEET 10 OF 24

A-10

Location 840 Lorimer Street  
Brooklyn, NY 11222  
Block 2679  
Lot 43  
Map Number 13a  
Zoning District C4-5D

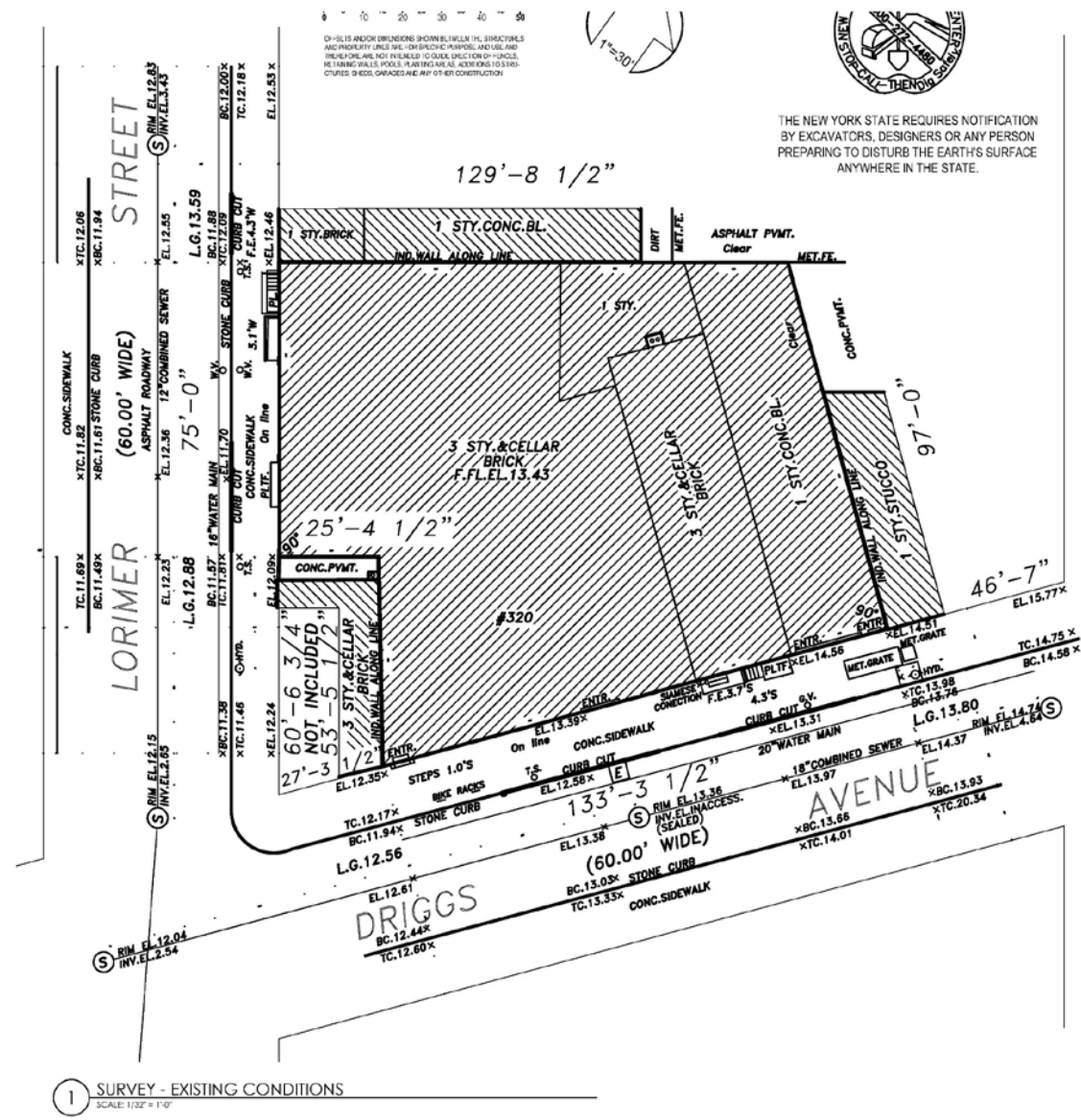
Flood Zone X  
Base Flood Elevation (BFE) N.A.  
Community District 1  
Transit Zone Yes

	SF	%
Total Lot Area	15,105 SF	100.00%
Lot Area A - M1-2/R6/MX-8	10,725 SF	71%
Lot Area B - C2-4/R6A	4,380 SF	29%



**QUALITY HOUSING NOTES**

- 28-21 SIZE OF DWELLING UNIT**  
A DWELLING UNIT SHALL HAVE AN AREA OF AT LEAST 400 SQUARE FEET OF FLOOR AREA.
- 28-22 WINDOWS**  
ALL WINDOWS IN THE RESIDENTIAL PORTION OF THE BUILDING SHALL BE DOUBLE GLAZED.
- 28-12 REFUSE STORAGE AND DISPOSAL**  
REFUSE DISPOSAL ROOM NOT LESS THAN 12 SQUARE FEET WITH MINIMUM DIMENSION OF 3'-0" IS PROVIDED AT EACH FLOOR THAT HAS ENTRANCES TO DWELLING UNITS.  
RESIDENTIAL STORAGE AND REMOVAL LOCATIONS SHALL BE PROVIDED AT THE RATE OF 2.9 CUBIC FEET PER DWELLING UNIT.
- 28-13 LAUNDRY FACILITY**  
WASHERS AND DRYERS PROVIDED; CAN BE DEDUCTED FROM FAR IF THEY FOLLOW REQUIREMENTS
- 28-14 DAYLIGHT IN CORRIDORS**  
A WINDOW OF MINIMUM 20 SF DIRECTLY VISIBLE FROM THE VERTICAL CIRCULATION CORE IS PROVIDED AT EACH FLOOR, ALLOWING FIFTY PERCENT OF THE SQUARE FOOTAGE OF THE CORRIDOR TO BE EXCLUDED FROM THE DEFINITION OF FLOOR AREA.
- 28-21 REQUIRED RECREATION SPACE**  
MINIMUM REQUIRED RECREATION SPACE: IN R7D (RES. EQUIVALENT OF C4-5D), REQUIRE 3.3% OF TOTAL RESIDENTIAL FLOOR AREA.
- 28-22 STANDARDS FOR RECREATION SPACE**
  - (A) ALL RECREATION SPACE IS ACCESSIBLE TO RESIDENTS OF THE BUILDING
  - (B) MINIMUM DIMENSION OF ANY RECREATION SPACE SHALL BE 15 FEET, AND MINIMUM SIZE OF INDOOR RECREATION SPACE SHALL BE 300 SF.
  - (C) RECREATION SPACE REQUIRES WINDOWS NO LESS THAN 9.5% OF FLOOR AREA.
- 28-23 PLANTING REQUIREMENTS**  
THE ENTIRE AREA OF THE ZONING LOT BETWEEN THE STREET LINE AND ALL STREET WALLS OF THE BUILDING AND THEIR PROLONGATIONS SHALL BE PLANTED AT GROUND LEVEL, OR IN RAISED PLANTING BEDS THAT ARE PERMANENTLY AFFIXED TO THE GROUND
- 28-31 DENSITY PER CORRIDOR**  
IF THE NUMBER OF DWELLING UNITS SERVED BY A VERTICAL CIRCULATION CORE AND CORRIDOR ON EACH STORY DOES NOT EXCEED 11 UNITS FOR R7D, 50 PERCENT OF THE SQUARE FEET OF THE CORRIDOR SERVING SUCH DWELLING UNITS ON SUCH STORY MAY BE EXCLUDED FROM THE DEFINITION OF FLOOR AREA.



THE NEW YORK STATE REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

MANHATTAN (60.00' WIDE) AVENUE

1 SURVEY - EXISTING CONDITIONS  
SCALE: 1/32" = 1'-0"

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**ZONING ANALYSIS - SITE**  
840 LORIMER STREET, BROOKLYN, NY 11222

DRAFT APPLICATION

DATE: 07/15/20  
SCALE: AS NOTED  
SHEET 11 OF 24

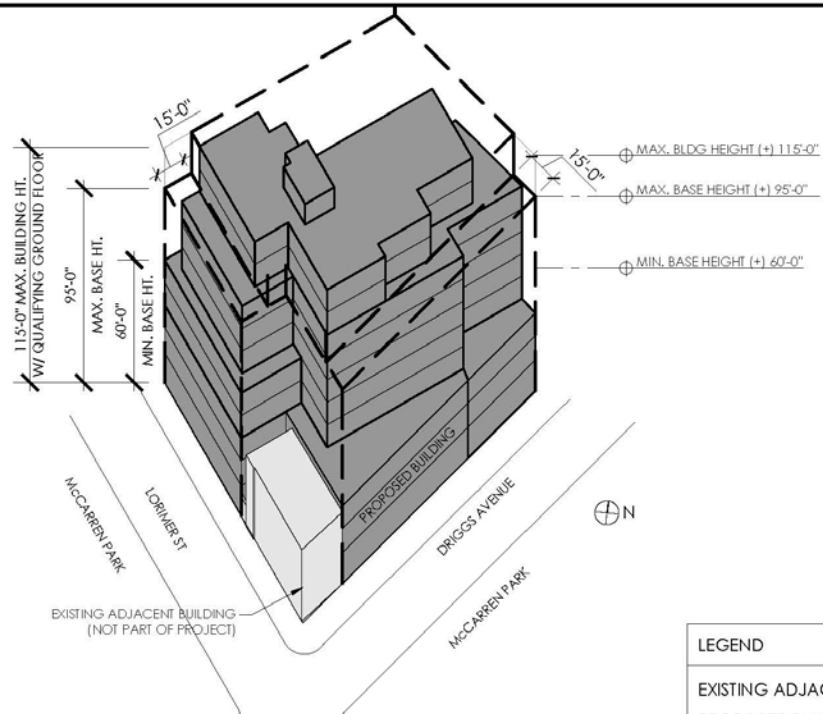
A-11

Location 840 Lorimer Street  
Brooklyn, NY 11222  
Block 2679  
Lot 43  
Map Number 13a  
Zoning District C4-5D  
Floor Zone X  
Base Flood Elevation (BFE) N.A.  
Community District 1  
Transit Zone Yes

	SF	%
Total Lot Area	15,105 SF	100.00%
Lot Area A - M1-2/R1/VK-8	10,170 SF	73%
Lot Area B - C2-4/R5A	4,935 SF	33%

Use Group	Existing Zoning				Proposed Zoning					
	M1-2/R1/VK-8 (Lot A)	C2-4/R5A (Lot B)		C4-5D / R7D (Lots A, B combined)	2R SECTION	Maximum Permitted	Minimum Required	Existing	Proposed	2R SECTION
FLOOR AREA										
<b>FAR</b>										
<b>Floor Area - Total</b>										
Residential - Inclusionary	2.42									
Floor Area	25,003 SF									
Residential	2.42									
Floor Area	26,003 SF									
Residential	2.20									
Floor Area	23,694 SF									
Commercial	2.00									
Floor Area	21,540.0 SF									
Community Facility	2.00									
Floor Area	21,540.0 SF									
<b>LOT COVERAGE</b>										
Within 100 FT of Corner (%) <sup>1a)</sup>	None									
Within 100 FT of Corner (SF)	None									
Interior-Lorimer St. (%)	None									
Interior-Lorimer St. (SF)	None									
Interior-Diggs Ave. (%)	N.A.									
Interior-Diggs Ave. (SF)	N.A.									
Total lot Coverage - A and B <sup>1b)</sup>	15,105 SF									
Density										
Density Per Dwelling Unit (factor)	23-22									
Allowable Dwelling Units	38									
<b>YARDS</b>										
Front Yard	123-601									
Side Yard <sup>1c)</sup>	123-601, 23-402									
Rear Yard	23-411(c)									
Rear Yard-100' of corner & short dim. <sup>1d)</sup>	23-541, 23-542									
<b>BUILDING HEIGHT</b>										
Street Wall <sup>1e)</sup> (ft)	23-641									
Base Height										
Max Building height										
Max Building height-Quarrying Ground Ft.										
Setback	23-671, 23-692									
<b>PARKING</b>										
Commercial - Retail	44-21									
Residential M1-2 <sup>1f)</sup>										
Residential	25-23									
Community Facility	25-31, 25-33									
Parking Waiver - Retail										
Parking Waiver - Residential M1-2										
Parking Waiver - Residential										
Parking Waiver - Comm. Facility										
<b>ADDITIONAL REQUIREMENTS</b>										
Recreation space (%)										
Rec. Space Floor Area (SF)										
Bicycle Parking										

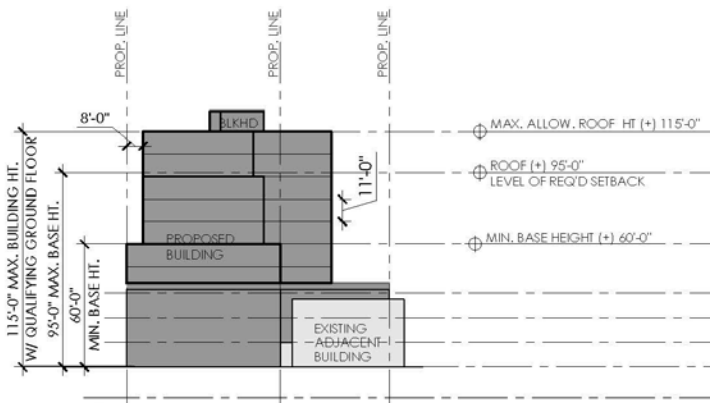
1) Lot coverage for lots A and B in both districts. Lot A per ZR 123-641 does not require a lot coverage. 10,725 SF + 4,380 SF = 15,105 SF  
 2) As per 23-156(b)(1), within 100 feet of a corner, allowed maximum 100% lot coverage  
 3) As per 23-156(b)(2), along short dimension of a block, allowed maximum 100% lot coverage within 100 feet of such front lot line  
 4) If any open area extending along a #side lot line is provided at any level, it shall have a minimum width of eight feet, measured perpendicular to the #side lot line, and extend along the entire #side lot line  
 5) As per ZR 23-541, no rear yard required within 100 FT of a corner. ZR 23-542: No rear yard required along short dimension of a block within 100 FT of front lot line.  
 6) As per ZR 44-23 waived if less than 15 spaces required (applies to existing zoning only)  
 7) As per 25-31 and 25-33 waived if less than 25 Spaces required (applies to existing zoning only)  
 8) As per 33-011, in C1 and C2 Districts mapped within R9 through R10 districts with a letter suffix, all buildings to comply with applicable height and setback regulations set forth in Article II, Chapter 5  
 9) As per ZR 25-651(a)(1), Along #wide streets# and along #narrow streets# within 50 feet of their intersection with a #wide street# the #street wall# shall extend along the entire #street# frontage of a #zoning lot#. At least 70 percent of the #aggregate width of street wall# shall be located within eight feet of the #street line# and extend to at least the minimum base height specified in Section 23-662 (Maximum height of buildings and setback regulations), or the height of the #building#, whichever is less. Up to 30 percent of the #aggregate width of street wall# may be recessed beyond eight feet of the #street line#, provided that any such recesses deeper than 10 feet along a #wide street# or 15 feet along a #narrow street# are located within an #outer court#.   
 10) As per ZR 35-651(b)(5), for #zoning lot# bounded by more than one #street line#, these #street wall# location provisions shall be mandatory along only one #street line#  
 11) Per ZR 23-661(a)(1), street wall shall be located no closer to the #street line# than the #street wall#, or portion thereof, of an existing adjacent #building# on an adjoining #zoning lot# located on the same #street# frontage  
 12) Per ZR 25-251, within the Transit Zone no accessory off-street parking spaces shall be required for income-restricted housing units.



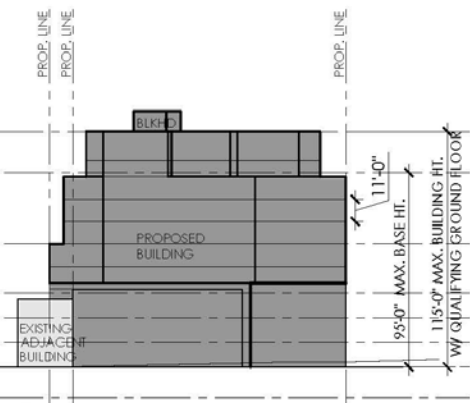
1 BUILDING ENVELOPE - AXONOMETRIC  
SCALE: 1/84" = 1'-0"

**LEGEND**

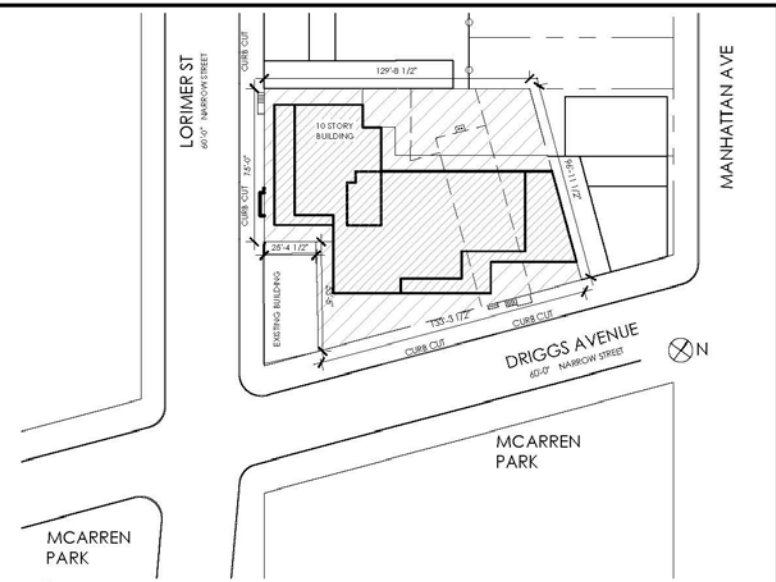
EXISTING ADJACENT BUILDING	
PROPOSED BUILDING	



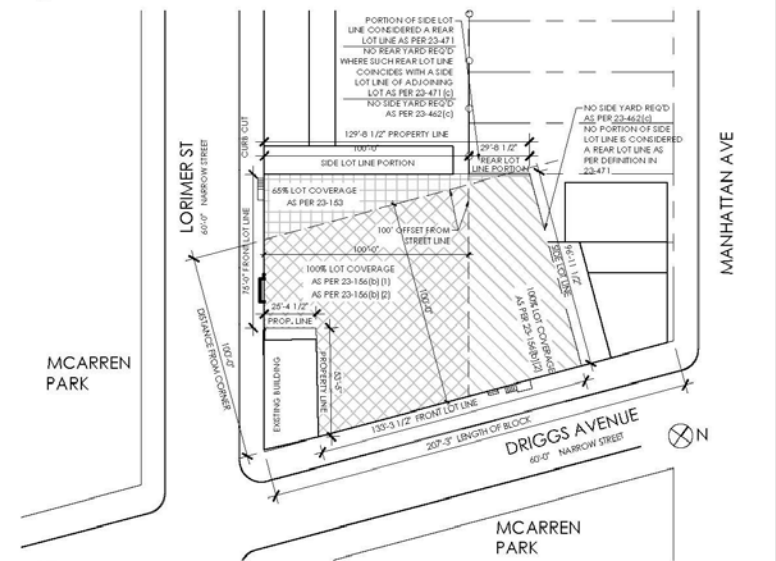
3 LORIMER ST. - ELEVATION DIAGRAM  
SCALE: 1/84" = 1'-0"



4 DRIGGS AVE - ELEVATION DIAGRAM  
SCALE: 1/84" = 1'-0"



6 SITE PLAN  
SCALE: 1/84" = 1'-0"



5 LOT COVERAGE/YARD DIAGRAM  
SCALE: 1/84" = 1'-0"

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**SITE PLAN &  
BUILDING ENVELOPE**  
840 LORIMER STREET, BROOKLYN, NY 11222

DRAFT APPLICATION

DATE: 07/15/20  
SCALE: AS NOTED  
SHEET 13 OF 24

A-13



LEGEND	
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<span style="display:inline-block; width:10px; height:10px; background-color:lightgreen;"></span>	RESIDENTIAL STORAGE
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue;"></span>	RETAIL
<span style="display:inline-block; width:10px; height:10px; background-color:orange;"></span>	MECHANICAL

1 CELLAR FLOOR PLAN  
SCALE: 1/8" = 1'-0"

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CELLAR PLAN

840 LORIMER STREET, BROOKLYN, NY 11222

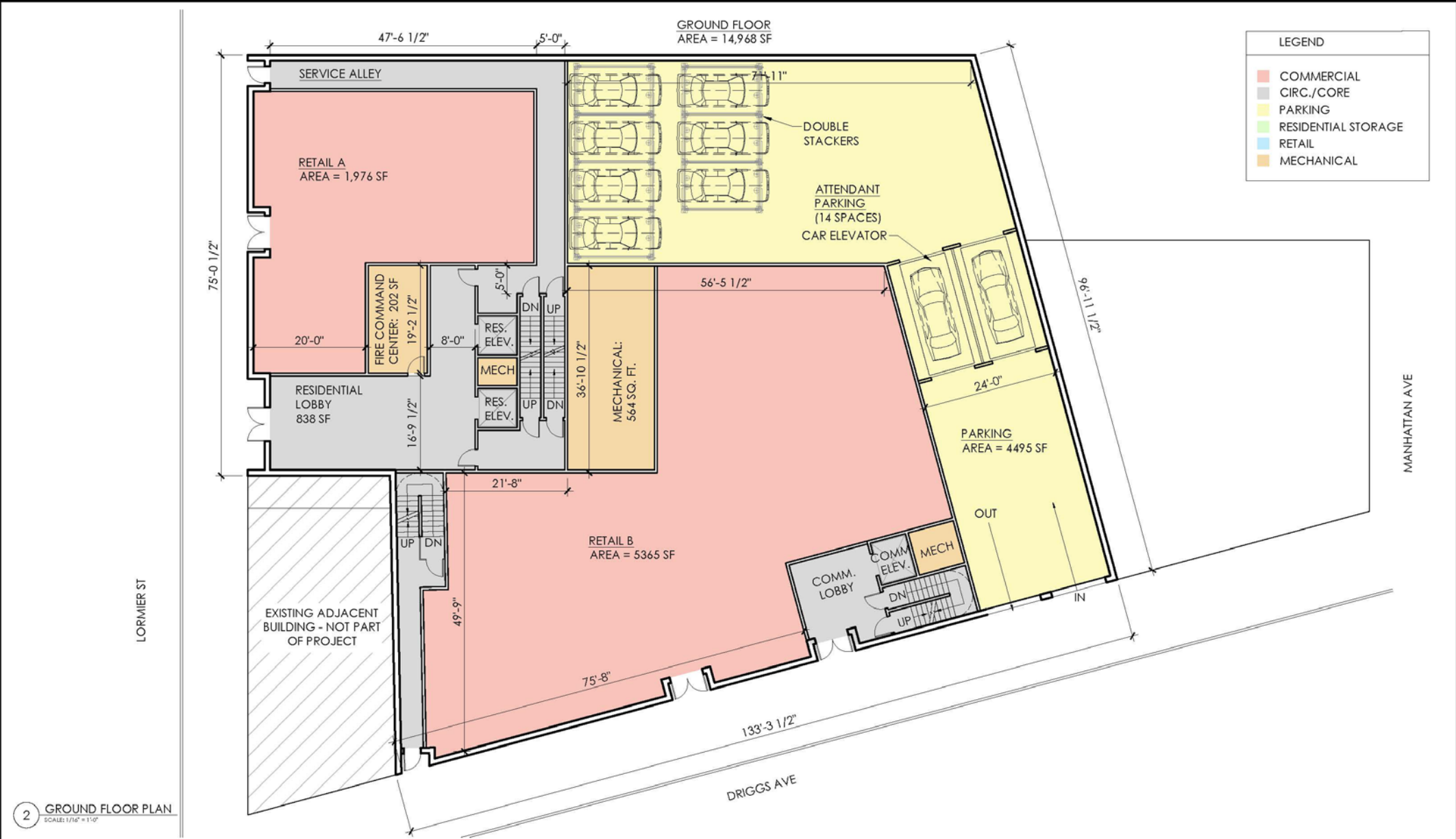
DRAFT APPLICATION

DATE: 07/15/20  
SCALE: AS NOTED  
SHEET 14 OF 24

A-14

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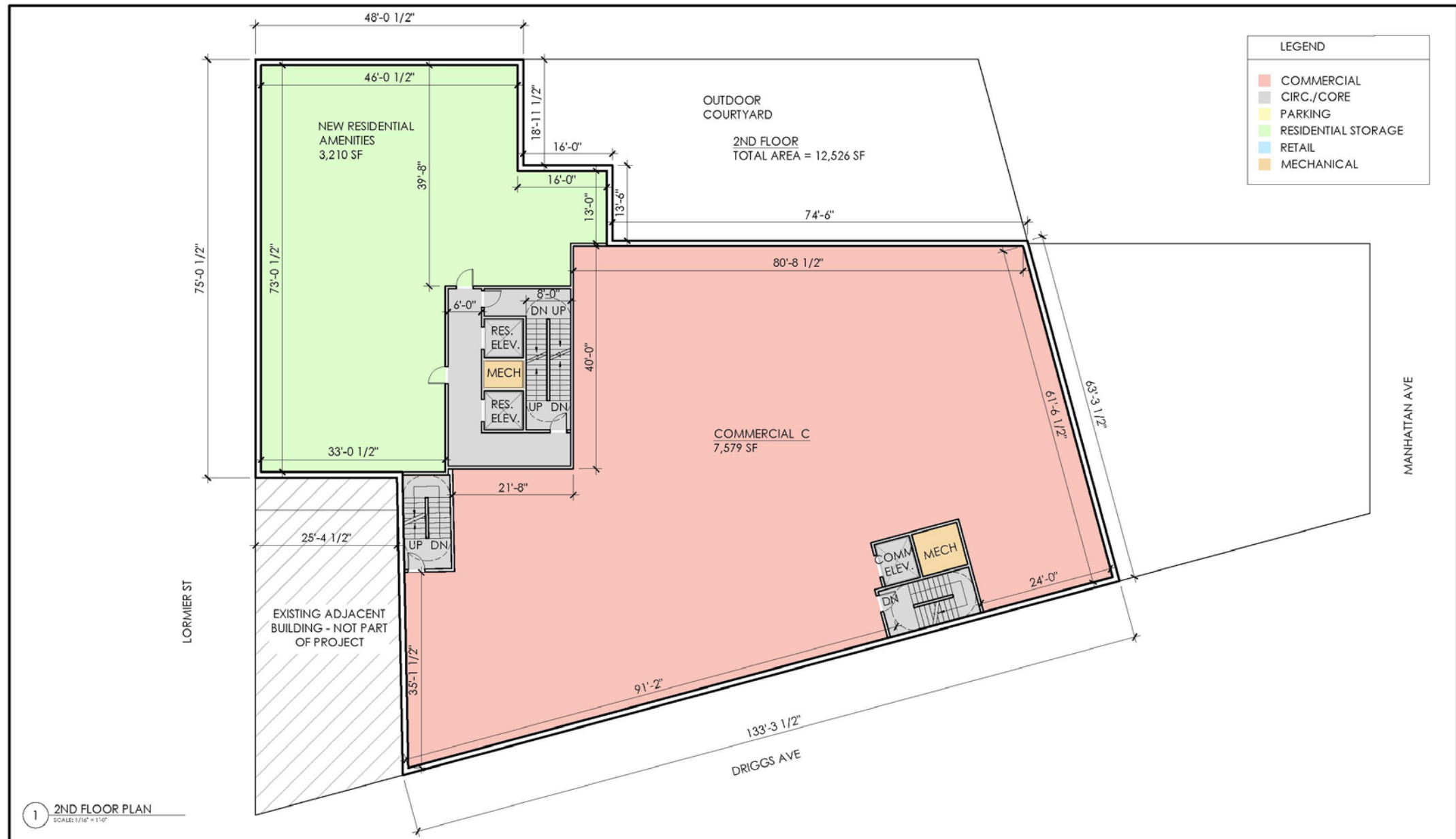
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**GROUND FLOOR PLAN**  
840 LORIMER STREET, BROOKLYN, NY 11222

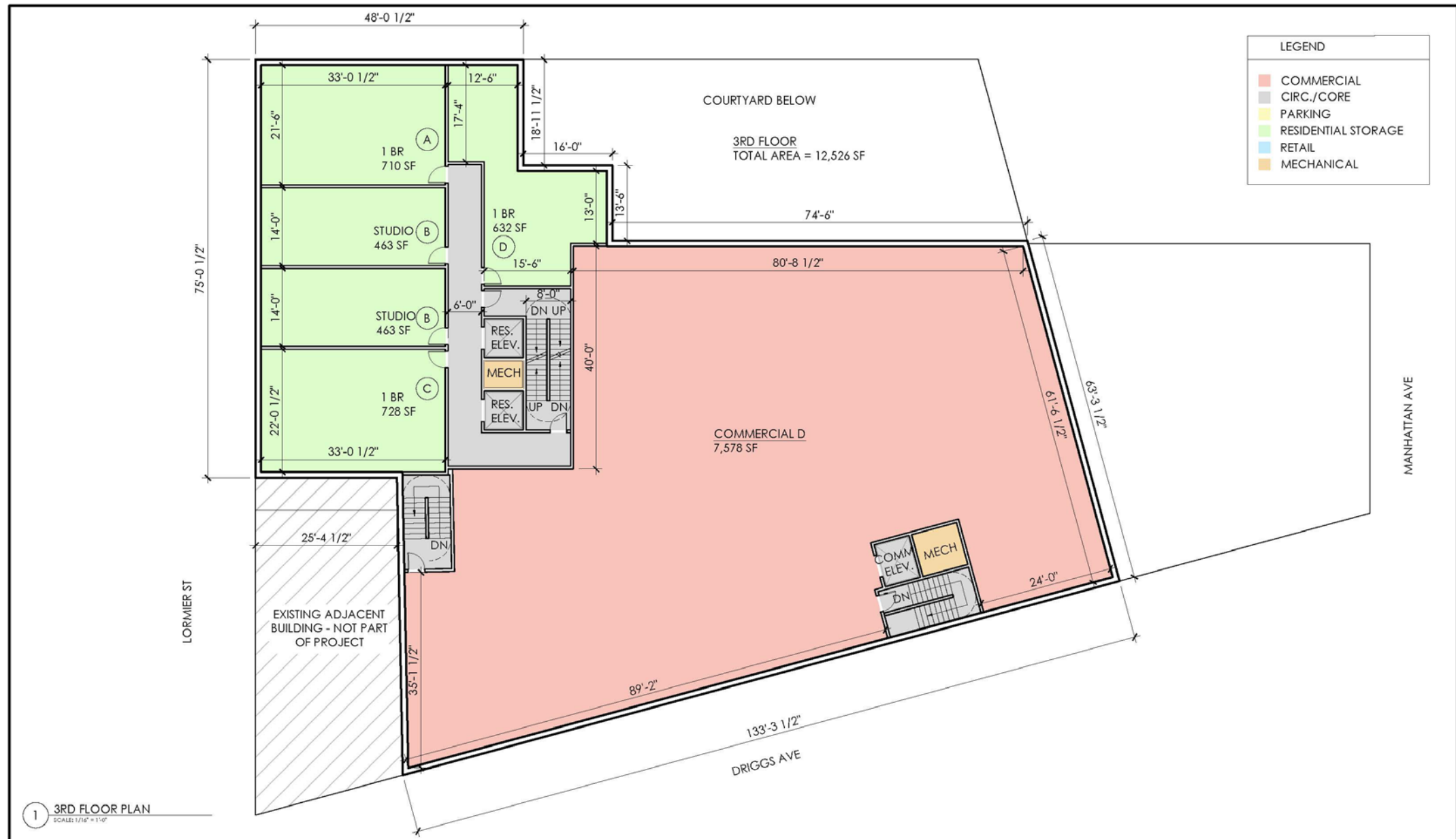
DRAFT APPLICATION

DATE: 07/15/20  
SCALE: AS NOTED  
SHEET 15 OF 24

A-15



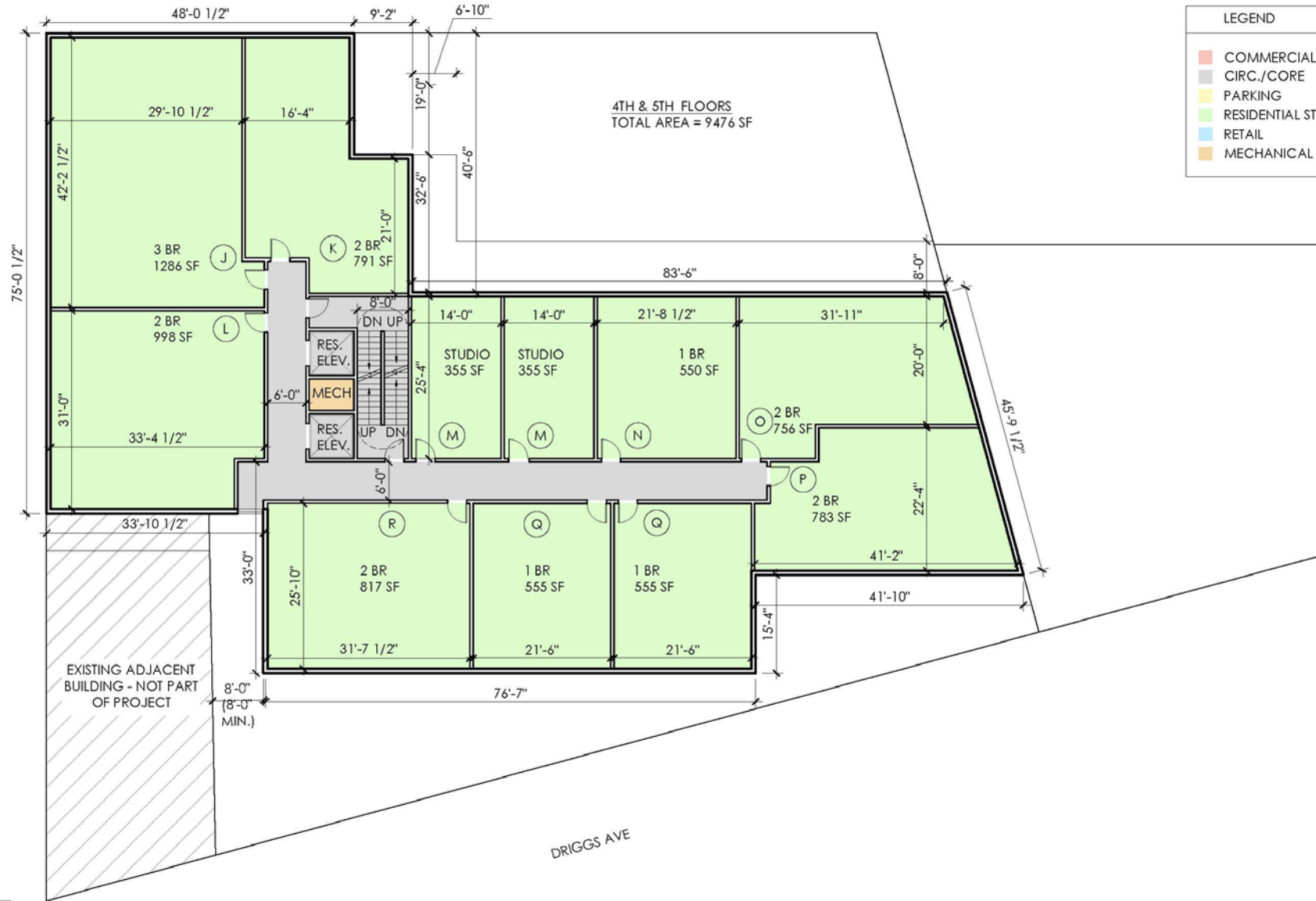
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LEGEND	
[Red Box]	COMMERCIAL
[Grey Box]	CIRC./CORE
[Yellow Box]	PARKING
[Green Box]	RESIDENTIAL STORAGE
[Blue Box]	RETAIL
[Orange Box]	MECHANICAL

1 4TH & 5TH FLOOR PLAN TYP.  
SCALE: 1/16" = 1'-0"

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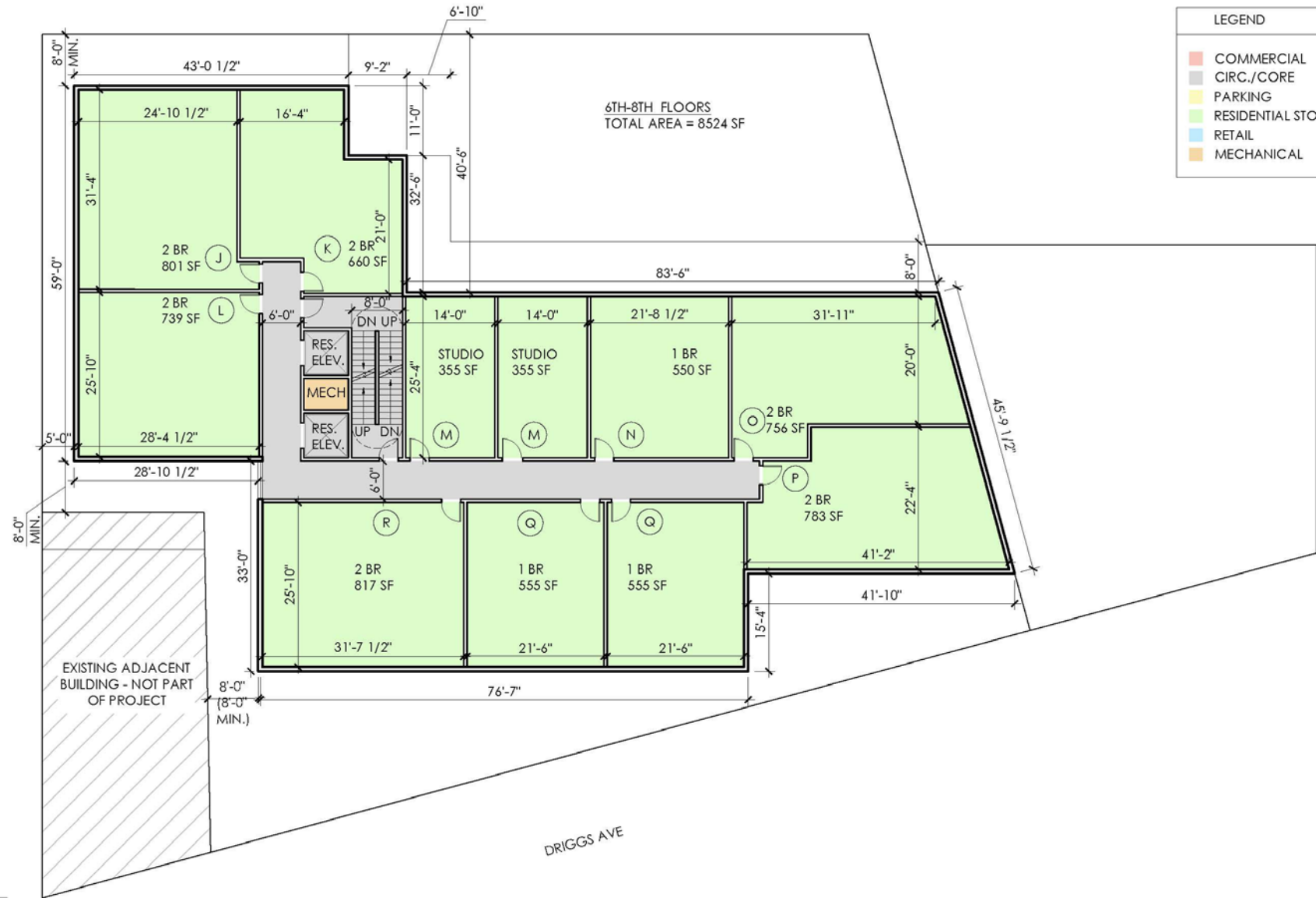
**4TH & 5TH FLOOR PLANS**  
 840 LORIMER STREET, BROOKLYN, NY 11222

DRAFT APPLICATION

DATE: 07/15/20  
 SCALE: AS NOTED  
 SHEET 18 OF 24

A-18

LEGEND	
<span style="color: red;">■</span>	COMMERCIAL
<span style="color: gray;">■</span>	CIRC./CORE
<span style="color: yellow;">■</span>	PARKING
<span style="color: lightgreen;">■</span>	RESIDENTIAL STORAGE
<span style="color: lightblue;">■</span>	RETAIL
<span style="color: orange;">■</span>	MECHANICAL



1 6TH TO 8TH FLOOR PLAN TYP.  
SCALE: 1/16" = 1'-0"

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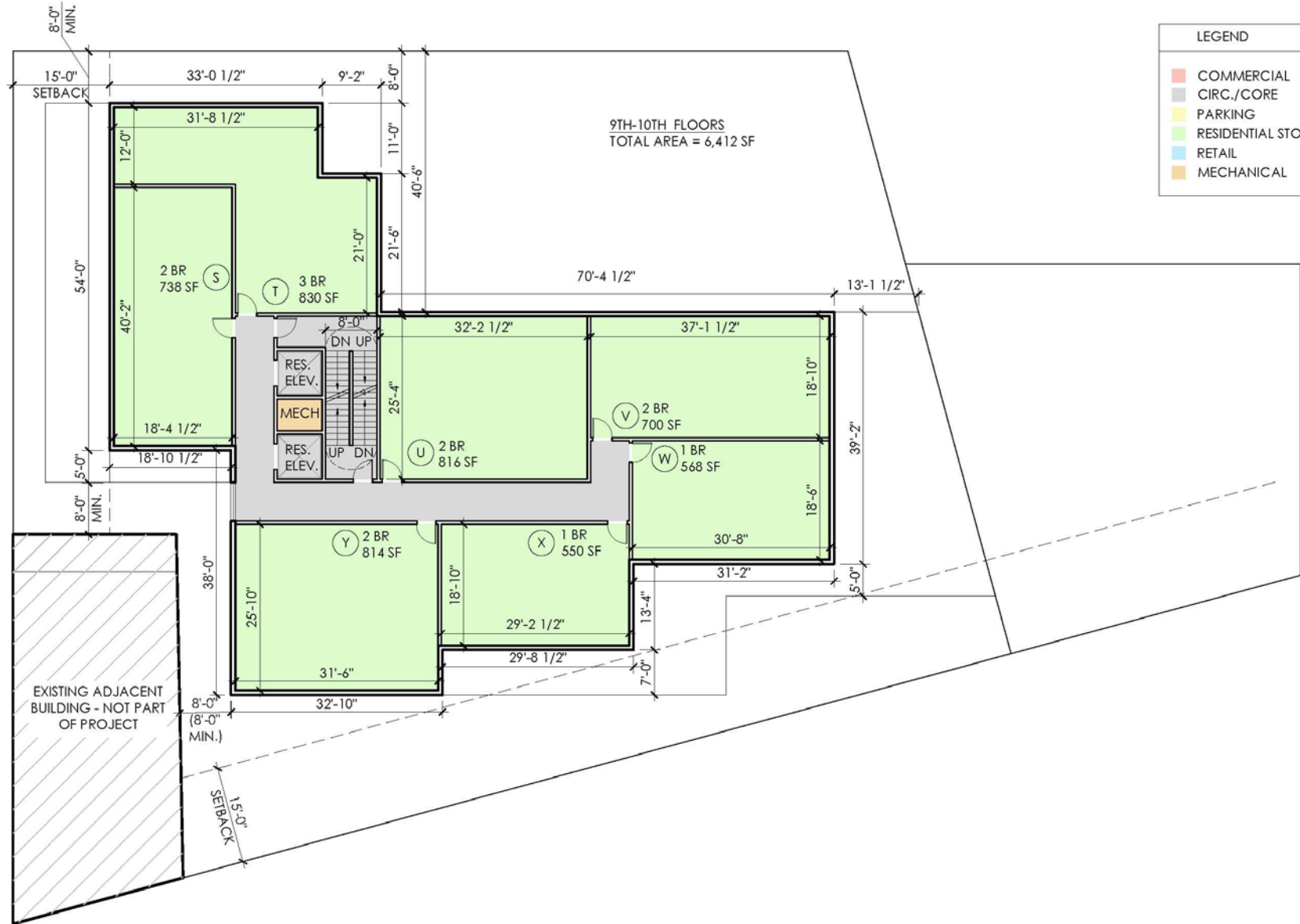
6TH TO 8TH FLOOR PLANS  
840 LORIMER STREET, BROOKLYN, NY 11222

DRAFT APPLICATION

DATE: 07/15/20  
SCALE: AS NOTED  
SHEET 19 OF 24

A-19

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LEGEND	
[Red Box]	COMMERCIAL
[Grey Box]	CIRC./CORE
[Yellow Box]	PARKING
[Light Green Box]	RESIDENTIAL STORAGE
[Light Blue Box]	RETAIL
[Orange Box]	MECHANICAL

9TH-10TH FLOORS  
TOTAL AREA = 6,412 SF

EXISTING ADJACENT  
BUILDING - NOT PART  
OF PROJECT

1 9TH & 10TH FLOOR PLANS TYP.  
SCALE: 1/16" = 1'-0"

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Floor	Existing	Proposed Floor Area			Approx. Parking, Mech & Plumbing Deduct. 2%	Qual. Housing Deductions	Zoning FA (Com.+ Res.)
		Gross Commercial	Gross Residential	Gross FA (Com.+ Res.)			
Cellar		8,498 SF	6,610 SF	15,108 SF		0 SF	
Ground Floor	15,108.00 SF	7,341 SF	7,627 SF	14,968 SF	5,059 SF	0	
2nd Floor	11,654.00 SF	8,374 SF	4,152 SF	12,526 SF	251 SF	2,653 SF	
3rd Floor	11,654.00 SF	8,374 SF	4,152 SF	12,526 SF	251 SF	211 SF	
4th Floor	n/a	0	9,476 SF	9,476 SF	251 SF	690 SF	
5th Floor	n/a	0	9,476 SF	9,476 SF	190 SF	690 SF	
6th Floor	n/a	0	8,524 SF	8,524 SF	190 SF	656 SF	
7th Floor	n/a	0	8,524 SF	8,524 SF	170 SF	656 SF	
8th Floor	n/a	0	8,524 SF	8,524 SF	170 SF	656 SF	
9th Floor	n/a	0	6,412 SF	6,412 SF	128 SF	561 SF	
10th Floor	n/a	0	6,412 SF	6,412 SF	128 SF	561 SF	
Roof	n/a	0	500 SF	500 SF	0	500 SF	
<b>Total SF</b>	<b>38,416.00 SF</b>	<b>32,587.00 SF</b>	<b>80,389.00 SF</b>	<b>112,976.00 SF</b>	<b>6,787.04 SF</b>	<b>7,333.34 SF</b>	

- 1) Qual. Housing Deduction for Residential Lobby - 1st floor
- 2) Qual. Housing Deduction for required recreation space - 2nd floor (3.3% of Res. Floor area)
- 3) Qual. Housing Deductions for corridors - 50% for density of less than 11 units per floor - 3rd floor
- 4) Qual. Housing Deductions for corridors - 50% for density of less than 11 units per floor, 50% for daylight in corridors - 4th-10th floors

1 PROPOSED FAR \_\_\_\_\_

Floor	Proposed Unit Type Matrix				Totals per floor
	0 BR Type B, I-1, I-2, I-3, M	1 BR Type A, L, F, G, N, Q, W, X	2 BR Type D, E, H, J, K, L, O, R, S, U, V, Y	3 BR Type P, T	
Cellar	-	-	-	-	n/a
1st Floor	-	-	-	-	n/a
2nd Floor	0	0	0	0	0
3rd Floor	2	3	0	0	5
4th Floor	2	3	5	1	11
5th Floor	2	3	5	1	11
6th Floor	2	3	5	1	11
7th Floor	2	3	5	1	11
8th Floor	2	3	5	1	11
9th Floor	0	1	5	1	7
10th Floor	0	1	5	1	7
Roof	-	-	-	-	n/a
<b>Totals per Type</b>	<b>12</b>	<b>20</b>	<b>35</b>	<b>7</b>	<b>74</b>
MIH (25%)	3	5	9	2	19
Market	9	15	26	5	55

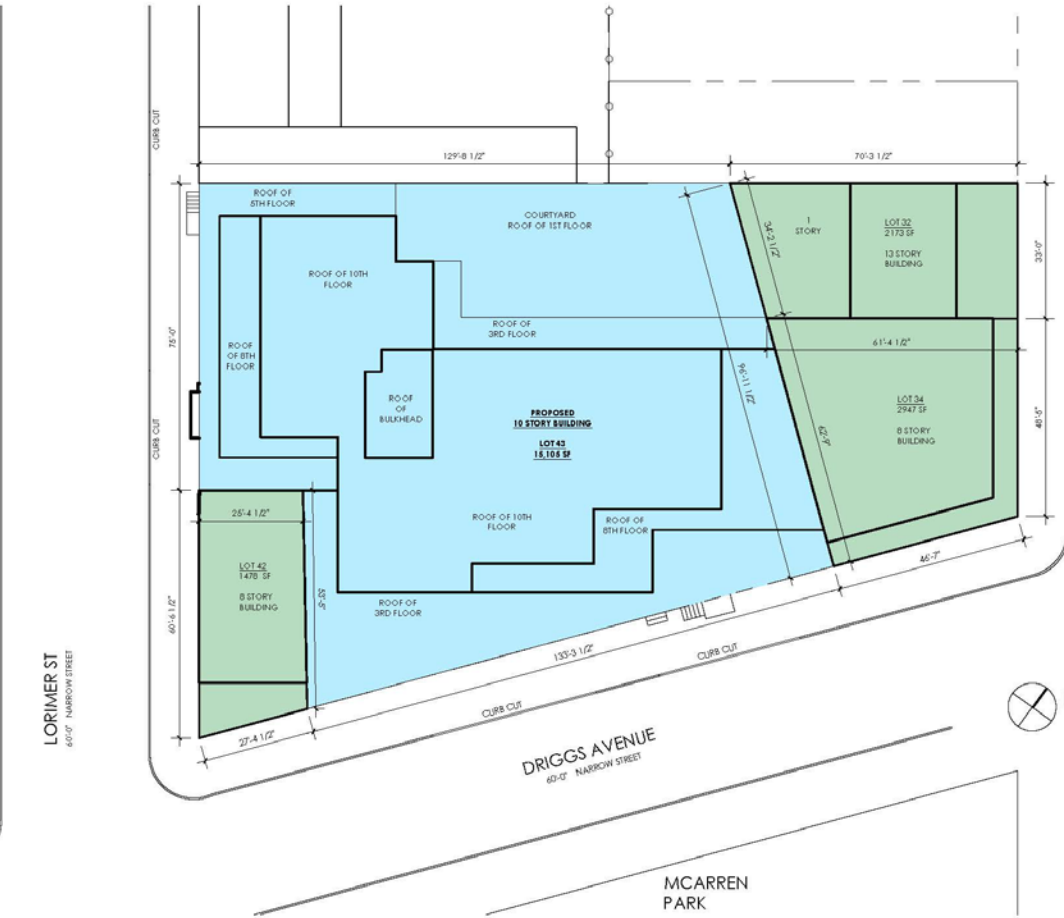
2 PROPOSED UNIT TYPE MATRIX \_\_\_\_\_

Proposed MIH / Market Apartments & Parking			
Total Number of apts	Estimated MIH apts (25%)	Estimated market apts (75%)	Required parking spaces (50% market)
74	19	55	28

3 PROPOSED MIH / MARKET APARTMENTS & PARKING \_\_\_\_\_

LEGEND

- PROPOSED 10-STORY BUILDING - LOT 43
- POSSIBLE 8 STORY BUILDING - LOT 34
- POSSIBLE 13 STORY BUILDING - LOT 32
- POSSIBLE 8 STORY BUILDING - LOT 42



1 SITE PLAN - PROPOSED & POSSIBLE BUILDINGS  
SCALE: 1/32" = 1'-0"

MANHATTAN AVE



2 BUILDING ENVELOPE - AXONOMETRIC - PROPOSED & POSSIBLE BUILDINGS  
SCALE: 1/2"

**BIENENFELD**  
ARCHITECTURE

RICHARD BIENENFELD ARCHITECT, P.C.  
271 North Avenue, suite 613 • New Rochelle, NY 10801  
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PROPOSED & POSSIBLE  
DEVELOPMENT SCENARIO  
840 LORIMER STREET, BROOKLYN, NY 11 222

DRAFT APPLICATION

DATE: 07/15/20  
SCALE: AS NOTED  
SHEET 22 OF 24

A-22



1 SITE PLAN - EXISTING & POSSIBLE DEVELOPMENT  
SCALE: 1/8" = 1'-0"



2 MASSING DIAGRAM - EXISTING & POSSIBLE DEVELOPMENT  
SCALE: N.T.S.

LEGEND	
PROPOSED BUILDING - LOT 43	<span style="color: blue;">█</span>
POSSIBLE BUILDINGS - LOTS 34, 32, 42	<span style="color: green;">█</span>
APPROVED BUILDINGS	<span style="color: yellow;">█</span>
EXISTING BUILDINGS	<span style="color: grey;">█</span>

S:\BIB\BIB\Projects\1704 - Lorimer Street\1704 - A02\_03r\Plan\Massing\_Erta\BIB\1704\_020201210202.Plan\_BIM.dwg, 11

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**PROPOSED & POSSIBLE  
DEVELOPMENT SCENARIO**  
840 LORIMER STREET, BROOKLYN, NY 11222

DRAFT APPLICATION

DATE: 11/18/19  
SCALE: AS NOTED  
SHEET 23 OF 23

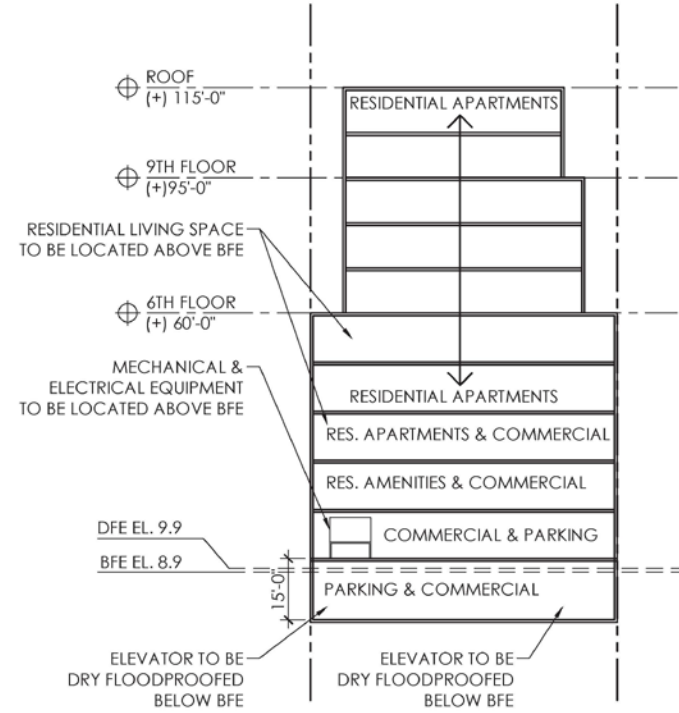
A-23



1 EFFECTIVE FIRM 2007 - 3604970202F  
N.T.S.



2 PRELIMINARY FIRM 2013 - 3604970202G  
N.T.S.



3 DIAGRAMMATIC SECTION  
1/32" = 1'-0"

**FLOOD DESIGN NOTES**

1. BASE FLOOD ELEVATION (BFE) IS 10 USING NAGD 29 DATUM TO CONVERT NAGD 29 TO NAVD 88, SUBTRACT 1.10  
BFE 10 - 1.10 = 8.9 BFE IN NAVD 88 DATUM
2. DESIGN FLOOD ELEVATION (DFE) IS 9.9, WHICH IS 1'-0" ABOVE BFE FOR PROPOSED MIXED-USE BUILDING
3. MECHANICAL AND ELECTRICAL EQUIPMENT TO BE LOCATED ABOVE THE BFE
4. IN CELLAR, ELEVATOR REQUIRES DRY FLOODPROOFING
5. IN CELLAR, PARKING AND COMMERCIAL SPACE REQUIRE WET FLOODPROOFING

**BIENENFELD  
ARCHITECTURE**

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**FIRM & BFE**

840 LORIMER STREET, BROOKLYN, NY 11222

DRAFT APPLICATION

DATE: 07/15/20  
SCALE: N.T.S.  
SHEET 24 OF 24

A-24

# 2021 New York City Area Area Median Income (AMI)

Family Size	30% AMI	40% AMI	50% AMI	60% AMI	70% AMI	80% AMI	90% AMI	100% AMI	110% AMI	120% AMI	130% AMI	165% AMI
1	\$25,080	\$33,440	\$41,800	\$50,160	\$58,520	\$66,880	\$75,240	\$83,600	\$91,960	\$100,320	\$108,680	\$137,940
2	\$28,650	\$38,200	\$47,750	\$57,300	\$66,850	\$76,400	\$85,950	\$95,500	\$105,050	\$114,600	\$124,150	\$157,575
3	\$32,220	\$42,960	\$53,700	\$64,440	\$75,180	\$85,920	\$96,600	\$107,400	\$118,140	\$128,880	\$139,620	\$177,210
4	\$35,790	\$47,720	\$59,650	\$71,580	\$83,510	\$95,440	\$107,370	\$119,300	\$131,230	\$143,160	\$155,090	\$196,845
5	\$38,670	\$51,560	\$64,450	\$77,340	\$90,230	\$103,120	\$116,010	\$128,900	\$141,790	\$154,680	\$167,570	\$212,685
6	\$41,520	\$55,360	\$69,200	\$83,040	\$96,880	\$110,720	\$124,560	\$138,400	\$152,240	\$166,080	\$179,920	\$228,360
7	\$44,400	\$59,200	\$74,000	\$88,800	\$103,600	\$118,400	\$133,200	\$148,000	\$162,800	\$177,600	\$192,400	\$244,200
8	\$47,250	\$63,000	\$78,750	\$94,500	\$110,250	\$126,000	\$141,750	\$157,500	\$173,250	\$189,000	\$204,750	\$259,875



# 2021 New York City Area Affordable Monthly Rents

Unit Size	30% AMI	40% AMI	50% AMI	60% AMI	70% AMI	80% AMI	90% AMI	100% AMI	110% AMI	120% AMI	130% AMI	165% AMI
Studio	\$419	\$598	\$777	\$956	\$1,135	\$1,314	\$1,547	\$1,726	\$1,905	\$2,084	\$2,263	\$2,889
One-bedroom	\$532	\$756	\$980	\$1,204	\$1,427	\$1,651	\$1,942	\$2,166	\$2,390	\$2,614	\$2,838	\$3,621
Two-bedroom	\$631	\$900	\$1,168	\$1,437	\$1,705	\$1,974	\$2,323	\$2,592	\$2,860	\$3,129	\$3,397	\$4,337
Three-bedroom	\$722	\$1,032	\$1,343	\$1,653	\$1,963	\$2,273	\$2,677	\$2,987	\$3,297	\$3,608	\$3,918	\$5,004



# COMMUNITY BOARD No. 1

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BROOKLYN BOROUGH PRESIDENT



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FIRST VICE-CHAIRMAN

**DEL TEAGUE**  
SECOND VICE-CHAIRPERSON

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DISTRICT MANAGER

**HON. LINCOLN RESTLER**  
COUNCILMEMBER, 33rd CD

**HON. JENNIFER GUTIERREZ**  
COUNCILMEMBER, 34th CD

January 11, 2022

## COMMITTEE REPORT

### SLA REVIEW AND DCWP COMMITTEE

**TO:** Chairperson Dealice Fuller  
And CB#1 Board Members

**FROM:** Thomas J. Burrows, Committee Chair  
SLA Review & DCWP Committee

**RE:** Committee Meeting held via WebEx  
on December 21, 2021

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The SLA Review & DCWP Committee met via WebEx at 6:30pm on December 21, 2021. Representatives of the Community Board and other Community Board members participated in the discussion and review of the applications. A number of applications had been postponed from the prior meeting and those which had been postponed because of time limitations at the prior meeting were reviewed first. Applicants were advised that the meeting was to end at 9:00pm and those applications not reached would be postponed to the next Committee meeting. Prior to the meeting the List of New and Renewal applications that had been posted at the Public Hearing were provided to the 90 and 94 Precincts of the NYPD for their review.

#### ATTENDANCE:

Present: Burrows, Chair; Barros, Bruzaitis, Dybanowski, Sofer and Daly\* (\*non-Board member)

Absent: Bachorowski, Co-Chair; (emergency); Foster, Solano (WiFi Issues), Torres, Cohen\*

Board members: Miceli

**Items Announced at the September 14, 2021, Public Hearing (Postponed) New:**

- 1) 24 Oak LLC, 1 Oak Street, (New, liquor, wine, beer, cider, legitimate theater or concert hall).  
Previously Postponed. Applicant was to meet with the Greenpoint Coalition and other community members at meeting arranged by R. Solano. No appearance by applicants. Mr. Solano advised by telephone that applicant was **withdrawing** application.
- 2) Cheeseboat LLC, 80 Berry Street, (Corporate Change, liquor, wine, beer, cider, rest)  
Postponed. No appearance by applicant. Committee recommends **Denial**.
- 3) Vantage Point Hospitality LLC, 1 Oak Street, (New, liquor, wine, beer, cider, legitimate theater, or concert hall). Previously Postponed. No community agreement reached. No appearance by applicants. Mr. Solano advised by telephone that applicant was **withdrawing** application.

**Items Announced at the October 12, 2021, Public Hearing (Postponed) New:**

- 1) Pizza Lobo Brooklyn, 1145 Manhattan Avenue, (New, liquor, wine, beer, cider, bar, tavern). Previously Postponed. Applicant requested **Postponement**.
- 2) 180 Franklin LLC, dba Bar Americano, 180 Franklin Street, (New, liquor, wine, beer, cider, tavern) Need to meet with Greenpoint Coalition, Postponed. Applicant requested **Postponement**.
- 3) Abba Bar and Grill Corp, 492 Grand Street, (Corporate change, liquor, wine, beer, cider, rest) Postponed. No appearance by applicant. Committee recommends **Denial**.
- 4) Bees Knees Management LLC, dba Bees Knees, 67 North 7th Street, (New, liquor, wine, beer, cider, rest) Postponed because of Time Constraint. Committee recommends **Approval** with proper signature pages.
- 5) Bushwick Triangle INC., 1277 Flushing Avenue, (New, liquor, wine, beer, cider, bar, tavern) Postponed because of Time Constraint. Applicant requests **Postponement** to provide additional material to Committee including Floor plans, Rooftop plans, Sound proofing plan, Petitions from neighboring community.
- 6) Coco River LLC, dba TBD, 425 Graham Avenue, (New, liquor, wine, beer, cider, bar, tavern) Postponed because of Time Constraint. Committee recommends **Approval with change** in operating hours with Closing at 2:00pm Sunday-Wednesday and Closing at 3:00pm on Thursday-Saturday. Vote 4 Yeah, 1 Nay, 1 Abstain.

- 7) Entity to be formed by Forrest Dein, dba JuneShine, 56 North Street, (New, liquor, wine, beer, cider, bar Tavern) Postponed because of Time Constraint. No appearance by applicant. Committee recommends **Denial**.
- 8) No Aloha Bar LLC, dba No Aloha, 17 Ingraham Street, (New, liquor, wine, beer, cider, bar, tavern) Postponed because of Time Constraint. Committee recommends **Approval**.

**Items announced at the December 7, 2021 Combined Public Hearing and Board Meeting:**

**NEW**

- 1) 76 Ainslie OPCO LLC, dba Ainslie, 76 Ainslie Street, (expansion onto Municipal Property)  
Committee in no position to review DOT approved expansion of applicant use onto Municipal Property.
- 2) 544 Pizza Corp., dba TBD, 544 Manhattan, (New, liquor, wine, beer, cider, pizzeria, rest) No appearance by applicant. Committee recommends **Denial**.
- 3) 620 Lorimer Street, dba TBD, 620 Lorimer Street, (New, liquor, wine, beer, cider, pizzeria) Committee recommends **Approval**.
- 4) AKO Bedford Inc., dba Enso Sushi, 117 Berry Street, (New, liquor, wine, beer, cider, rest) Committee recommends **Approval**.
- 5) Bushwick Beer Garden LLC, dba Rebel Café & Garden LLC, 2 Knickerbocker Avenue, (Corporate Change, liquor, wine, beer, cider, rest). Committee recommends **Approval**.
- 6) Café Group Inc, dba Mr. Bao, 208 Bedford Avenue, (New, wine, beer & cider, rest) Committee recommends **Approval**.
- 7) Cheeseboat LLC, 80 Berry Street, (Corporate Change, 80 Berry Street, (Corporate Change, liquor, wine, wine, beer, cider, rest) No appearance by applicant. Committee recommends **Denial**.
- 8) Eris Evolution LLC, 167 Graham Avenue, (Corporate change, liquor, wine, beer, cider, bar, tavern) No appearance by applicant. Committee recommends **Denial**.
- 9) James Gaskill or entity to be formed, TBD, 17 Meadow Street, (New, liquor, wine, beer, cider, event space) Replacing an existing operation. Committee recommends **Approval** with receipt of Prior liquor license and no outdoor space.
- 10) Maison Provence Corp., 52 Havemeyer Street, (New, wine, beer, cider, rest) Committee recommends **Approval**.

- 11) MQBK 1 LLC, dba Mighty Quinn's BBQ, 62 South end Street, (New, liquor, wine, beer, cider, rest) Applicant requests **postponement** to provide a complete application with all supporting documents.
- 12) Norman Kingsland, 269 Norman Avenue, (New, Removal, liquor, wine, beer, cider, rest) Committee recommends **Approval**.
- 13) Rhymin & Thievin LLC, dba TBD, 595 Union Avenue, (New, liquor, wine, beer, cider, bar) Committee recommends **Approval**.
- 14) Sham 168 Inc. dba Dar 525, 168 Driggs Avenue, (New, wine, beer, cider, wine, beer, cider, rest) Committee recommends **Approval**.
- 15) S. Hager, on behalf of an entity TBD, 200 Kent Avenue, 3<sup>rd</sup> Floor, (New, liquor, wine, beer, cider, rest) No appearance by applicant. Committee recommends **Denial**.
- 16) Taku New York Inc, 29 Greenpoint Avenue, (New, liquor, wine, beer, cider, rest) Applicant requests **Postponement**.
- 17) Taqueria El Torito, Corp, 32 Varet Street, Store R, (New, liquor, wine, beer, cider) Committee recommends **Approval**.
- 18) Williamsburg Molino LLC, dba For all Things Good Williamsburg, 314 Grand Street, (New, wine, beer, cider, rest) Committee recommends **Approval**.
- 19) Xi An Town USA Inc., 165 Bedford Avenue, (New, Wine, beer, cider, rest) Committee recommends **Approval**.

**RENEWAL**

- 1) #1 pho Inc., dba Zenyai, 208 Grand Street, (Renewal, liquor, wine, beer, cider, rest)
- 2) 7 North 15<sup>th</sup> Street, dba Greenpoint Beer & Ale Co, 1150 Manhattan Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 3) Bulbap Grill, 646 Manhattan Avenue, Renewal, 646 Manhattan, (Renewal, wine, beer, cider)
- 4) Charlotte Patisserie Inc, 596 Manhattan Avenue, (Renewal, wine, beer & cider, rest)
- 5) Dar 168 Inc., dba Dar 525, 168 Driggs Avenue, (Renewal, wine, beer, cider, rest)
- 6) Graham Restaurant, dba Sage, 100-301 Graham Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 7) Matteo & Vida, Inc, dba Scalini GP, 659 Manhattan Avenue, (Renewal, liquor, wine, beer, cider, rest)

- 7) Norman Kingsland LLC, dba Norman Kingsland, 269 Norman Avenue, (Renewal, liquor, wine, beer, cider, rest/music venue/event space)
- 8) Terere Corp, dba Tabare Restaurant, 221 South 1<sup>st</sup> Street, (Renewal, liquor, wine, beer, cider, rest)
- 9) Urban Outfitters Inc. & East Hae Inc. (as co-licenses), dba East Hae, 98 North 6<sup>th</sup> Street, (Renewal, liquor, wine, beer, cider, rest)
- 10) Woodfire Collision LLC, dba Lilia Restaurant, 567 575 Union Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 11) Zamaan Bar & Restaurant Inc., 349 Broadway, (Renewal, liquor, wine, beer, cider, rest)

**Renewal licenses were posted at the Public Hearing of the Community Board and all members were encouraged to review the list and report any issues or concerns to the SLA Review Committee. The list was also provided to both the 90 and 94 Precincts of the NYPD. After review the Committee recommends Approval of all Renewal applications.**

**Procedural Item:**

Motion was made and approved that going forward applicants will be advised that all applications and supporting documentation must be received at least five (5) business days before the SLA Committee Meeting date to provide adequate time for receipt of documents in the office, forwarding to all Committee members and preliminary review of materials prior to the Committee meeting.

---

*The next meeting of the SLA Review & DCWP Committee is scheduled as follows:*

**WHEN:** *Tuesday, January 25, 2022*  
**TIME:** *6:30 PM (Meeting will end at 9:00 PM)*  
**WHERE:** *Via WebEx*



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DISTRICT MANAGER

HON. LINCOLN RESTLER  
COUNCILMEMBER, 33rd CD

HON. JENNIFER GUTIERREZ  
COUNCILMEMBER, 34th CD

January 11, 2022

## COMMITTEE REPORT Parks and Waterfront Committee

**TO:** Chairperson Fuller and CB1 Board Members

**FROM:** Philip Caponegro, Committee Chair  
Parks and Waterfront Committee

**RE:** Committee Report from December 08, 2021

---

The Committee met in the Evening of December 8, 2021 at, 6:30PM Via WEBEX.

### ATTENDANCE

Present: McKeever, Cianciotta, Chesler, Denny-Horowitz, Elkins, Miceli, Odomirok, Peterson,  
Non-Board members: Cappucci, Raymond

Absent: Board members: Capanegro, Carbone, Goldstein, Lebovits, Non-Board member: Berger

---

**PRESENTATION: Biba Concession (Biba of New York Inc, 110 Kent LLC, 101 Kent Associates) at 110 Kent Avenue, Mark Nagaweicki Sr, owner accompanied by CB1 Board member, Ryan Kounen:**

110 Kent Avenue, the sole privately owned building located within the perimeter of Marsha P Johnson State Park.

Mark Nagaweicki, who has lived at 110 Kent Ave since 1979 became full owner of the property in 2001.

Mr. Nagaweicki has always run his construction and real estate businesses out of 110 Kent and has hosted thousands of community meetings through the decades. North Brooklyn Neighbors (formerly NAG) is a longtime tenant. Mr. Nagaweicki was an instrumental participant in the

Herculean community effort to convert what was an illegal waste transfer station into East River State Park which opened in 2007.

Mr. Nagaweicki began construction on Biba, the ground floor restaurant in 2000.

From 2007 to 2012, Nagaweicki/Biba received individual permits to cater events in the East River State Park.

From 2013 to 2015, New York State Parks gave Nagaweicki/ Biba a licensing agreement to operate on a designated 2500 sf space on the slab adjacent to the rear of 110 Kent

From 2016 to 2019, New York State Parks gave Biba a concession agreement to operate in the designated space.

In 2020 New York State Parks denied renewal of any agreement with Biba.

Mark Nagaweicki is asking the Community Board to write a letter to NY State Parks and Recreation in support for a licensing agreement for Biba for the 2500 sf area of the slab of Marsha P Johnson State Parks, similar to the 2016 – 2019 agreement. (See attached plan)

### **DISCUSSION:**

-Biba will open as a restaurant offering take out regardless of backyard lease. If no lease for the backyard space is granted, food and trash will inevitably be brought to the park. An enclosed backyard space would contain the eating area and potential trash would be dealt with by Biba.

-In comparison to Smorgasborg which operates under a concession agreement, 110 Kent pays property taxes.

- The 2500 sf area is less than a quarter of the cement slab,

- the restaurant will offer a diverse use of the recreational slab

- Community Member Paul Wilson, founder of the Greenpoint Sparten Youth Football spoke in favor of Mark Nagaweicki's long legacy of commitment to Greenpoint and Williamsburg and asked Board to grant letter of support

### **RESOLUTION:** (proposed by Chesler, seconded by Elkins)

CB1 to write a letter to NYS Parks and Recreation with a cc to elected State officials recommending that a licensing agreement is granted to Biba to operate during park hours on the 2500 sf designated area of the slab in Marsha P Johnson State Park adjacent to the restaurant, in support of:

- 1) Owner Mark Nagaweicki's long history as an active community member
- 2) the Polish legacy in our community (Nagaweicki is a Polish immigrant)
- 3) diverse use of the recreational slab in MPJ Park
- 4) potential revenue to the park from the licensing agreement



IN FAVOR: McKeever, Chesler, Denny-Horowitz, Elkins, Miceli, Odomirok, Peterson, Cappucci, Raymond

ABSTENTION: 0

AGAINST: 0

**Marsha P John State Park Update by Leslie Wright, NYS Regional Director**

Acknowledging the successful opening of the park last summer, much of the park will be closed again mid-April to May for construction phase 2:

- new lawn
- commemorative garden
- landscaping and planting bio swales
- additional tree plantings
- regrading stormwater management

MPJ Arts committee will commission artwork for the entrance and a second site closer to the water. The committee consisting of Leslie Wright, Marsha Johnson family members, previously engaged members of Trans community, public advisors and a community member hopes to have an RFP later this spring with selection of artists July/August, installation summer 2023 and finished by MPJ's birthday August 2023.

At the November CB1 monthly board meeting, District Manager Esposito had requested that the Board assign representation to the MPJ Arts Committee. This request was brought to the attention of Leslie Wright. Board member Steve Chesler currently is on the MPJ Arts Committee as a community representative. Acknowledging that any appointment decision would be made by the CB1 Chair, it was suggested that Board member Katie Denny Horowitz who has extensive professional experience with various public art organizations would be a good candidate for the position. Leslie Wright said she would take the request for CB1 representation under advisement and come back to the board office.

Community member Kevin LaCherra asked about potential removing of the fencing between MPJ Park and BIP, citing the natural open border between the Long Island City East River Waterfront State Park (Gantry Park) and City Parks (Hunters Point Park).

**RESOLUTION:** (proposed by Chesler, seconded by Elkins)

CB1 write a letter to NYS Parks and Recreation and NYC Parks with regards to Marsha P Johnson State Park and Bushwick Inlet Park

-asking for removal of the fence between the parks so as to establish a continuous open border

-That State Parks adhere to the hours at BIP, that is that both parks are open from \_ to \_

Additionally, that State Parks open the gate to allow access to MPJ at North 7<sup>th</sup> during the hours of park operation

IN FAVOR: McKeever, Chesler, Goldstein, Denny-Horowitz, Elkins, Peterson (6 members still present)

ABSTAIN -0

AGAINST – 0

**OLD BUSINESS:**

Jan Peterson and community members asked for support from the Parks and Waterfront Committee to extend the hours of woman only swim at the Metropolitan Pool from 2 hours to 8-10 hours. Matter will be discussed at CBI Woman's Committee.

Request was tabled to next committee meeting

**NEW BUSINESS:**

Community Member Charline Mougine asked committee and NYC Parks to reexamine condition and use of fenced Asphalt field adjacent to tennis courts in McCarren Park due to flooding after major rain events and excessive heat in summer rendering space unusable

Committee member Katie Denny-Horowitz asked committee to:

- 1) reexamine CBI District Needs statement with regards to Parks
- 2) meet on a regular basis

Both requests were tabled to next committee meeting

# BIBA WILLIAMSBURG

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R E A R P A T I O A W N I N G

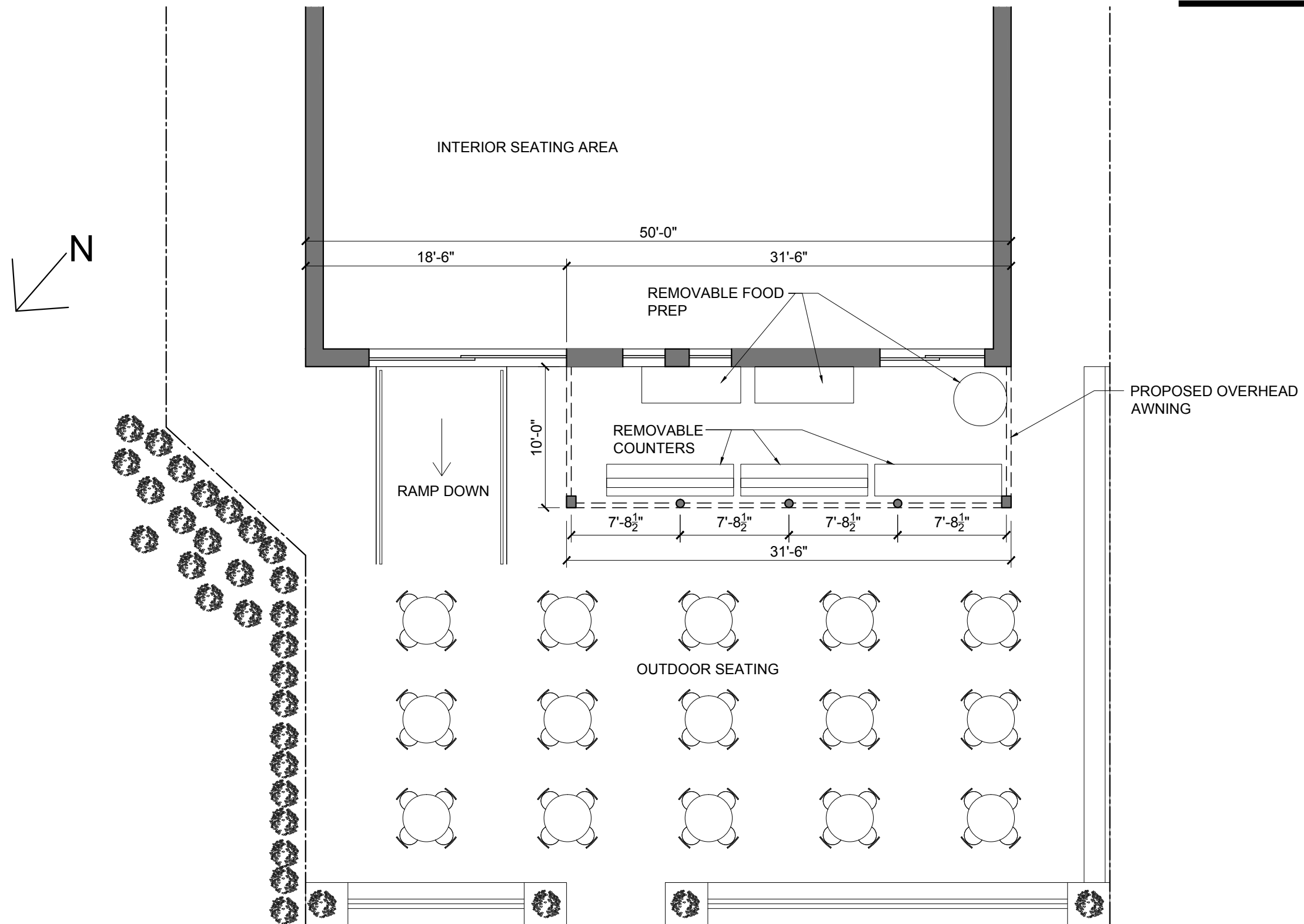
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WILLIAMSBURG / BROOKLYN / NY / JULY 16, 2014

PREPARED BY:

**AA** STUDIO

# REAR PATIO FLOOR PLAN

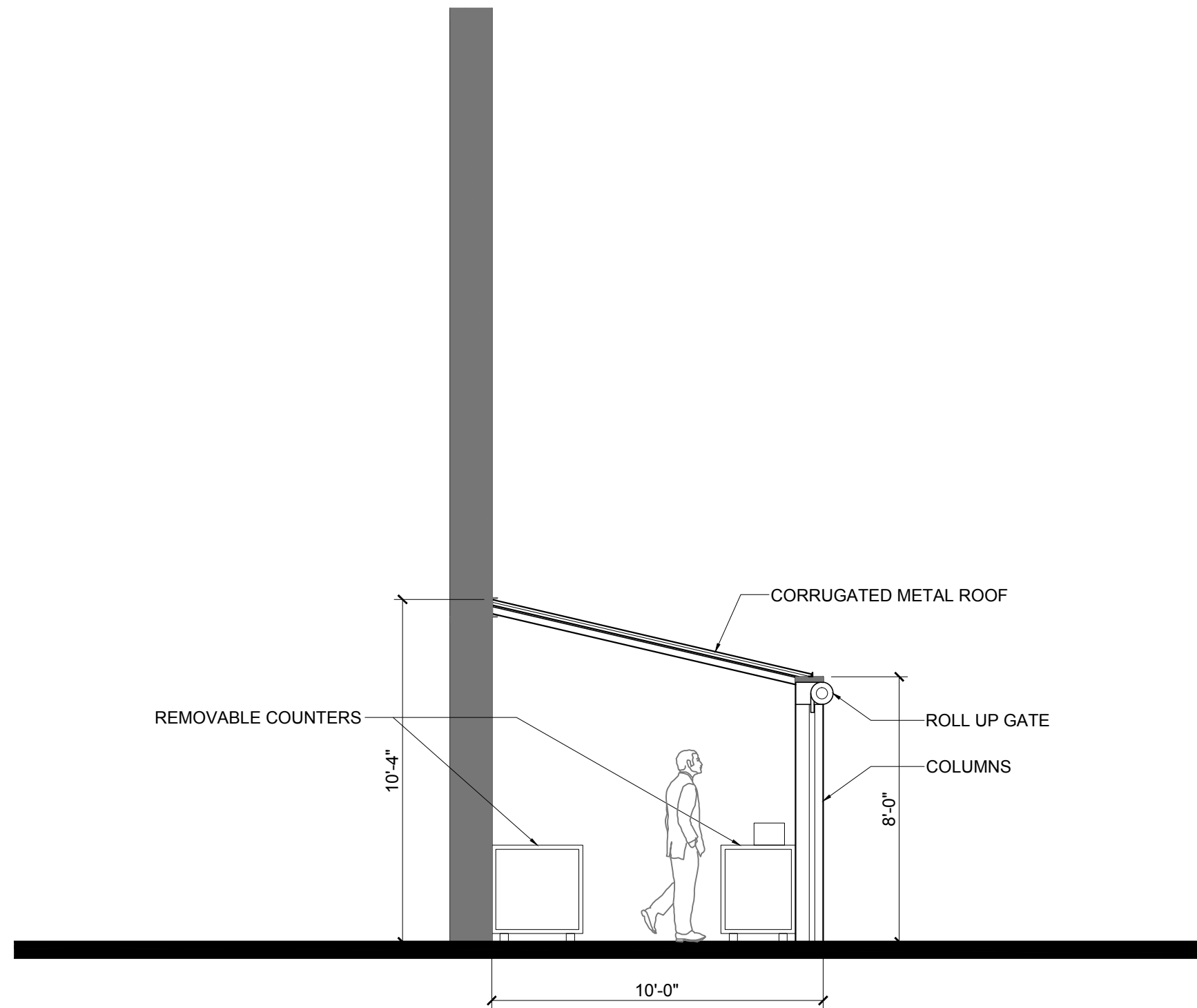


SCALE: 1'-0" = 1/8"

# REAR ELEVATIO WITH AWNING



# PROPOSED AWNING SECTION



SCALE: 1'-0" = 1/4"

# PROPOSED AWNING CONCEPTUAL RENDER



# PROPOSED AWNING CONCEPTUAL RENDER





# PROPOSED AWNING CONCEPTUAL RENDER

---





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COUNCILMEMBER, 34th CD

December 27, 2021

## COMMITTEE MINUTES EXECUTIVE COMMITTEE

TO: CB#1 Board Members  
FROM: Chairperson Dealice Fuller  
RE: Executive Committee Meeting held on December 15, 2021

---

The Executive Committee met on Wednesday, December 15, 2021, at 6:30 PM via WEBEX.

### ATTENDANCE:

Present: Fuller, Chairperson; Weiser; Barros; Viera; Iglesias; Caponegro.

Also present was a member from the community.

Absent: Teague

(A quorum was present)

---

Chairperson Ms. Fuller ascertained that a quorum was present and opened the meeting. She called all to review the listing of requests submitted to present (attached).

It was pointed out that a ULURP item has been referred to the CB#1 by DCP. The project is a **Rezoning of 840 Lorimer Street**. The project was certified on November 29, 2021. This is proposed as **Agenda Item #1**.

Mr. Caponegro made a motion to approve the agenda as proposed for the January 11, 2022 Combined Public Hearing and Board Meeting. The motion was seconded by Ms. Iglesias and was unanimously carried.

The Executive Committee agreed to write a letter to NYS Governor Hochul asking to extend the virtual Meetings. (see the attached)

DF/



# COMMUNITY BOARD No. 1

435 GRAHAM AVENUE - BROOKLYN, NY 11211- 8813

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HON. ERIC L. ADAMS  
BROOKLYN BOROUGH PRESIDENT



**SIMON WEISER**  
FIRST VICE-CHAIRMAN

**DEALICE FULLER**  
CHAIRPERSON

**HON. STEPHEN T. LEVIN**  
COUNCILMEMBER, 33rd CD

**DEL TEAGUE**  
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DISTRICT MANAGER

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FINANCIAL SECRETARY

**SONIA IGLESIAS**  
RECORDING SECRETARY

**PHILIP A. CAPONEGRO**  
MEMBER-AT-LARGE

December 1, 2021

## COMBINED PUBLIC HEARING AND BOARD MEETING NOTICE

**TO:** Community Board Members and Residents  
**FROM:** Dealice Fuller, Chairperson  
**RE:** Scheduled Combined Public Hearing and Board Meeting  
(25 Members Constitute a Quorum for the Board)

Please be advised that a Combined Public Hearing and Board Meeting of Brooklyn Community Board No. 1 will be held as follows:

**WHEN: TUESDAY --- DECEMBER 7, 2021**

**TIME: \*\*\* 6:00 PM \*\*\***

**WHERE: WEBEX**

(While we cannot meet in person, we will be meeting virtually.  
Below are options for you to connect)

### Event Address for Attendees

**Event number:** 2341 215 2162

<https://nyccb.webex.com/nyccb/onstage/g.php?MTID=e0d058bdab6130c1666f3379b94499a14>

**Event password:** gZepmGvS276

**Audio conference:** +1-646-992-2010 [New York City]

**Access code:** 2341 215 2162

**NOTE --- All persons who wish to speak during Public Session, please see form (submission deadline - 2:00 PM):**

<https://www1.nyc.gov/site/brooklyn1/meetings/speaker-request-form.page>

**NOTE --- Elected Officials who wish to speak, please send an email to: [Bk01@cb.nyc.gov](mailto:Bk01@cb.nyc.gov)**

## PUBLIC HEARING

### 1. ROLL CALL.

2. **PRESENTATION: (Calendar # C 210312 ZMK) [RELATED N 210313 ZRK] 103 Lee Avenue, Brooklyn, NY 11222. IN THE MATTER OF** an application submitted by Sbeny Holdings LLC pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section No. 12d:

(1) eliminating from within an existing R6 District a C1-3 District bounded by Williamsburg Street East, Lee Avenue, and the southwesterly prolongation of a line midway between Keap Street and Hooper Street;

(2) changing from an R6 District to an R7X District property bounded by Williamsburg Street East, Keap Street and its southwesterly centerline prolongation, a line 100 feet northeasterly of Lee Avenue, and a line midway between Keap Street and Hooper Street and its southwesterly prolongation; and

(3) establishing within the proposed R7X District a C2-4 District bounded by Williamsburg Street East, Keap Street and its southwesterly centerline prolongation, a line 100 feet northeasterly of Lee Avenue, and a line midway between Keap Street and Hooper Street and its southwesterly prolongation;

The proposed zoning map amendment seeks to rezone all of portions of seven (7) properties classified on the New York City (“the City”) tax maps as Block 2200, Lots 6 and 4 (p/o) and Block 2199, Lots 22, 33 (p/o), 39 (p/o), 43 (p/o) and 44 (p/o) (the “Project Area”) from R6 and R6/C1-3 to R7X/C2-4. Block 2200, Lot 6 and the portion of Lot 4, Block 2199, Lot 43 and Lot 44 in the proposed Project Area are currently zoned R6, while the Lots 33 (p/o) and 39 (p/o) on Block 2199 are zoned R6/C1-3. The proposed zoning text amendment seeks to amend Appendix F of the Zoning Resolution of the City of New York (“ZR”) to establish the Project Area as a Mandatory Inclusionary Housing Area (“MIH”). – Presentation by Applicant: Mr. Eric Palatnik, Eric Palatnik, P.C.

3. **PRESENTATION: NYC DEPARTMENT OF SANITATION (DSNY) - Return to Composting and Information on Leaf Collection** - by Richard Day, Community Outreach Coordinator, Composting Programs and Partnerships, Bureau of Recycling & Sustainability, DSNY.

### 4. LIQUOR LICENSES:

#### NEW

- 1) 76 Ainslie OPCO LLC, dba Ainslie, 76 Ainslie Street, (expansion onto Municipal Property)
- 2) 544 Pizza Corp., dba TBD, 544 Manhattan, (New, liquor, wine, beer, cider, pizzeria, rest)
- 3) 620 Lorimer Street, dba TBD, 620 Lorimer Street, (New, liquor, wine, beer, cider, pizzeria)
- 4) AKO Bedford Inc., dba Enso Sushi, 117 Berry Street, (New, liquor, wine, beer, cider, rest)
- 5) Bushwick Beer Garden LLC, dba Rebel Café & Garden LLC, 2 Knickerbocker Avenue, (Corporate Change, liquor, wine, beer, cider, rest)
- 6) Café Group Inc, dba Mr. Bao, 208 Bedford Avenue, (New, wine, beer & cider, rest)
- 7) Cheeseboat LLC, 80 Berry Street, (Corporate Change, 80 Berry Street, (Corporate Change, liquor, wine, wine, beer, cider, rest)
- 8) Eris Evolution LLC, 167 Graham Avenue, (Corporate change, liquor, wine, beer, cider, bar, tavern)

- 9) James Gaskill or entity to be formed, TBD, 17 Meadow Street, (New, liquor, wine, beer, cider, event space)
- 10) Maison Provence Corp., 52 Havemeyer Street, (New, wine, beer, cider, rest)
- 11) MQBK 1 LLC, dba Mighty Quinn's BBQ, 62 South end Street, (New, liquor, wine, beer, cider, rest)
- 12) Norman Kingsland, 269 Norman Avenue, (New, Removal, liquor, wine, beer, cider, rest)
- 13) Rhymin & Thievin LLC, dba TBD, 595 Union Avenue, (New, liquor, wine, beer, cider, bar)
- 14) Sham 168 Inc. dba Dar 525, 168 Driggs Avenue, (New, wine, beer, cider, wine, beer, cider, rest)
- 15) S. Hager, on behalf of an entity TBD, 200 Kent Avenue, 3<sup>rd</sup> Floor, (New, liquor, wine, beer, cider, rest)
- 16) Taku New York Inc, 29 Greenpoint Avenue, (New, liquor, wine, beer, cider, rest)
- 17) Taqueria El Torito, Corp, 32 Varet Street, Store R, (New, liquor, wine, beer, cider)
- 18) Williamsburg Molino LLC, dba For all Things Good Williamsburg, 314 Grand Street, (New, wine, beer, cider, rest)
- 19) Xi An Town USA Inc., 165 Bedford Avenue, (New, Wine, beer, cider, rest)

**RENEWAL**

- 1) #1 pho Inc., dba Zenyai, 208 Grand Street, (Renewal, liquor, wine, beer, cider, rest)
- 2) 7 North 15<sup>th</sup> Street, dba Greenpoint Beer & Ale Co, 1150 Manhattan Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 3) Bulbap Grill, 646 Manhattan Avenue, Renewal, 646 Manhattan, (Renewal, wine, beer, cider)
- 4) Charlotte Patisserie Inc, 596 Manhattan Avenue, (Renewal, wine, beer & cider, rest)
- 5) Dar 168 Inc., dba Dar 525, 168 Driggs Avenue, (Renewal, wine, beer, cider, rest)
- 6) Graham Restaurant, dba Sage, 100-301 Graham Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 7) Matteo & Vida, Inc, dba Scalini GP, 659 Manhattan Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 8) Norman Kingsland LLC, dba Norman Kingsland, 269 Norman Avenue, (Renewal, liquor, wine, beer, cider, rest/music venue/event space)
- 9) Terere Corp, dba Tabare Restaurant, 221 South 1<sup>st</sup> Street, (Renewal, liquor, wine, beer, cider, rest)
- 10) Urban Outfitters Inc. & East Hae Inc. (as co-licenses), dba East Hae, 98 North 6<sup>th</sup> Street, (Renewal, liquor, wine, beer, cider, rest)
- 11) Woodfire Collision LLC, dba Lilia Restaurant, 567 575 Union Avenue, (Renewal, liquor, wine, beer, cider, rest)
- 12) Zamaan Bar & Restaurant Inc., 349 Broadway, (Renewal, liquor, wine, beer, cider, rest)

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**BOARD MEETING**

1. **MOMENT OF SILENCE**
2. **ROLL CALL**
3. **APPROVAL OF THE AGENDA**
4. **APPROVAL OF THE MINUTES** – Combined Public Hearing & Board Meeting of November 9, 2021.
5. **PUBLIC SESSION**

(Reserved for the Public's expression. Board Members will not be allowed to speak.)

**NOTE** --- All persons who wish to speak during this portion of the meeting **must:**

**Register (by 2P.M.) using the link:**

**<https://www1.nyc.gov/site/brooklyn/b1/meetings/speaker-request-form.page>**

Each scheduled participant for this session will have an allowance of two (2) minutes [time permitting.] (No questions will be entertained. Speakers are requested to submit their testimony in writing)

6. **COMMITTEE REPORTS**

7. **PARKS DEPARTMENT MINUTE** – As written.

8. **ANNOUNCEMENTS: ELECTED OFFICIALS** – Called in the order of signup.

9. **ADJOURNMENT**

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Note: For further information on accessibility or to make a request for accommodations, such as sign language interpretation services, please contact Brooklyn Community Board No. 1, Tel. (718) 389-0009; at least (5) business days in advance to ensure availability.



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COUNCILMEMBER, 33rd CD

**HON. ANTONIO REYNOSO**  
COUNCILMEMBER, 34th CD

December 16, 2021

The Honorable Kathy Hochul  
Governor of New York State  
NYS Capitol Building  
Albany, NY 1224

Dear Governor Hochul,

On September 2, 2021, Executive Order S.50001/A.40001 was issued by you suspending Article 7 of the Public Officers Law. The suspension allowed to “the extent necessary to permit any public body to meet and take such actions authorized by the law without permitting in public in-person access to meetings and authorizing such meetings to be held remotely by conference call or similar service, provided that the public has the ability to view or listen to such processing and that such meetings are recorded and later transcribed.

In the spirit of the order and in the interest of public safety, Brooklyn Community Board #1 modified its operations to support virtual meetings. It has been noted that community boards have reported increased participation from the public even in the midst of the pandemic. Since shifting to remote, board members were able to safely perform their duties and continue the business of our respective districts while keeping meetings open and accessible to the public.



But the sunseting of the executive order will create significant logistical challenges for community boards. Due to the upward trend in the Omicron variant-related cases.

Brooklyn Community Board #1 request your assistance in extending your Executive Order and remain with the safety of virtual meetings. Brooklyn Community Board #1 provided seamless service to our constituents throughout the pandemic. We intend to continue doing the work to ensure our constituents are able to participate in the matters that affect their lives---but we must do it safely. We look forward to your response and thank you in advance for your consideration and assistance.

Sincerely,

A handwritten signature in black ink that reads "Dealice Fuller". The signature is written in a cursive, flowing style.

Dealice Fuller  
Chairperson

cc: Hon. Andrea Stewart, Cousins, President Pro Temp Majority Leader NYS Senate  
Hon. Carl E. Heastie, Speaker of the NYS Assembly  
Hon. Brian Kavanagh, Senator  
Hon. Julia Salazar, Senator  
Hon. Maritza Davila, Assemblywoman  
Hon. Emily Gallagher, Assemblywoman  
Hon. Carolyn B. Maloney, Congresswoman  
Hon. Nydia Velazquez, Congresswoman



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COUNCILMEMBER, 33rd CD

HON. JENNIFER GUTIERREZ  
COUNCILMEMBER, 34th CD

January 11, 2022

## COMMITTEE REPORT Ad Hoc Committee on Outreach Committee

**TO:** Chairperson Fuller and CB1 Board Members

**FROM:** Sante Miceli, Committee Chair  
Ad Hoc Committee on Outreach Committee

**RE:** Committee Report from December 13, 2021

---

The Committee met in the Evening of December 13, 2021 at, 6:00 PM Via WEBEX.

### Ad Hoc Committee on Outreach

**Members:** Miceli, Committee Chair; Brooks; Chesler; Foster; Moskovits; Peterson; Sabel; Iberti (non -Board member)  
Need for Quorum: 5

### ATTENDANCE

Present: Miceli, Chesler, Foster, Moskovits, Non-Board member: Iberti  
Absent: Brooks, Peterson, Sabel  
Quorum is achieved.

### and Economic Development Committee

**Members:** Moskovits; Committee Chair; Bamonte; Dybanowski; Nieves; Non-Board member: Cappucci; Lee; DiPiazza; Goldfarb; Raymond  
Need for Quorum

**Present:** Moskovits, Cappucci

Absent: Bamonte; Dybanowski; Nieves; Lee; DiPiazza; Goldfarb; Raymond  
Quorum is not achieved.

**Board members:** Del Teague (Land Use Committee Chair)

**Guests:** Ben Solotaire (for Councilmember Steve Levin), Lincoln Restler (Incoming Councilmember), Elaine Brodsky and Paul Samulski. (North Brooklyn Chamber of Commerce)

**Public:** Francoise Oliva, Maureen Boler, Bill Schuck

---

## **REPORT-NOTES**

Ad Hoc Outreach Committee Chair Miceli calls the meeting to order at 6:04 PM and reviews the co-committee's meeting agenda. Stresses that this is meant to be a series of meetings related to community issues focusing on promoting retail diversity and recovery.

Economic Development Committee Chair Moskovits also welcomes everyone and echoes Chair Micel's focus for this meeting.

### **Issues presented and discussed:**

#### **Liquor Licenses:**

Discussion around number of liquor licenses triggering an awareness of lack of retail diversity; changing the types of business in neighborhoods and transforming the community fabric.

Examples cited. Of note the recent block of Greenpoint Avenue (West and Transmitter Park)

This is not anti-liquor license, rather a need for retail diversity.

Landlords understand that there is a monetary incentive to renting to bars; they can raise rents and are guaranteed income.

SLA committee of CB1 working very hard to make the right decisions. How to coordinate with the SLA to prevent applicants from bypassing the committee?

### **NY City Council 2017 Report:**

References were raised to this report.

Where are we? –

Need to evaluate this report in real time as well as for addressing needs and encouraging discussion. This joint committee forum is creating a platform. Both Chairs of host committees are committed to this.

### **North Brooklyn Chamber feedback:**

Agree that we do not want to see all the vacant storefronts become bars.

Small business initiatives and data collection is in progress.

Evidence of a continued influx of cardboard boxes suggests that it is easier to order on-line than shop in person.

Hopeful for a rebirth for little shops and specialty boutiques that foster the Brooklyn Brand. Most of the brick and mortar shops are supplementing from their on-line businesses.

It is going to take time.

### **Why so many Food and Beverage Establishments appearing?:**

Determine the best way to dialogue with BABAR (Brooklyn Allied Bars & Restaurants).

**What do Residents need and want?:**

Survey the residents as to the needs of their neighborhoods. In an attempt to re- invigorate neighborhoods. Will not be the same for each neighborhood.

Reminder that City Planning did come to do a study, what were the findings?

CB can only make recommendations- to the State.

Marie: City planning- American Community survey - Can we reach out to Evergreen?

**Councilmembers Remarks:**

Lincoln Restler: Incoming

Diversity is needed.

Focus on the arts to help with recruitment.

Encourage and incentivize landlords to bring in diverse tenants.

Engage NYCHA to hire locally

Discussion to be continued once in office.

Ben Solotaire:

Free Market Environment

Comprehensive planning: BID and Chambers help to promote.

Encourage businesses to work with community.

Incentivize with tax breaks for landlords.

Encourage local hiring.

Make growth happen naturally.

Federal, State and Local overlap for this problem. Balance to make this work.

Focus on Fashion and Art to regulate the businesses.

Walk the blocks and record businesses (pivot table)

Reach out to block and tenant associations for feedback.

**What can CB1 do?**

Research needed.

Board survey the neighborhoods? To remedy the lack of essentials for communities.

Fresh Program to bring nutritious foods to residents.

Re-examine the role of our remaining manufacturing spaces.

**Future Discussions:**

TBA

Co-Chairs thank everyone for attending.

**Meeting ends:** 8:03 PM

**12-13-2021**

**MEETING AGENDA:**

**1. RETAIL DIVERSITY AND URBAN RESILIENCE: BUILDING A FRAMEWORK FOR RETAIL POLICY**

- NYC Neighborhoods like Greenpoint and Williamsburg function as retail venues and have provided a fundamental contribution to the building of the Brooklyn brand.
- What is the master plan for Williamsburg and Greenpoint ?
- How to create diverse urban landscapes that preserve neighborhood character.
- The impact of permanent Open Restaurant-Roadside Structures-Sidewalk cafes on local retail.

*Understanding the interactions between diverse retail activities and urban economic resilience with a primary focus on NYC neighborhoods. The social, economic, and environmental impacts of a prevailing entertainment industry (Bar, Restaurants, etc.) on existing diverse retail and urban systems and their sustainability have not been extensively or objectively discussed in the urban planning literature. However, the survival of retail diversity as a major land use, in a competitive, dynamic urban environment, has been discussed less.*

*In particular, the adjustment of traditional small business retailers facing an influx of new Entertainment business eating and drinking venues is a timely issue. Recent data offers a wide range of examples, from their disappearance to their role in the successful revitalization, vitality and viability of city neighborhoods, and their increased economic resilience. At the same time, the number of Bars and Restaurants and Liquor License Applications has been increasing exponentially in NYC, and in particular in Williamsburg and Greenpoint, showing that these neighborhoods shopping corridors also need strategies for adaptation and change.*

*We need to explore the issues and have policies that can restore altered urban dynamics in favor of traditional retailers and contributed to their resilience, identifies the role of the public sector in supporting city neighborhoods revitalization, and develop a framework for the effective integration of diverse retail planning into urban policy to enhance urban economic resilience.*

## **2. DURING-POST COVID SMALL BUSINESS RETAIL IN THE COMMUNITY- WHERE IT IS GOING**

The future of cities is rapidly taking shape with vast disruptions and innovations prior to COVID-19 now accelerated mightily due to the pandemic. Where we live, what work looks like, and how we shop have all changed, a people-centered focus at the forefront is needed. A diversified Retail network – both online and brick-and-mortar – forms the foundation for local economies, our workforce and community main streets. COVID-19 has dramatically accelerated disruptions and innovations across the retail industry.

City leaders are now presented with a unique opportunity and obligation to help shape the retail landscape in ways that realize their community’s vision for the future.

### **3. OLD BUSINESS**

### **4. NEW BUSINESS**



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HON. JENNIFER GUTIERREZ  
COUNCILMEMBER, 34th CD

January 11, 2022

**COMMITTEE REPORT**  
**Land Use, ULURP, Landmarks (subcommittee)**  
**Committee**

**TO:** Chairperson Fuller and CB1 Board Members

**FROM:** Del Teague, Committee Chair

**RE:** Land Use Committee Report from January 3, 2022

---

The Committee met in the Evening of January 3, 2022 at, 6:30 PM Via WEBEX.

**ATTENDANCE**

Present: Teague, Chair; Viera, ; McKeever; Chesler; Drinkwater; Kaminski; Lebovits; Miceli; Rabbi Niederman; Sofer; Weidberg; Vega; Weiser; Andrews\*; Berger\*; Kantin\*; Kawochka\*; Naplatarski\*; Stone\* ( *\*non-board member*)

Absent: Indig; Nieves; Solano

---

**AGENDA** – A quorum was present.

**PRESENTATION: (Calendar # C 210312 ZMK) [RELATED N 210313 ZRK] 103 Lee Avenue, Brooklyn, NY 11222 -IN THE MATTER OF** an application submitted by Sbeny Holdings LLC pursuant to Sections 197-c and 201 of the New York City Charter for an amendment of the Zoning Map, Section No. 12d: (1) eliminating from within an existing R6 District a C1-3 District bounded by Williamsburg Street East, Lee Avenue, and the southwesterly prolongation of a line midway between Keap Street and Hooper Street; (2) changing from an R6 District to an R7X District property bounded by Williamsburg Street East, Keap Street and its southwesterly centerline prolongation, a line 100 feet northeasterly of Lee Avenue, and a line midway between Keap Street and Hooper Street and its southwesterly prolongation; and (3) establishing within the proposed R7X District a C2-4 District bounded by

Williamsburg Street East, Keap Street and its southwesterly centerline prolongation, a line 100 feet northeasterly of Lee Avenue, and a line midway between Keap Street and Hooper Street and its southwesterly prolongation; The proposed zoning map amendment seeks to rezone all of portions of seven (7) properties classified on the New York City (“the City”) tax maps as Block 2200, Lots 6 and 4 (p/o) and Block 2199, Lots 22, 33 (p/o), 39 (p/o), 43 (p/o) and 44 (p/o) (the “Project Area”) from R6 and R6/C1-3 to R7X/C2-4. Block 2200, Lot 6 and the portion of Lot 4, Block 2199, Lot 43 and Lot 44 in the proposed Project Area are currently zoned R6, while the Lots 33 (p/o) and 39 (p/o) on Block 2199 are zoned R6/C1-3. The proposed zoning text amendment seeks to amend Appendix F of the Zoning Resolution of the City of New York (“ZR”) to establish the Project Area as a Mandatory Inclusionary Housing Area (“MIH”). –

Applicant: Mr. Eric Palatnik, Eric Palatnik, P.C. Presentation by Richard Lobel

This is an application to change the zoning of this site and the site across the street at 100 Lee Avenue from R6 to R7X/C2-4, and to establish an MIH area to secure affordable housing for the life of the project. The presenter stated that the applicant has no knowledge that the owner of the 100 Lee Avenue site has plans to develop, but that the application includes that site to avoid future unnecessary and costly applications for contextual and affordable development.

The proposed development would result in an 8-story mixed use building with 52 residential units on floors 2-7. Under option 1 there would be 16 affordable units; under option 1 there would be 13 affordable units. Under both options there would be 15 parking spaces. The proposed unit break-down is: 20 one bedrooms, 31 two bedrooms, 1 three bedrooms, and no studio apartments. The applicant stated he intends the building to cater to young families just starting out.

The current zoning allows non-contextual development with no height limit and no commercial usage. The requested zoning would require contextual development with a cap on height and would allow commercial overlay. The presenter stated that since most of the surrounding sites allow commercial overlay, this zoning change would allow continuity of commercial use.

### **Discussion**

Several committee members opposed the application because the applicant had not made a commitment about what the market-rate rents would be; had not agreed to a cap of 8 stories; had not

reached out to the community and local non-profits; and had not agreed that he would not change the proposed unit composition to ultimately have studio apartments.

It was pointed out that in the past we have not required applicants to specify what the expected market-rate rents would be. Several members also pointed out that the current zoning would not require affordability.

Mr. Weiser proposed a motion to vote no because of the above concerns. Before the motion was seconded, we were told that the applicant and several members of the community were in attendance and had asked to speak to the committee. As it is the committee’s policy to encourage community participation, they were allowed to speak. Two individuals, who stated they owned

businesses in the vicinity of the sites, spoke in favor of the application, which they stated would provide needed affordable units.

The owner informed us that he was willing to agree to a restrictive covenant limiting the height of the building to 8 stories. He also stated he was willing to agree to a condition that the number of units would not increase over what is proposed. He stated he has no intention of having any studio apartments in the mix. He also agreed to be available to the community and to the local non-profits.

### **Recommendation**

The committee voted to recommend a vote of Yes with the following conditions:

- 1- There will be a restrictive covenant limiting the height of the building to 8 stories.
- 2- The re-zoning will be limited to 103 Lee Avenue and will not include 100 Lee Avenue.
- 3- The applicant will reach out to the local community and non-profit organizations to consult with them regarding his plans going forward.
- 4- The number of units will not be increased over what is in the presentation.

16 - yes

0- no

2- abstain





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COUNCILMEMBER, 33rd CD

HON. JENNIFER GUTIERREZ  
COUNCILMEMBER, 34th CD

January 11, 2022

## COMMITTEE REPORT

**TO:** Chairperson Dealice Fuller and CB1 Board Members

**FROM:** Trina McKeever, Landmarks Subcommittee Chair

**RE:** Landmarks Committee (Land Use/ULURP Subcommittee) Report from January 3, 2022

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The Committee met in the Evening of January 3, 2022 at, 6:30 PM Via WEBEX.

### Attendance at the time of the presentation:

Present: Teague, Viera, McKeever, Chesler, Drinkwater, Kaminski, Miceli, Weidberg, Vega, Andrews\*, Kanton\*, Naplatarksi\* (*\*non Board members*)

Absent: Indig, Lebovits, Rabbi Niederman, Nieves, Sofer, Solano, Weiser, Berger\*, Kawochka\*, Stone\* (*\*non Board members*)

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### 1097 Lorimer Street (Block 2569, Lot 46) presented by Nicholas Brown, architect for the owners

1097 Lorimer Street one of a row of six very well preserved two story neoGrec row houses located in the Greenpoint Historic District between Noble and Calyer Streets, built in 1884. The house is undergoing interior and exterior renovation, the architect is working closely with LPC. The only issue CB1 is asked to consider is the enlargement of a parlor level rear window, roughly doubling the width, replacing a double hung standard window with a three pane glider window albeit made of wood with a bluestone head and sill to match the original window. The reason the proposed window is coming before the board is that the rear of this house, unlike the

others in the row of six houses, is clearly visible from Guernsey Street, the new nonconforming enlarged window as well as the rear of the entire house is clearly viewable.

**RESOLUTION (proposed by McKeever, seconded by Kanton)**

Acknowledging that CB1s is only being asked only to comment on the rear parlor floor window replacement and given CB1's commitment to maintaining the fabric of the Greenpoint Landmark District, and noting the unique visibility from the neighboring street of the rear of the house, the committee recommends disapproving the proposed slider window suggests that the original window style is maintained.

YES: (11) Teague, Viera, McKeever, Chesler, Drinkwater, Miceli, Weidberg, Vega, Andrews\*, Kanton\*, Naplatarksi\* (\*nonBoard members)

NO: (1) Kaminski



## Community Board 1 Monthly Parks Update – January 2022

### **Bushwick Inlet Park Funding**

On December 27<sup>th</sup> Mayor de Blasio announced a \$75 million dollar investment for the development of the CitiStorage parcel of Bushwick Inlet Park. The \$75 million in new funds, combined with \$17 million previously allocated and \$1 million in discretionary funding from the City Council, brings the total invested in park development to more than \$90 million. These funds will go toward the demolition of the former CitiStorage warehouse, and design and construction of the next phases of the multi-phase build-out of the park.

Progress on BIP has advanced in the last several years. Environmental investigations are continuing within the confines of the Bayside site, and new investigations beginning soon on the CitiStorage fire damaged site. Earlier accomplishments include:

- In 2017, the acquisition of the CitiStorage site.
- In November 2019, demolition of the Bayside site.
- In April 2021 construction started on the parkland at the 50 Kent site with completion anticipated for early 2022.
- Design of the parkland at the Motiva parcel is expected to wrap up in early 2022 with construction start anticipated for late 2022.

### **NYC Parks Jobs Fair**

Please note that this jobs fair has moved online due to the increase in Covid cases.

Please join civic leaders online on January 18<sup>th</sup> and 22<sup>nd</sup> to learn about career opportunities at Parks as well as other city agencies, including FDNY, the MTA, and more. The flyer for this event is attached. Please RSVP to receive a link to the event.

### **Partnerships for Parks Volunteer Projects**

Claudette Ramos is your temporary PFP Outreach Coordinator for all It's My Park! projects in Community Board 1. Please contact [Claudette.Ramos@parks.nyc.gov](mailto:Claudette.Ramos@parks.nyc.gov) if you have any questions or would like to schedule a project. We ask that everyone who plans a clean up in a NYC Park to please coordinate with our PFP team.

**CB1 currently has the following projects under construction:**

- Bartlett Playground – construction began fall 2020 and will be complete spring 2022.
- Bushwick Inlet Park: 50 Kent – construction began spring 2021 and will be complete spring 2022.
- LaGuardia Playground – phase 2 playground construction began spring 2021 and will be complete spring 2022.

**We have several projects awaiting construction start:**

- Box Street Park – in design. Demolition of structures on site anticipated to begin after the relocation of the MTA Paratransit vehicles, anticipated spring/summer 2022.
- Bushwick Inlet Park: Motiva – construction estimated to begin fall 2022 and be complete fall 2023.
- Cooper Park Comfort station – construction estimated to begin spring 2022 and be completed fall 2023.
- Epiphany Playground – construction estimated to start fall 2022 and be complete fall 2023.
- Ericsson Playground – in design.
- Frost Playground – construction anticipated to begin spring 2023 and be complete spring 2024.
- Marcy Green – construction anticipated to begin spring 2022 and be complete spring 2023.
- McCarren Park natural turf softball fields – construction anticipated to begin spring 2022 and completed spring 2023.
- McCarren Recreation Center – reconstruction of roof and exterior masonry walls anticipated to begin fall 2022 and be completed spring 2024.
- McGolrick Park Paths – construction estimated to begin fall 2022 and be completed fall 2023.
- Sarah J.S. Tompkins Garnet Playground – construction estimated to begin fall 2022 and be complete fall 2023.
- Ten Eyck Plaza – construction anticipated to begin spring 2022 and be complete spring 2023.
- William Sheridan Playground – construction likely to begin spring 2022 and be complete spring 2023.

**There are no projects awaiting design start.**

**There are no projects awaiting a scope meeting.**



# COMMUNITY BOARD No. 1

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HON. ANTONIO REYNOSO  
BROOKLYN BOROUGH PRESIDENT



**SIMON WEISER**  
FIRST VICE-CHAIRMAN

**DEL TEAGUE**  
SECOND VICE-CHAIRPERSON

**GINA BARRÓS**  
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**GERALD A. ESPOSITO**  
DISTRICT MANAGER

**HON. LINCOLN RESTLER**  
COUNCILMEMBER, 33rd CD

**HON. JENNIFER GUTIERREZ**  
COUNCILMEMBER, 34th CD

January 12, 2022

Commissioner Erik Kulleseid  
NYS Parks  
625 Broadway  
Albany, New York 12207

**RE: Marsha P. Johnson State Park**

Dear Commissioner Kulleseid,

At the last meeting of Community Board #1 Brooklyn, our members voted unanimously to the following recommendations regarding the above referenced State Park.

- A. That the fence between the State Park and Bushwick Inlet Park be removed to allow for a continuous open border
- B. That the State Parks adjust their hours of operation to 7 AM- 10 PM
- C. That the North 7<sup>th</sup> street gate remain open during the regular operating hours

Kindly Advise us on these matters.

Working for a Better Williamsburg-Greenpoint.

Sincerely,

Dealice Fuller  
Chairperson

DF/

cc: Senator Brian Kavanagh  
Assembly Member Emily Gallagher



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January 12, 2022

Commissioner Sarah Carroll, Chair  
NYC Landmarks Preservation Commission  
1 Centre Street- 9<sup>th</sup> Floor North  
New York, NY 10007

**RE: 1097 Lorimer Street**  
**(Block 2569, Lot 46)**

Dear Chair Carroll

This letter is in response to a presentation that was made by Nicholas Brown, architect, representing 1097 Lorimer Street (Block 2569, Lot 46).

A presentation was made before the Board's Land Use, ULURP, Landmarks (subcommittee) Committee on January 3, 2022. (See attached Landmarks Subcommittee report)

Kindly be advised that on January 11, 2022 the members of Community Board No. 1 voted to disapprove the proposed slider window and suggests that the original window style is maintained for 1097 Lorimer Street (Block 2569, Lot 46)

The vote was as follows: 27 "Yes"; 0 "No"; 0 "Abstentions"

Working for a Better Williamsburg-Greenpoint.

Sincerely,

Dealice Fuller  
Chairperson

DF/