



**DOB WEBINAR SERIES –
SESSION 7: LOCAL LAW 88 LIGHTING AND
SUBMETERING (ARTICLE 310 AND 311)**

March 20th, 2025

presented by
DOB Sustainability Bureau

NYC
Buildings

Presenters

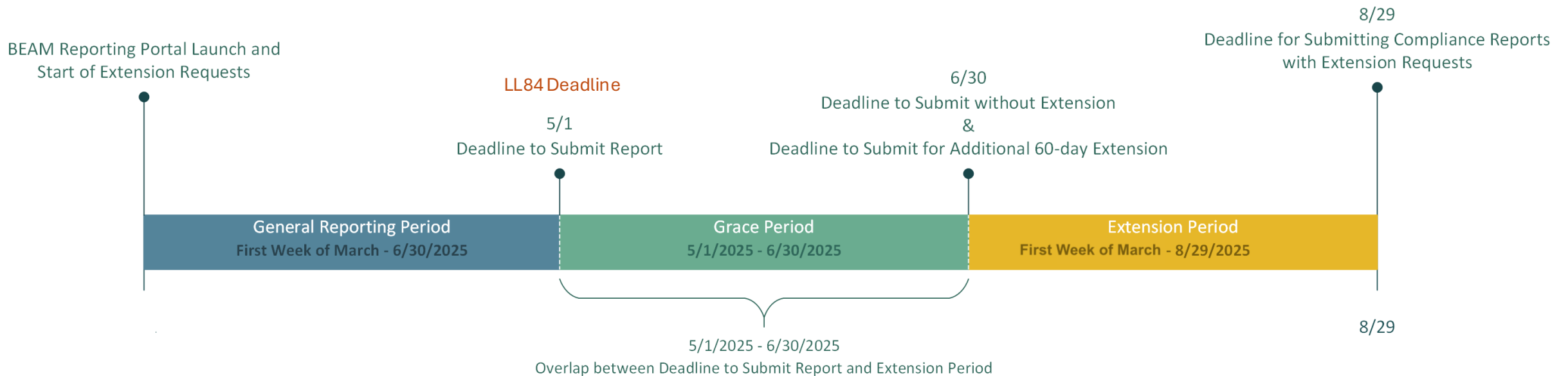
- Emily Hoffman, Director, Office of Building Energy and Emissions Performance (OBEEP), Bureau of Sustainability
- Mauton Whenu, Senior Building Energy and Emissions Auditor, OBEEP, Bureau of Sustainability
- Emily Poorvin, Senior Building Energy and Emissions Auditor, OBEEP, Bureau of Sustainability

Timeline

LL97 TIMELINE

For Filing Extensions and Submitting Compliance Reports

Grace periods & extensions apply to LL88



Local Law 97 (LL97) Compliance:

- Due May 1st
- Grace period until 6/30
- Request for extension until 8/29 must be filed by 6/30
- Article 321 Mediated Resolution – may result in parallel delayed enforcement for Article 310 (lighting upgrades)

Local Law 88 (LL88) Compliance:

- Where an owner is subject to **both LL97 and LL88:**
 - Due May 1st
 - Fees are combined and LL88 submission
 - Grace period until 6/30
 - Has extension opportunity (8/29)
- Where an owner is subject to **LL88 this year but not LL97 this year:**
 - Due May 1st
 - Grace period until 6/30
 - No extension opportunity

Local Law 84 (LL84) Compliance:

- Due May 1st
- No extension opportunity

- [Local law 88 of 2009](#) (LL88), as amended, requires certain building owners to upgrade lighting systems and install electrical sub-meters in tenant spaces.
- **Lighting systems** in covered buildings shall be in compliance with the [NYCECC](#).
 - Buildings that upgraded lighting systems after July 1, 2010, and complied with the lighting requirements of the NYCECC that was in effect at the time of installation are in compliance.
 - Applies to Residential & Commercial Buildings
- No lighting system upgrade is required for the lighting system **within dwelling units** classified in occupancy group R-2 or R-3.
- No lighting system upgrade is required for the lighting system within a **space classified in occupancy group A-3 that is within a house of worship**.

What is Local Law 88?

- Buildings over 25,000 gross square feet.
- Two or more buildings on the same tax lot that together exceed 100,000 gross square feet.
- Two or more condominium buildings governed by the same board of managers, collectively exceeding 100,000 gross square feet.
- Covered buildings exclude *garden-style apartments* – *if garden style apts are on LL88 CBL, file CBL Dispute Ticket within BEAM*
- Local Law 88 (LL88) Covered Building List (CBL)
 - [LL88 Covered Building List](#) (pdf)
 - [LL88 Covered Building List](#) (excel)

- The electrical consumption of each covered tenant space shall be measured by one or more sub-meters.
 - Tenants or subtenants within a covered tenant space with sub-meter(s) to measure electrical consumption must receive monthly statements as outlined in Article 311.
- Covered tenant spaces:
 - larger than 5,000 gross square feet on one or more floors rented to the same person or
 - a floor larger than 5,000 gross square feet consisting of tenant spaces rented to different people.

Article 311 – Sub-meter Installation Exceptions

- No sub-meter installation is required for dwelling units classified in occupancy group R-2 or R-3.
- No sub-meter installation is required for a covered tenant space where the electrical consumption for that space is measured by a meter dedicated exclusively to that space.

LL88 – Filing Requirements



- Owners will be required to pay a \$115 filing fee (see [1 RCNY §101-03](#)) to submit LL88 reports by May 1, 2025. The \$115 filing fee includes both lighting and submetering compliance reports.
- For buildings that are filing LL97 reports in 2025, there is no additional filing fee for LL88 reports.
- BEAM platform is the reporting portal for LL88 & LL97.

Article 310 – Required Upgrade of Lighting Systems

Article 311 – Installation of Electrical Sub-Meters in Tenant Spaces

- **Attestation of compliance**

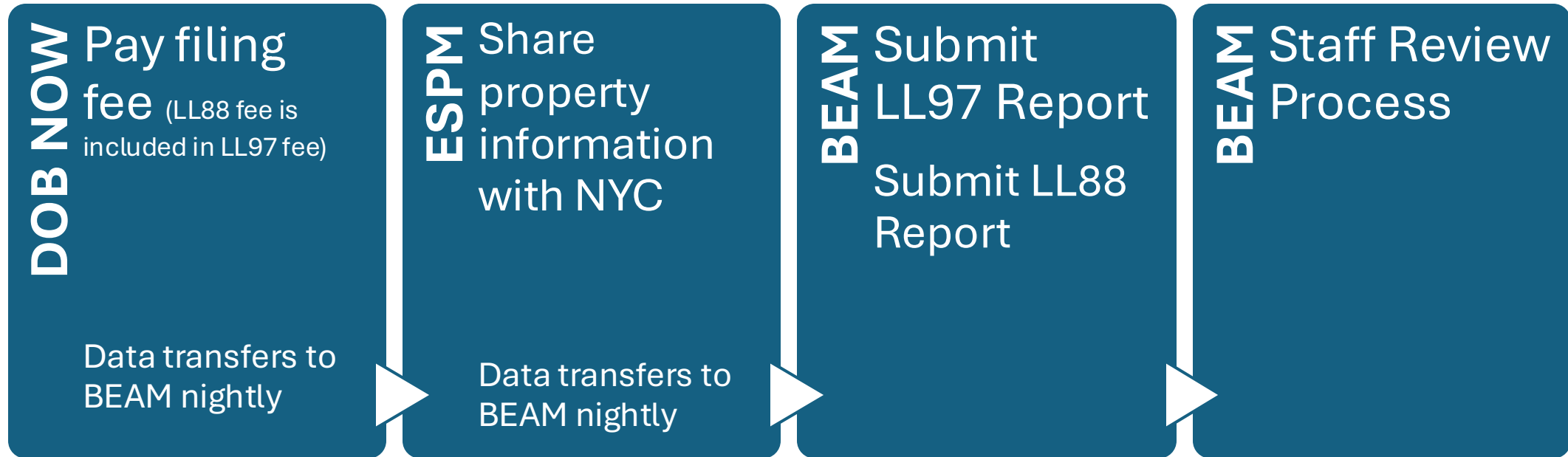
- [Article 310/311 Professional Attestation Form](#)

- Attestation form signed by both the professional and the building owner.

Attestations of compliance **must** be completed by one of the following professionals:

- [Registered Design Professional](#) (PE or RA, licensed in NY)
- [Licensed Master Electrician](#)
- [Licensed Special Electrician](#)

- **Lighting upgrade violations:** \$1,500 annual fine until compliance is met.
- **Sub-metering violations:** \$1,500 annual fine for not filing, plus \$500 for each tenant space without a sub-meter, until compliance is met.



The following three email addresses entered in DOB NOW will serve as the **only** email addresses to view building profile in the Building Energy Analysis Manager (BEAM).

- Owner
- Owner Representative
- Service Provider (RDP/RCxA) - *optional if owner's rep is also service provider*



The following three email addresses entered in DOB NOW will serve as the **only** email addresses to view building profile in the Building Energy Analysis Manager (BEAM).

- Owner
- Owner Representative
- Service Provider (RDP, Licensed Master Electrician, or Licensed Special Electrician) - *optional if owner's rep is also service provider*

- **DOB NOW**

- Only the email addresses that are associated with the DOB NOW payment portal will be granted access to that building in the BEAM platform.
- If you need to request a change to the DOB NOW Payment portal information, you will be required to contact the [DOB NOW help desk](#).

- **BEAM**

- Once in BEAM, you will be able to add additional members to view your building.
- Use ticket “[14. BEAM Account Update Point of Contact](#)” (this will be reviewed today).

Local Law 88 Critical Information



Please note that DOB NOW Filing Fees for Local Law 88 (LL88) do not need to be submitted separately if a Local Law 97 (LL97) Report due in 2025 because it is **included in the LL97 filing fee**.

The LL88 Filing Fee information is transferred to BEAM on a nightly basis. It is not possible to complete a LL88 report in one day.

For buildings that are filing for both LL97 and LL88 in 2025, where the LL88 service provider differs from the LL97 service provider, the email address of the **additional LL88 service provider will need to be added by the owner, owner's rep or LL97 service provider in the BEAM platform**, after the owner, owner rep, or LL97 service provider have been granted access.

For buildings that are only filing for LL88 in 2025 (and not LL97), enter the LL88 service provider in DOB NOW and that information will transfer to BEAM on a nightly basis.

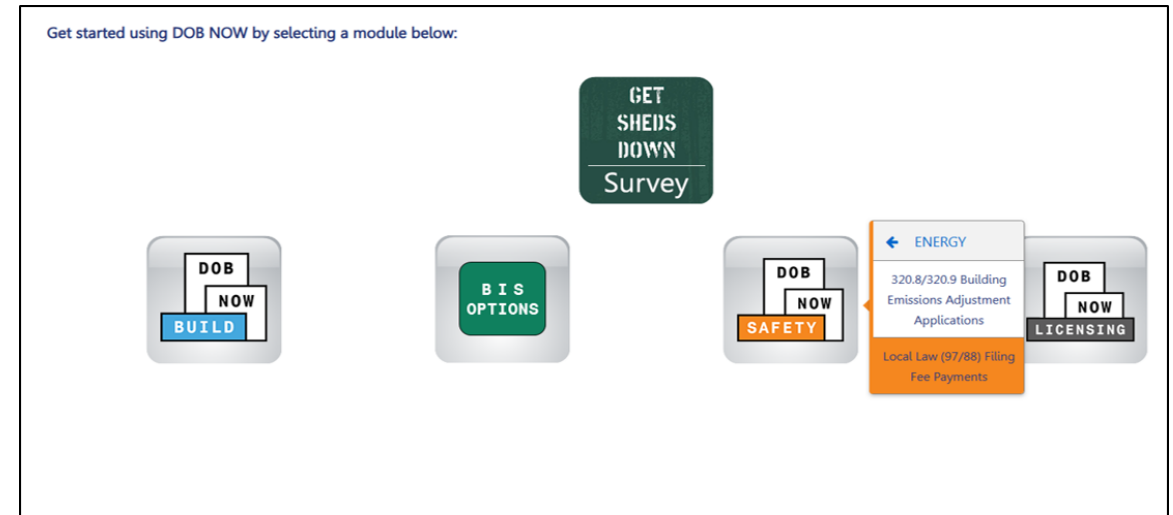
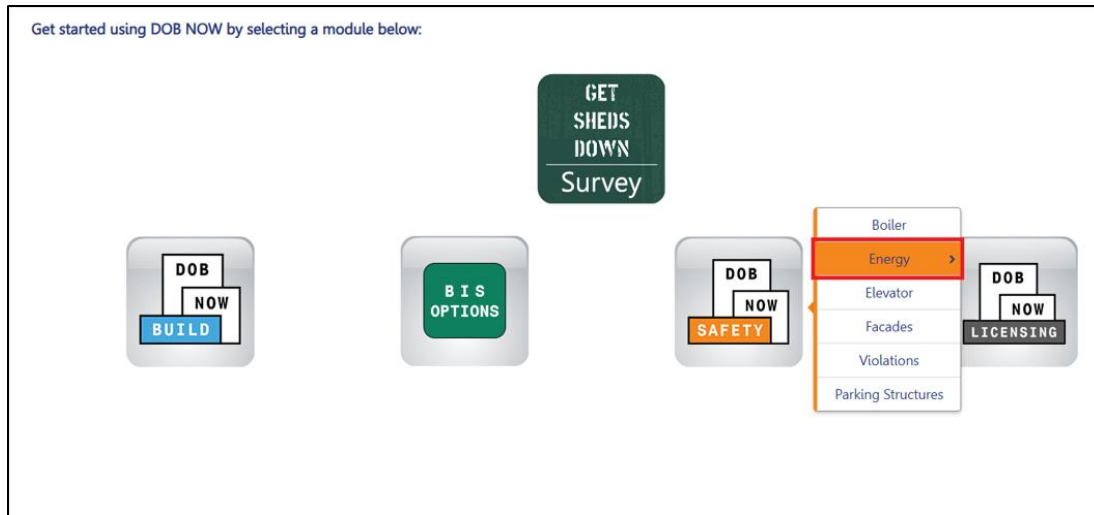
Article 310 & Article 311

Step 1: DOB NOW Filing Fees

Local Law 88 Filing Fee



- Navigate to the DOB Now login page at nyc.gov/dobnow, enter your NYC.ID email address in the Email field, and select **Login**. If you need to create an NYC.ID account, select **Create Account** or use the [DOB NOW User Guide](#) for step-by-step instructions.
- After logging into DOB NOW, the Welcome page displays. Hover over **DOB NOW: Safety** and click **Energy**.
- From the Energy sub-menu, select **Local Law 97/88 Filing Fee Payments**.



Reminder that LL88 is included in LL97 filing fee



The LL88 fee does not need to be submitted separately because it is included in the LL97 filing fee.

Only continue with paying for LL88 filing fee if you are not filing LL97 compliance report in 2025.

Local Law 88 Filing Fee



On the Local Law Payments dashboard, select **+Local Law 88 Payment**.

NYC Department of Buildings
Local Law Payments

Local Law 88 Fee Payments

View...	Actions	Transaction Number	Transaction Status	Payment Status
	Select Action: ▾	LL88000001014	Pre-Filing	Due
	Select Action: ▾	LL88000001013	Pre-Filing	Due
	Select Action: ▾	LL88000001011	Pre-Filing	Due
	Select Action: ▾	LL88000001010	Pre-Filing	Due

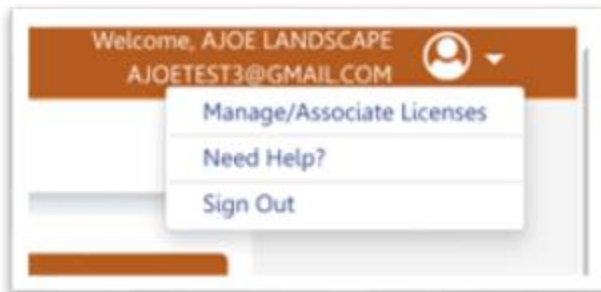
Local Law 88 Filing Fee

DOB
NOW

In the **Stakeholders** section, select your role: **Owner** or **Owner's Representative**. The information of the logged in user will auto-populate in the selected section. Owner information is required.

- To **change the name or address**, select **Manage/Associate Licenses** from the person icon in the top right corner of the screen.
- If the **logged in user** is an **Owner's Representative**, enter the **email** address associated with the NYC.ID account of the **owner** on the **Owner Information Tab**. The grayed-out fields will auto-populate from the DOB NOW profile associated with the NYC.ID account.

NOTE: To submit a compliance report in BEAM, you must first pay your filing fee and create an account in BEAM using **one of the following emails provided here: Owner, Owner's Representative, or Service Provider (RDP/Licensed Master Electrician/Licensed Special Electrician)**. Only these emails will allow you to access your building profile in BEAM. You **must** add all three email addresses by clicking either the Owner information or the Owner's Representative tabs.

A screenshot of the "Stakeholders" form. At the top, there's a header "Stakeholders*" with a right arrow. Below it, the question "Are you an.*" is followed by two radio button options: "Owner" (which is selected and highlighted with a red box) and "Owner's Representative (also provide Owner Information)". Below this, there are two tabs: "Owner Information*" (selected) and "Owner's Representative". The form contains several input fields: "Email*" (with placeholder "Please enter email address"), "Owner Type*" (a dropdown menu with "Select Type:" selected and highlighted with a red box), "Service Provider (RDP/RCxA) email address", "First Name", "Middle Initial", "Last Name", "Business Name*", "Business Address*", "City*", "State*", "Zip Code*", and "Business Telephone".

Local Law 88 Filing Fee



- Under **Owner Information**, select **Owner Type**.
- The following owner types are **fee exempt**:
 - Buildings owned by a not-for-profit corporation that is used exclusively for educational, charitable and/or religious purposes,
 - Buildings owned by a Federal, State, City or foreign government.
- **Fee-exempt owners are exempt from payment but still must complete these steps to get the Payment Confirmation Number to be entered in the BEAM Reporting Portal.**
 - If a fee exempt owner type is selected, the **NYC Department of Finance Property Information** must indicate that the **Tentative or Final Assessment Roll** assessed value is **zero**. Go to [Department of Finance](#) to **print proof** of exemption and upload it in the Reporting Portal with your report.

Stakeholders*

Are you an:

Owner Owner's Representative (also provide Owner Information)

Owner Information* | Owner's Representative

Email*

Owner Type*

First Name

Middle Initial

Last Name

Business Name*

Business Address*

City*

State*

Zip Code*

Business Telephone

BEAM Attestation of Fee Exempt Status



1. On the BEAM Portal, from the left sidebar, navigate to **Helpdesk**, then select **New Ticket** then select **“13. Attestation of Fee Exempt Status”**.
2. BEAM ticket **“13. Attestation of Fee Exempt Status”** must be used to demonstrate exemption from DOB filing fees:
 1. Buildings owned by a not-for-profit corporation that is used exclusively for educational, charitable and/or religious purposes,
 2. Buildings owned by a Federal, State, City or foreign government.
3. A complete **“13. Attestation of Fee Exempt Status”** ticket must include all of the following
 1. Building address, Borough-Block-Lot (BBL) and Building Identification Number (BIN).
 2. Upload of all applicable supporting documentation.
 3. Confirmation of Registered Design Professional (RDP)
 4. DOB NOW Payment Confirmation Number.

Local Law 88 Filing Fee



- Confirm "**Yes**" that you will be filing a Local Law 88 Compliance Report in the BEAM Reporting Portal.
- Select "**No**" that your LL97 Compliance Report is not required to be submitted in 2025.

Transaction Information* ☑ ➤

Will you be filing a report for Local Law 88 compliance in the Reporting Portal?* (This information can be found on the LL88 Covered Buildings list.) Yes No

Is your LL97 compliance report required to be submitted in 2025?* Yes No

Local Law 88 Filing Fee

- In the Property Information section, enter the **Borough, Block and Lot** and click **Search & Add**.

Property Information*

Select the BIN(s) for which you are filing a single report.

Borough, Block, Lot

Borough*
Select Borough

Block*
Enter Block

Lot*
Enter Lot

Search & Add

Local Law 88 Filing Fee

DOB
NOW

- In the **Building Identification Number** pop-up window, check the box by the individual BIN for this payment then **Select & Add**.

Building Identification Number

	BIN	Address	Borough
<input checked="" type="checkbox"/>	1028159	125 COLUMBUS AVENUE	MANHATTAN

Total Items: 1

1 / 1 Items Per Page 10 Items Per Page 1 - 1 of 1 items

Select & Add Cancel

Local Law 88 Filing Fee



- The property information will then be listed in a grid under the Search & Add button and can be removed by selecting the trash icon. If selections are changed in the Transaction Information section after an address has been added, the system will remove the address, and it will need to be re-entered.
- Select **Yes** to confirm that the BIN has either a single owner or the property is a co-op or condo.

Action	BIN	Address	Borough	Block	Lot
	1028159	125 COLUMBUS AVENUE	MANHATTAN	1118	1

Is the selected BIN(s) associated with a single owner or is the property a co-op or condo?*

Yes No

Save Proceed To Pay \$ 115

Local Law 88 Filing Fee



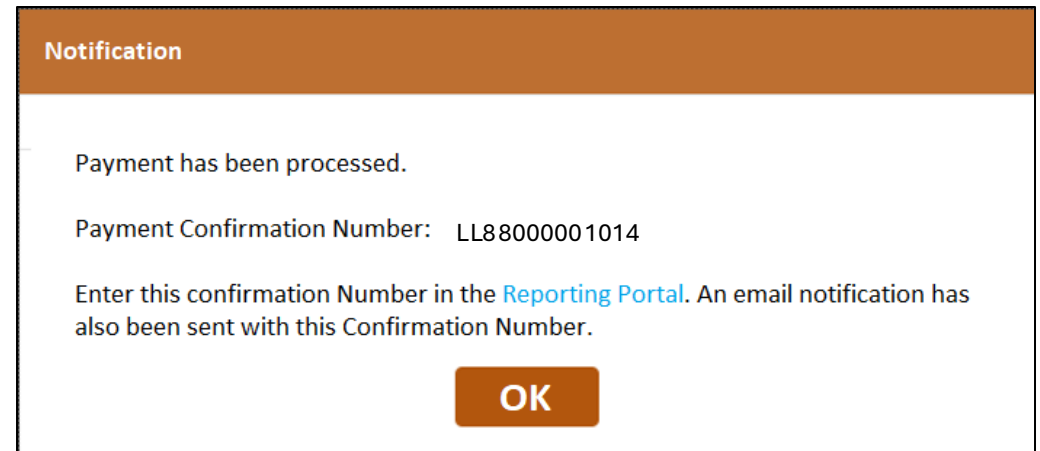
- For all other buildings, the **Proceed to Pay** button will display the payment amount. Click **Proceed to Pay** and then **Pay Now**. A CityPay window will open in a new window/tab where payment is made by selecting the Check or Credit Card tab. See the [DOB NOW Payments CityPay Manual](#) for step-by-step instructions.

A screenshot of a 'Payment Confirmation' dialog box. The title bar is brown with the text 'Payment Confirmation' in white. The main content area is white and contains a dashed blue border around the question 'Are you sure you want to make a payment of \$115.00?'. Below this, there is a blue paragraph: 'eCheck payments can take up to 10 days to process. The transaction will not be complete until the payment is processed.' followed by an orange paragraph: 'Please confirm that your pop-up blocker is turned off before clicking on the Pay Now button.' At the bottom right, there are two brown buttons: 'Pay Now' and 'Cancel'.

Local Law 88 Filing Fee



- After payment is submitted in City Pay, receipt details will be provided that show a receipt number. This is **NOT** the number to be entered into the BEAM Reporting Portal.
- Return to the DOB NOW window. For credit card/Paypal/Venmo payments, you will see a notification with a **Payment Confirmation Number**. This is the number to be submitted in the Reporting Portal. It will also be sent to you by email.
- For payments by **eCheck**, the status of the transaction will change to **Pending Payment Verification**.
 - The **Payment Confirmation Number** will be sent by email when the payment clears (**up to 10 business days** after it is submitted).
 - **Your data will not be logged in BEAM until:**
 - The payment clears; and
 - The status on DOB NOW no longer says "pending"; and
 - You have a payment confirmation number.



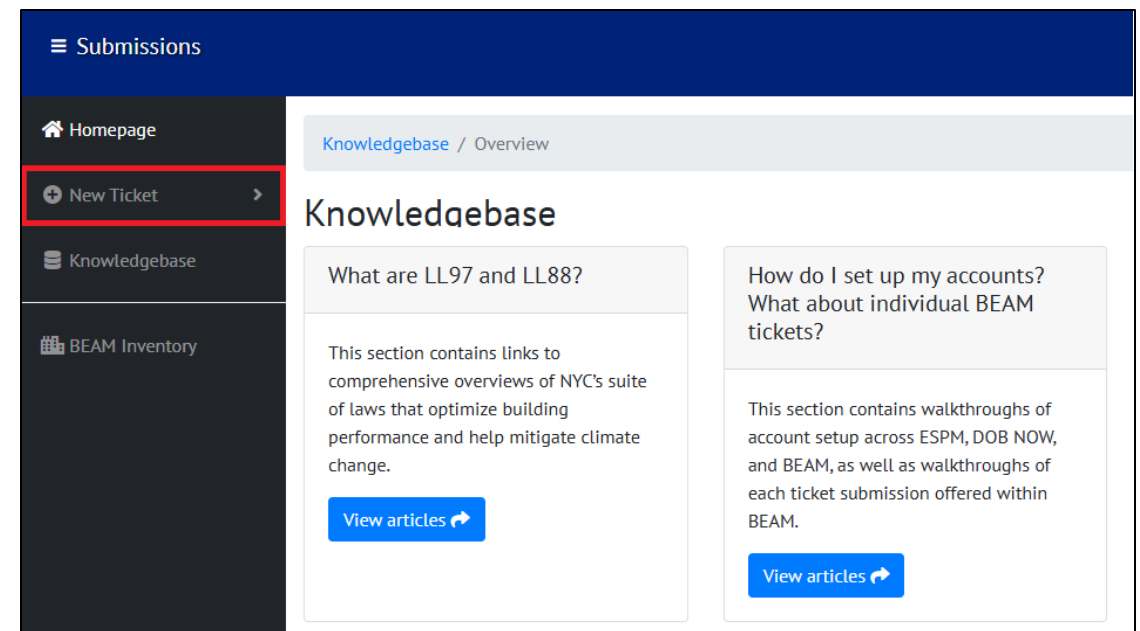
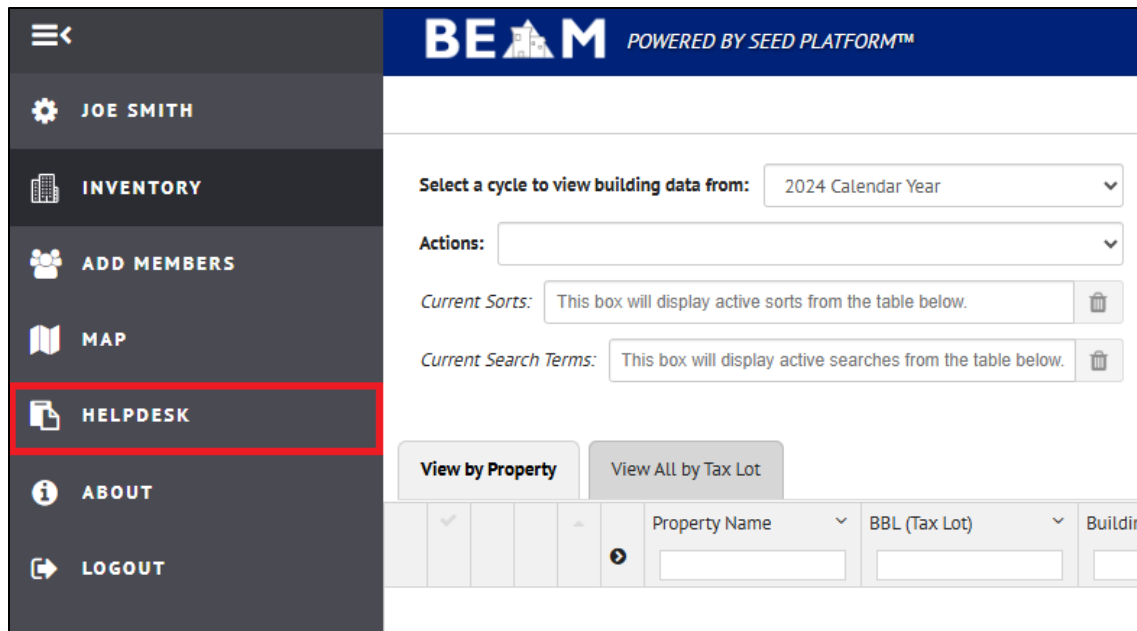
Article 310 & Article 311

Step 2: Apply in BEAM

LL88 Lighting (Article 310) & Sub-Metering (Article 311) Report



- On the BEAM Platform at nyc.beam-portal.org, from the left sidebar, navigate to **Helpdesk**. Then again from the left sidebar, click **New Ticket**.





1. On the BEAM Portal, from the left sidebar, navigate to **Helpdesk**, then select **New Ticket** then select **“14. BEAM Account Update Point of Contact”**.

- BEAM ticket **“14. BEAM Account Update Point of Contact”** may be used for buildings that are filing for both LL97 and LL88 in 2025, where the LL88 service provider differs from the LL97 service provider.
- The email address of the additional LL88 service provider will need to be added by the owner, owner's rep or LL97 service provider in the BEAM platform, after the owner, owner rep, or LL97 service provider have been granted access.

BEAM Account Update Point of Contact Ticket



- Fill out all building and contact information for the property reporting for Local Law 88. Update the name and email for the LL88 Lighting and Submetering Professional(s).

14. BEAM Account Update Point of Contact Edit

Enter Building Address (as it appears on BIS)*

Enter Borough-Block-Lot (BBL)*

Enter Building Identification Number (BIN)*

Please search [this list](#) to verify your BIN.

Primary Contact Name

Primary Contact Email*

Second Contact Name

Second Contact Email

LL88 Lighting Professional Name

LL88 Lighting Professional Email

LL88 Submetering Professional Name

LL88 Submetering Professional Email

Submitter E-Mail Address

This e-mail address will receive copies of all public updates to this ticket.

Case owner

If you select an owner other than yourself, they'll be e-mailed details of this ticket immediately.

Submit Ticket

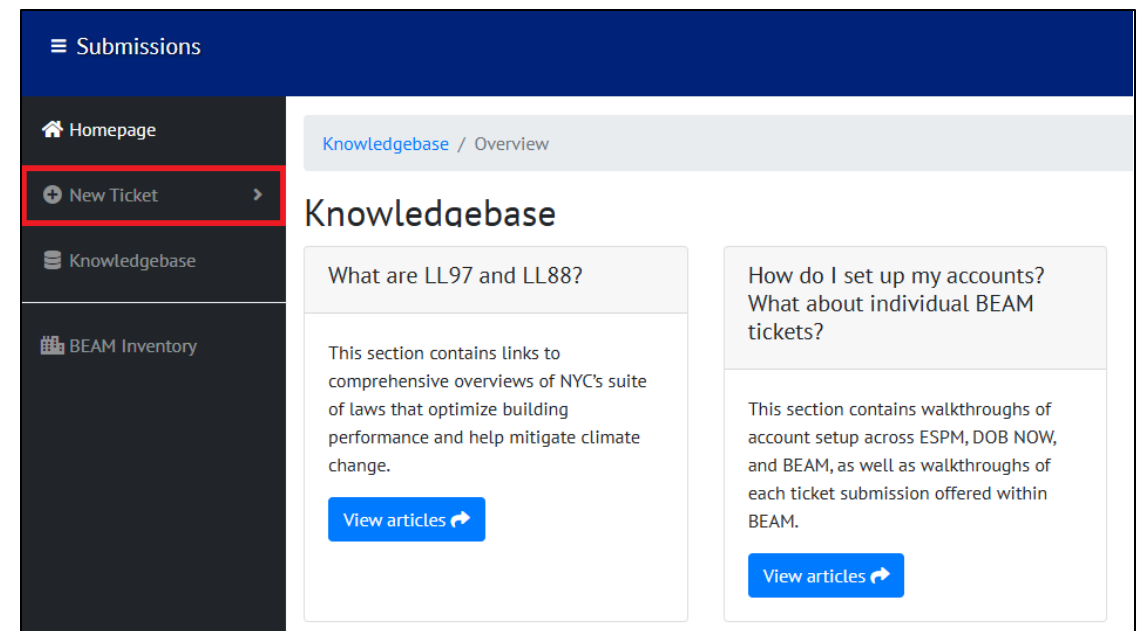
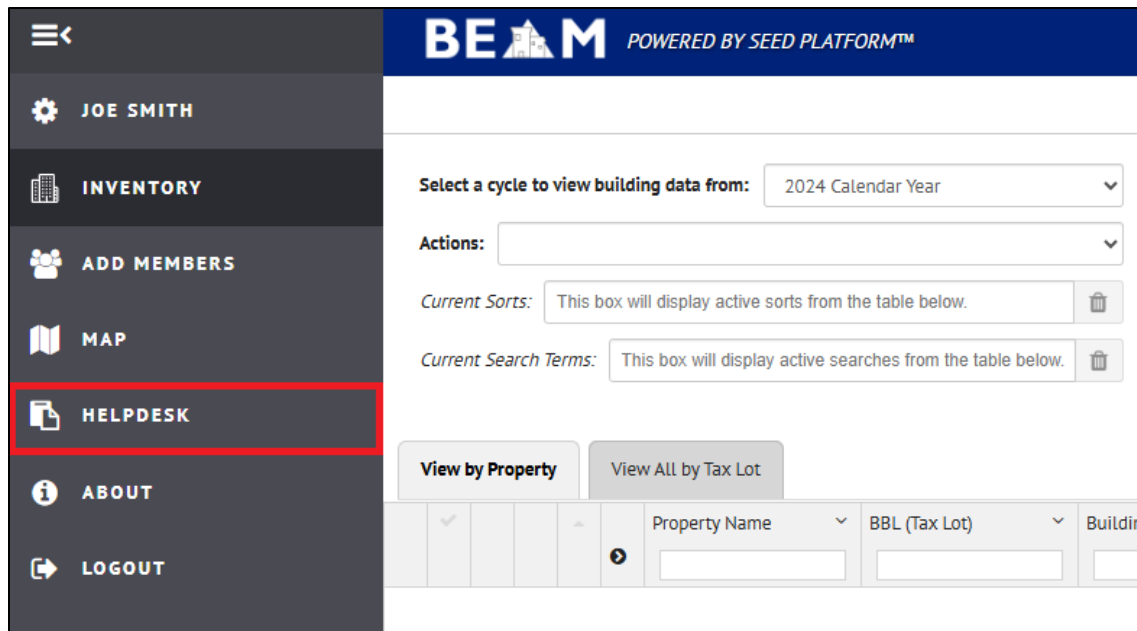
Article 310

Apply in BEAM

LL88 Lighting (Article 310) & Sub-Metering (Article 311) Report



- On the BEAM Platform at nyc.beam-portal.org, from the left sidebar, navigate to **Helpdesk**. Then again from the left sidebar, click **New Ticket**.





1. On the BEAM Portal, from the left sidebar, navigate to **Helpdesk**, then select **New Ticket** then select “**11. LL88 Lighting (Article 310)**”.
2. A complete “11. LL88 Lighting (Article 310)” ticket must include all of the following:
 - Building address, Borough-Block-Lot (BBL) and Building Identification Number (BIN).
 - Confirmation and attestation upload from a [registered design professional](#), a [licensed master electrician](#), or a [licensed special electrician](#), as applicable.
 - DOB NOW Payment Confirmation Number (i.e. 88xxxxxx).

Note: Buildings filing LL97 reports in 2025 do not need to pay a separate LL88 fee, instead input the LL97 Payment Confirmation Number.

- Navigate back to the "New Ticket" function and select "11. LL88 Lighting (Article 310)".

Submit a 11. LL88 Lighting (Article 310)

This ticket pertains to a covered building subject to [Article 310 of Chapter 3 of Title 28 of the Administrative Code](#), and is required to demonstrate compliance with lighting system upgrades.

A complete "LL88 Lighting (Article 310)" ticket must include all of the following:

1. Building address, Borough-Block-Lot (BBL) and Building Identification Number (BIN).
2. Confirmation and attestation upload from a [registered design professional](#), a [licensed master electrician](#), or a [licensed special electrician](#) that the lighting system of the entire building has been inspected and upgrades have been implemented, pursuant to the New York City Energy Conservation Code that was in effect at the time of such implementation
3. [DOB NOW](#) Payment Confirmation Number (i.e. 88xxxxxx).

Note: Buildings filing LL97 reports in 2025 do not need to pay a separate LL88 fee, instead input the LL97 Payment Confirmation Number.

LL88 Lighting (Article 310) Property Details



- On the Create Ticket page, enter **Submitter Email**. This email address will receive copies of all public updates to this ticket.
 - **NOTE:** This email must be one of the emails provided in the DOB NOW Filing Fee (Owner, Owners Rep, Service Provider) OR the LL88 Lighting Professional or LL88 Submetering Professional indicated on the ticket “14. BEAM Account Update Point of Contact”
- **Enter Building Address***
 - Enter address as it appears on NYC DOB BIS.
- **Enter Borough-Block-Lot (BBL)***
 - Enter BBL as it appears on LL88 and/or LL97 CBL.
 - BBLs must be 10 numerical digits, including any leading zeros for the block and lot (i.e. 1012234067). There should be no dashes, spaces, or other characters within the digits.
- **Enter Building Identification Number (BIN)***
 - Enter BIN as it appears on LL97 CBL.
 - BINs must be 7 numerical digits (i.e. 1234567) There should be no dashes, spaces, or other characters within the digits.

Submitter Email*

This e-mail address will receive copies of all public updates to this ticket.

Enter Building Address*

[Enter address as it appears on NYC DOB BIS.](#)

Enter Borough-Block-Lot (BBL)*

[Enter BBL as it appears on LL88 and/or LL97 CBL.](#)

BBLs must be 10 numerical digits, including any leading zeros for the block and lot (i.e. 1012234067). There should be no dashes, spaces, or other characters within the digits.

Enter Building Identification Number (BIN)*

[Enter BIN as it appears on LL97 CBL.](#)

BINs must be 7 numerical digits (i.e. 1234567) There should be no dashes, spaces, or other characters within the digits.

LL88 Lighting (Article 310) Report

- Select from the following which professional is attesting to the report:
 - [Registered Design Professional \(RDP\)](#)
 - [Licensed Master Electrician](#)
 - [Licensed Special Electrician](#)
- Input the license information for said professional.
 - RDP License # lookup: [NYS Department of Professions](#)
 - Electrician License # lookup: [BIS](#)
 - Electrician License # lookup: [BIS](#)

Please select which professional is attesting to this report:

----- ▾

Please enter the license number of the professional attesting to sub-metering upgrades.

This is a required field.
RDP License # lookup: [NYS Department of Professions](#)
Electrician License # lookup: [BIS](#)

- Click "**Choose file**" and upload the following supporting documentation
 - [Article 310 Professional Attestation](#).
 - Attestation form signed by both the professional and the building owner.

Please upload an attestation by the reviewing registered design professional, licensed master electrician, or licensed special electrician.*

No file chosen

This is a required field.

[Article 310 and Article 311 Professional Attestation Form](#)

Attestation Form



Professional Attestation Form for Article 310/ Article 311

LOCAL LAW 88 of 2009:

Form must be typewritten.

PURPOSE: The **Licensed Professional** must complete this form to verify documentation filed in compliance with Article 310 and/or Article 311 of Chapter 3 of Title 28 of the NYC Administrative Code (LL88).

1. Verifying Licensed Professional

Name of Verifying Professional: _____

Business Name: _____ Business Telephone: _____

Business Address: _____

Email Address: _____ Mobile Telephone: _____

License Type (Choose one from below) License Number: _____

Professional Engineer

Registered Architect

Licensed master electrician

Licensed special electrician

Article for LL88 the Licensed Professional is attesting for: Article 310 Article 311

2. Attestation of Building Owner

Name of the Building Owner: _____

Building Owner's Email: _____ Building Owner's Phone: _____

Building owner's attestation

I certify that I am the owner of record for the referenced building(s), and I have authorized the above duly licensed professional to verify information relating to my building(s) submitted pursuant to Article 310 and/or Article 311 of Chapter 3 of Title 28 of the NYC Administrative Code (LL88).

Signature: _____ Date: _____

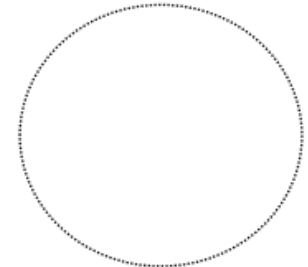
3. Attestation of Verifying Professional

I have reviewed the information submitted in documentation related to the compliance of this building owner's building(s) with Article 130 and/or Article 311 of Chapter 3 of Title 28 of the NYC Administrative Code (LL88), and under penalties provided by law, attest to its accuracy. Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to any City employee, or for a City employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by a fine or imprisonment or both. I understand that if I am found after due hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of the Building Code or of a rule of any agency, I may be barred from filing further applications or documents with the NYC Department of Buildings.

Name (please print): _____

Signature: _____ Date: _____

*Print name, sign, and date.
For Professional Engineer or Registered Architect,
apply seal at right.*



nyc.gov/buildings

Rev. 2/27/2025

https://www.nyc.gov/assets/buildings/pdf/article_paf.pdf



DOB NOW Payment Confirmation Number

- Enter the **DOB NOW Payment Confirmation Number**

Notification

Payment has been processed.

Payment Confirmation Number: LL88000001014

Enter this confirmation Number in the [Reporting Portal](#). An email notification has also been sent with this Confirmation Number.

OK

Please provide documentation of the unexpected or unforeseen circumstance

No file chosen

Documentation can include: photographs demonstrating the nature and extent of any such damage; and/or description of how such damage precluded compliance in such calendar year.

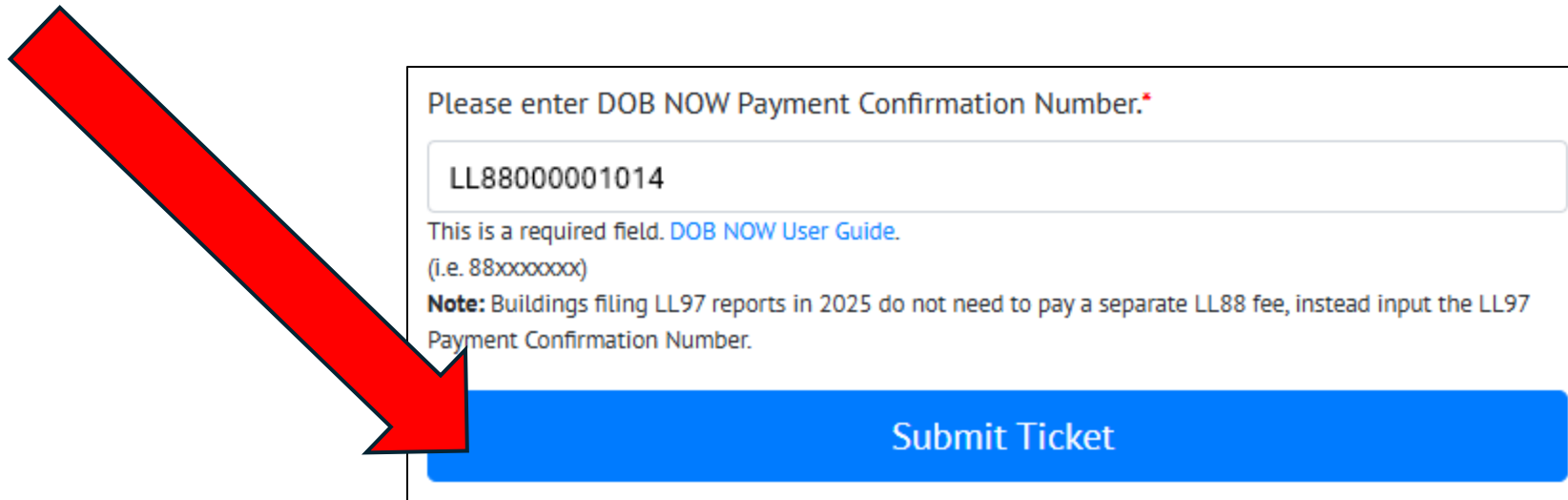
Enter DOB NOW Payment Confirmation Number:*

LL88000001014

This is a required field. DOB NOW payment guidance is forthcoming.

LL88 Lighting (Article 310) Submit Ticket

- Input your DOB NOW Payment Confirmation Number – if not paying LL88 fee, input the LL97 payment confirmation number.
- Click **Submit Ticket!**



Please enter DOB NOW Payment Confirmation Number.*

This is a required field. [DOB NOW User Guide](#).
(i.e. 88xxxxxxx)

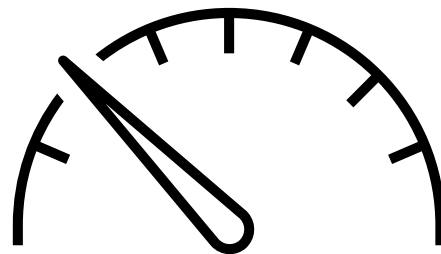
Note: Buildings filing LL97 reports in 2025 do not need to pay a separate LL88 fee, instead input the LL97 Payment Confirmation Number.

Submit Ticket

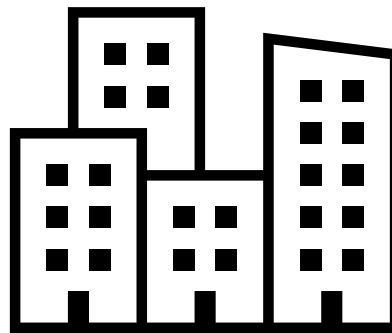
Article 311

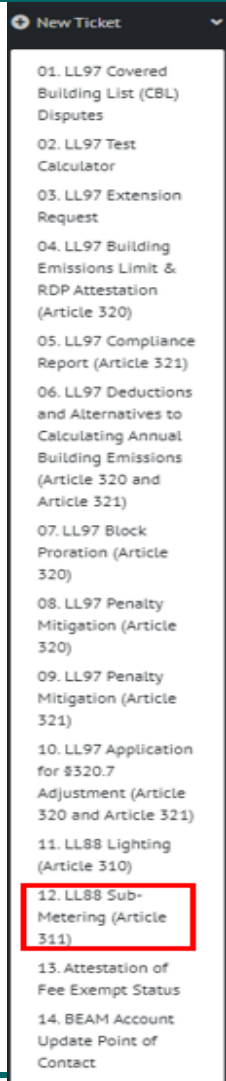
Apply in BEAM

- What does [Article 311](#) mandate?
 - Electricity usage in covered tenant spaces be sub-metered if they already do not have dedicated meters.
 - Tenants in those covered spaces are provided monthly statements of their sub-metered electricity consumption so they can see how much electricity they consume.
 - The owner of a covered building containing the covered tenant spaces is required to file a report with DOB that is attested to by an RDP, licensed master electrician, or licensed special electrician confirming that the sub-meters have been installed.



- As defined in [Article 311](#), a covered tenant space is:
 - (i) A tenant space larger than 5,000 gross square feet (465 m²) on one or more floors of a covered building let or sublet to the same person, or
 - (ii) a floor, of a covered building, larger than 5,000 gross square feet (465 m²) consisting of tenant spaces let or sublet to two or more different persons.
- Exception: The term "covered tenant space" shall not include dwelling units classified in occupancy group R-2 or R-3.





1. On the BEAM Portal, from the left sidebar, navigate to **Helpdesk**, then select **New Ticket** then select “**12. LL88 Sub-Metering (Article 311)**”.
2. A complete “12. LL88 Sub-Metering (Article 311)” ticket must include all of the following:
 - Building address, Borough-Block-Lot (BBL) and Building Identification Number (BIN).
 - Confirmation and attestation upload from a [registered design professional](#), a [licensed master electrician](#), or a [licensed special electrician](#), as applicable.
 - DOB NOW Payment Confirmation Number (i.e. 88xxxxxx).

Note: Buildings filing LL97 reports in 2025 do not need to pay a separate LL88 fee, instead input the LL97 Payment Confirmation Number.

- Navigate back to the "New Ticket" function and select **12. LL88 Sub-Metering (Article 311)**.

Submit a 12. LL88 Sub-Metering (Article 311)

This ticket pertains to a covered building subject to [Article 311 of Chapter 3 of Title 28 of the Administrative Code](#), and is required to demonstrate compliance with installation of electrical sub-meters in tenant spaces.

A complete "LL88 Sub-Metering (Article 311)" ticket must include all of the following:

1. Building address, Borough-Block-Lot (BBL) and Building Identification Number (BIN).
2. A list of all covered tenant spaces in such covered building; and
3. Confirmation and attestation upload from a [registered design professional](#), a [licensed master electrician](#), or a [licensed special electrician](#) certifying that sub-meters have been installed for all covered tenant spaces in accordance with Article 311 of Title 28 of the Administrative Code; and
4. A sample monthly statement in accordance with section 28-311.4 of the Administrative Code.
5. [DOB NOW](#) Payment Confirmation Number (i.e. 88xxxxxx).

Note: Buildings filing LL97 reports in 2025 do not need to pay a separate LL88 fee, instead input the LL97 Payment Confirmation Number.

LL88 Lighting (Article 311) Property Details



- On the Create Ticket page, enter **Submitter Email**. This email address will receive copies of all public updates to this ticket.
 - **NOTE:** This email must be one of the emails provided in the DOB NOW Filing Fee (Owner, Owners Rep, Service Provider) OR the LL88 Lighting Professional or LL88 Submetering Professional indicated on the ticket “14. BEAM Account Update Point of Contact”
- **Enter Building Address***
 - Enter address as it appears on NYC DOB BIS.
- **Enter Borough-Block-Lot (BBL)***
 - Enter BBL as it appears on LL88 and/or LL97 CBL.
 - BBLs must be 10 numerical digits, including any leading zeros for the block and lot (i.e. 1012234067). There should be no dashes, spaces, or other characters within the digits.
- **Enter Building Identification Number (BIN)***
 - Enter BIN as it appears on LL97 CBL.
 - BINs must be 7 numerical digits (i.e. 1234567) There should be no dashes, spaces, or other characters within the digits.

Submitter Email*

This e-mail address will receive copies of all public updates to this ticket.

Enter Building Address*

[Enter address as it appears on NYC DOB BIS.](#)

Enter Borough-Block-Lot (BBL)*

[Enter BBL as it appears on LL88 and/or LL97 CBL.](#)

BBLs must be 10 numerical digits, including any leading zeros for the block and lot (i.e. 1012234067). There should be no dashes, spaces, or other characters within the digits.

Enter Building Identification Number (BIN)*

[Enter BIN as it appears on LL97 CBL.](#)

BINs must be 7 numerical digits (i.e. 1234567) There should be no dashes, spaces, or other characters within the digits.

LL88 Sub-Metering (Article 311) Report

- Indicate whether the filing has any covered tenant space.
- If yes, upload required documentation (as defined in [RCNY 103-108](#))
 - A list of all covered tenant spaces AND
 - A sample monthly utility statement

Please indicate if there are any covered tenant spaces within the covered building.

Please upload the following supporting documentation:^{*}

No file chosen

This is a required field.

- A list of all covered tenant spaces in such covered building; and

Please upload the following supporting documentation:

No file chosen

This is a required field.

- A sample monthly statement in accordance with section 28-311.4 of the Administrative Code.

LL88 Sub-Metering (Article 311) Report

- Select from the following which professional is attesting to the report:
 - [Registered Design Professional \(RDP\)](#)
 - [Licensed Master Electrician](#)
 - [Licensed Special Electrician](#)
- Input the license information for said professional.
 - RDP License # lookup: [NYS Department of Professions](#)
 - Electrician License # lookup: [BIS](#)
 - Electrician License # lookup: [BIS](#)

Please select which professional is attesting to this report:

----- ▾

Please enter the license number of the professional attesting to sub-metering upgrades.

This is a required field.
RDP License # lookup: [NYS Department of Professions](#)
Electrician License # lookup: [BIS](#)

- Click "**Choose file**" and upload the following supporting documentation
 - [Article 311 Professional Attestation](#).
 - Attestation form signed by both the professional and the building owner.

Please upload an attestation by the reviewing Registered Design Professional, licensed master electrician, or licensed special electrician.

No file chosen

This is a required field.



Professional Attestation Form for Article 310/ Article 311

LOCAL LAW 88 of 2009:

Form must be typewritten.

PURPOSE: The Licensed Professional must complete this form to verify documentation filed in compliance with Article 310 and/or Article 311 of Chapter 3 of Title 28 of the NYC Administrative Code (LL88).

1. Verifying Licensed Professional

Name of Verifying Professional: _____

Business Name: _____ Business Telephone: _____

Business Address: _____

Email Address: _____ Mobile Telephone: _____

License Type (Choose one from below) License Number: _____

Professional Engineer

Registered Architect

Licensed master electrician

Licensed special electrician

Article for LL88 the Licensed Professional is attesting for: Article 310 Article 311

2. Attestation of Building Owner

Name of the Building Owner: _____

Building Owner's Email: _____ Building Owner's Phone: _____

Building owner's attestation

I certify that I am the owner of record for the referenced building(s), and I have authorized the above duly licensed professional to verify information relating to my building(s) submitted pursuant to Article 310 and/or Article 311 of Chapter 3 of Title 28 of the NYC Administrative Code (LL88).

Signature: _____ Date: _____

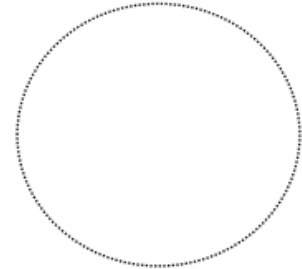
3. Attestation of Verifying Professional

I have reviewed the information submitted in documentation related to the compliance of this building owner's building(s) with Article 310 and/or Article 311 of Chapter 3 of Title 28 of the NYC Administrative Code (LL88), and under penalties provided by law, attest to its accuracy. Falsification of any statement is a misdemeanor and is punishable by a fine or imprisonment, or both. It is unlawful to give to any City employee, or for a City employee to accept, any benefit, monetary or otherwise, either as a gratuity for properly performing the job or in exchange for special consideration. Violation is punishable by a fine or imprisonment or both. I understand that if I am found after due hearing to have knowingly or negligently made a false statement or to have knowingly or negligently falsified or allowed to be falsified any certificate, form, signed statement, application, report or certification of the correction of a violation required under the provisions of the Building Code or of a rule of any agency, I may be barred from filing further applications or documents with the NYC Department of Buildings.

Name (please print): _____

Signature: _____ Date: _____

Print name, sign, and date.
For Professional Engineer or Registered Architect,
apply seal at right.



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Rev. 2/27/2025

DOB NOW Payment Confirmation Number

- Enter the **DOB NOW Payment Confirmation Number**

Notification

Payment has been processed.

Payment Confirmation Number: LL88000001014

Enter this confirmation Number in the [Reporting Portal](#). An email notification has also been sent with this Confirmation Number.

OK

Please provide documentation of the unexpected or unforeseen circumstance

No file chosen

Documentation can include: photographs demonstrating the nature and extent of any such damage; and/or description of how such damage precluded compliance in such calendar year.

Enter DOB NOW Payment Confirmation Number:*

LL88000001014

This is a required field. DOB NOW payment guidance is forthcoming.

LL88 Sub-Metering (Article 311) Report

- Input your DOB NOW Payment Confirmation Number – if not paying LL88 fee, input the LL97 payment confirmation number.
- Click **Submit Ticket!**

Please enter DOB NOW Payment Confirmation Number.*

This is a required field. [DOB NOW User Guide](#).
(i.e. 88xxxxxxx)

Note: Buildings filing LL97 reports in 2025 do not need to pay a separate LL88 fee, instead input the LL97 Payment Confirmation Number.

Submit Ticket

Article 310 & Article 311

FAQs

What are the penalties for non-compliance?

Lighting upgrade violations: \$1,500 annual fine until compliance is met.

Sub-metering violations: \$1,500 annual fine for not filing, plus \$500 for each tenant space without a sub-meter, until compliance is met.

Can I just pay the penalty instead of filing a LL88 compliance report?

LL88 penalties will be issued on an annual basis until compliance is demonstrated.

LL97 Good Faith Effort pathways require compliance with LL88.

Can owners file extensions for the LL88 May 1st submission deadline?

- LL88 reports are due 5/1/2025.
- Buildings that are also submitting a LL97 report in 2025, the LL88 report may be submitted with the 97 report.
- Buildings that are not submitting a LL97 report in 2025 may not file an extension.
- For example, if a building receives an extension to file the LL97 report, DOB will not penalize a building for failure to submit a LL88 report until the new deadline for the LL97 report.
- If the LL88 report is not submitted by the extension deadline for the LL97 report, DOB will deem that as failure to file and issue \$3500+ penalty (\$1500 failure to file lighting upgrades, \$1500 failure to file submetering requirements, \$500 for each submeter not installed in covered tenant space).

The LL88 covered building is residential with no covered tenant spaces. What is required in the Article 311 submetering report to comply with LL88?

- For buildings with no covered tenant spaces, the following is required:
 - **Attestation of compliance**, certifying that there are no covered tenant spaces in a building, by RDP, Licensed Master Electrician or Special Electrician

Are residential buildings required to comply with LL88?

- Yes, residential buildings are subject to LL88, as long as the buildings meet the definition of a covered building under the law, with a few exceptions:
 - For the upgrade of lighting systems – dwelling units are exempt
 - For the submetering requirement – dwelling units are exempt

Are buildings with specialized lighting requirements, like museums or healthcare facilities, required to comply with LL88?

- Covered buildings with specialized lighting requirements, such as museums, must comply with LL88 lighting and submetering requirements
- The NYCECC does not require certain lighting systems to be included in calculating total connected lighting power – some examples include:
 - Display lighting for exhibits in galleries, museums that is in addition to general lighting and controlled by an independent control device
 - Task lighting for medical purposes that is in addition to general lighting and controlled by an independent control device

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Are all tenant spaces in commercial buildings required to comply with LL88? Or just the tenant spaces over 5,000 sq.ft.?

- Covered buildings that contain multiple tenants are required to comply with LL88 requirements
- The lighting must be upgraded throughout the entire building, even in tenant spaces less than 5,000 sqft
- The submetering requirements only apply to ‘covered tenant spaces’

Webinar Schedule

Webinar Date	BEAM (Ticket Name)
2/28/2025	Overview of LL97 Reporting Process
3/5/2025	Benchmarking Forum
3/7/2025	Article 321 Compliance Filing: Part 1 LL97 Compliance Report (Article 321)
3/11/2025	Article 320 Filing: Part 1 LL97 Building Emissions Limit & RDP Attestation (Article 320), LL97 Deductions and Alternatives to Calculating Annual Building Emissions (Article 320 and Article 321).
3/14/2025	Article 321 Compliance Filing: Part 2 LL97 Penalty Mitigation (Article 321), LL97 Covered Building List (CBL) Disputes.
3/18/2025	Article 320 Continued: Part 2 LL97 Penalty Mitigation (Good Faith Efforts), LL97 Covered Building List (CBL) Disputes.
3/20/2025	LL88 Lighting & Sub-Metering
3/25/2025	LL97 Application for §320.7 Adjustment
3/28/2025	Campus Reporting
4/01/2025	Offsets

DOB Webinars

Questions and Inquiries?

Contact: BEAM_LL97@buildings.nyc.gov

An aerial, high-angle photograph of a dense urban landscape, likely New York City, showing a vast expanse of skyscrapers and buildings. The text "THANK YOU!" is superimposed in large, white, bold, sans-serif capital letters in the center of the image. The bottom of the image features a blue gradient overlay with text and a logo.

THANK YOU!

build safe | live safe

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