



# Next Day Review Submission Guide

REVISED 07.25.24

**Next Day Review is limited to the following:** Minor Alterations for interior Residential spaces, Commercial Storefronts, Façade Repair, Limited Scope (Mechanical, Plumbing, Structural, and subsequent applications). **No Alt-CO or Enlargements shall be filed for Next Day Review. (As per DOB Project guidelines) <https://www.nyc.gov/site/buildings/dob/project-guidelines.page>**

Listed below you will find the new Step-by-Step Guidelines for DOB Drawing Next Day Review submissions. The next few slides will present how all drawings and diagrams should be mapped out when submitting a complete drawing set. Please also note that not all things listed below may pertain to each filing and that some of these slides will only be required if applicable. By following these guidelines this will lead for a faster plan review with little to no objections.

**Below you will find the list of items that *MUST* be (where applicable) represented on your drawing submissions for a complete plan review. Some items may vary depending on the type of filing and or scope of work. Please be advised that all diagrams shown in this Guide are *ONLY* for reference and should not be copied or re-used under any circumstances. All diagrams used in this presentation are for diagrammatic guidance *ONLY!***

**☐ COVER SHEET WITH BUILDING ADDRESS AND BUILDING LOCATION DIAGRAMS**

- Project Narrative
- Full and clear scope of work/ full job description with filing strategy
- List all special and progress inspections that are applicable
- Drawings index showing sheet titles in the title block
- Energy Code compliance path if applicable
- Zoning map if applicable

**☐ SITE PLAN**

**☐ ADA CLEARANCE DIAGRAMS**

- Enlarged kitchen and bathroom plans showing ADA accessibility if applicable

**☐ EXISTING FLOOR PLANS**

- Provide plans with measurements showing existing conditions

**☐ DEMOLITION FLOOR PLANS**

**☐ FULL CONSTRUCTION/PROPOSED SET OF FLOOR PLANS WITH ACCURATE MEASUREMENTS FROM ALL LEVELS**

- Provide daylight and ventilation calculations in habitable spaces, egress plans, calculations, fire rated enclosures

**☐ (RCP) REFLECTED CELLING PLANS**

- Provide mech vents, smoke/carbon detectors where required

**☐ ROOF PLAN SHOULD SHOW FDNY ACCESS WHEN APPLICABLE**

- Bulkhead plan should show ladder.
- Building Code 1512 or sustainable roof zone details if applicable

**☐ ELEVATIONS AND SECTIONS OF THE BUILDING SHOWING HEIGHTS**

**☐ DOOR WINDOW AND WALL SCHEDULE SHOWING U-FACTOR AND R-VALUE SPECIFICATION**

**☐ ENERGY COMPLIANCE TABLE**

# DOB NOW: Title Block Standards

## DOB STANDARD TITLE BLOCK DRAWING SUBMISSION

**The following must be included on all drawings:** Compliance with DOB Graphic Standards, Title Block, discipline designators and revision numbers as per DOB requirements, Scale of each drawing or detail, The orientation of north arrow should match on all plans and details, Dimensions – related to scope and area of work, Drawing Title, Notes and details – only pertaining to the scope of work, Clear description of the proposed scope of work, include construction and/or demolition work, All drawings submitted to support the architectural plans must be in accordance with NYC Code and must be signed and sealed by a design professional. Sheets marked **not for construction** will not be accepted.

Details shown on the drawings must be, clear, legible, and specific to the proposed construction project. All unrelated and unnecessary details must be deleted from the templates used prior to submitting drawings to the Department. Notes and schedules shown on the drawings must be relevant to the plans, and details be properly referenced to the plan drawings, cross sections, etc. For example, to avoid clutter and confusion, general construction notes, specifications, progress inspections, or schedules, critical to the construction process and completion of the project, must be shown separately on the General Notes drawing(s).

**All submitted drawings must have a Title block, requirements listed below:** DOB Building Plan Job Number must be located on lower right side of each drawings sheet. Architect/Engineer of Record information to be located on the lower right side of the title block sheet. Drawing reference number and for PAAs a revision decimal should be shown (**EX: A-100.05**), All page numbers should be located on the lower right side of the drawing sheet. (**EX: PG – 3 of 45**). Drawing sheet name or description must be shown to identify what floor, elevation, section, etc. is being represented. Project name and address should be represented on the top right side of the title block. A revision block should be represented on the sheet indicating the dates of previous submitted sheets with the date it was submitted. Most importantly, a signed and sealed Stamp by the Architect or the Engineer must be shown on the title block. If a drawing set is submitted with no stamp drawings will be rejected. There must be a space or a box for DOB Plan Examiners to put their Approval stamps. All the above-mentioned information **MUST** appear on the title block and must be the same on each page in the drawing set. Cover sheets prepared for illustrative/decorative purposes may show the required information in varying locations except for the DOB Building Plan Identification Number and the page number, both of which must appear on the lower right side of the sheet. Standard Lettering size should be 1/8” minimum.

#	Description	Date

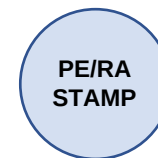
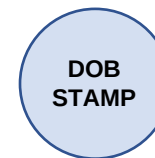
**ARCHITECT  
INFORMATION**

**FILING REP INFORMATION**

**PROJECT NAME &  
ADDRESS**

**DRAWING TITLE:**  
Sheet Name

**DOB JOB APPLICATION #**



*Date:*  
*Project No.:*  
*Drawn By:*  
*Checked By:*  
*Drawing #:*  
**0-000.00**

# Standard Drawing Checklist

## NEXT DAY REVIEW

- By electing **Next Day Review**, applicant confirms there is no change in egress, use or bulk that may require a new amended Certificate of Occupancy.  
(Applicant must check box)

## COVER SHEET WITH BUILDING ADDRESS AND BUILDING LOCATION DIAGRAMS

- G.01** - Site Location/Address.
- G.02** - Full detailed Scope of work/Building Narrative
- G.03** - Digital Tax map.
- G.04** - Zoning map with building location marked off
- G.05** - Map showing 200 feet radius around site.
- G.06** - All Related Job Numbers added.
- G.07** - Project Render/ Drawing of the building proposed (Elevation or Axon)
- G.08** - Drawing Legend for symbols, materials, abbreviations.
- G.09** - Drawing Index
- G.10** - Applicable Administrative Codes
- G.11** - Provide provisions for NYS Multiple Dwelling Law (MDL) if applicable
- G.12** - Full Building Code analysis that applies to your site
- G.13** - All inspections being called for must be listed

## SITE PLAN MUST INCLUDE THE FOLLOWING

- G.21** - Full site information as well as site map
- G.22** - Full site context around the building
- G.23** - Full dimensions on the drawing
- G.24** - Show any rear or side yards if applicable
- G.25** - North Arrow
- G.26** - Project address/ Block and lot and number of stories requested
- G.27** - Adjacent Building Information
- G.28** - Elevation heights that match the survey for the front of the building
- G.29** - Street trees, curb cuts, hydrants, signs, etc.
- G.30** - Street names and widths
- G.31** - Location of the property line

## ADA CLEARANCE DIAGRAMS

- G.41** - Show dimensions and clearance locations
- G.42** - Grab Bars
- G.43** - Elevation and Plan diagrams
- G.44** - Demonstrate Accessibility compliance
- G.45** - Show accessible entrances and components of accessible routes such as accessible doors, ramps, elevators, and wheelchair lifts

## ALL FLOOR PLANS

- A.01** - Distance to property line, if applicable
- A.02** - Dimensions throughout plans, interior and exterior, as needed
- A.03** - Egress/Stairs
- A.04** - Room names
- A.05** - Door, wall, and window tags
- A.06** - Drawing Label
- A.07** - North Arrow
- A.08** - Legend
- A.09** - Egress Calculations

## ALL DEMO FLOOR PLANS

- A.11** - Demolition legend clearly showing what is remaining and what is being removed. Notes to be added if demolition pertains to any work pertaining to structural, framing, and egress.

## ALL RCP PLANS

- A.21** - Ventilation where necessary
- A.22** - Lighting including layout
- A.23** - Smoke and Carbon Detectors
- A.24** - Legend for elements on plans
- A.25** - Full Dimensions

## ROOF PLAN (FLAT OR PITCHED)

- A.31** - Legend for elements on plans
- A.32** - Parapet with height indicated
- A.33** - Roof Drains
- A.34** - Mechanical vents / Equipment
- A.35** - 6 Foot FDNY Path, from side-to-side and back-to-back, clearly labeled for flat roof
- A.36** - Stairs/Elevators
- A.37** - Roof Dimensions
- A.38** - FDNY roof clearance area for pitched roof

## ALL ALTERATION SECTIONS

- A.41** - Show the cellar if applicable
- A.42** - All grades and elevations must indicate elevations above sea level using NAVD 1988 as the primary datum.
- A.43** - Mean curb level or base plane
- A.44** - Grade elevation, first floor elevation
- A.45** - Exterior building components (walls, roof, doors, window location types, openings, projections etc.)

## ALL ALTERATION ELEVATIONS

- A.51** - Location of property line
- A.52** - Label all floor levels
- A.53** - Elevation of floor
- A.54** - Max Building Height  
Measured from base plan or top of curb

## ENERGY ANALYSIS

- A.61** - Professional Statement
- A.62** - Energy Progress Inspection requirements
- A.63** - Energy Analysis in EN drawings with clear references to supporting documentation found elsewhere in the application
- A.64** - Supporting Documentation should be shown as applicable in the drawings stated above, or may be included in the EN Set

## DOOR AND WINDOW SCHEDULE

- A.71** - Details showing all dimensions
- A.72** - Tags with locations on the plans
- A.73** - Plan and elevation details
- A.74** - Details of assemblies

#	Description	Date

**ARCHITECT INFORMATION**

**FILING REP INFORMATION**

**PROJECT NAME & ADDRESS**

**DRAWING TITLE:**  
Sheet Name

*NOTE: Title block standard as per NYC DOB Plan Examination Guidelines.*

**DOB JOB APPLICATION #**

**DOB STAMP**

**PE/RA STAMP**

Date:  
Project No.:  
Drawn By:  
Checked By:  
Drawing #:  
**A-000.00**

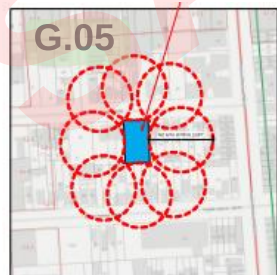
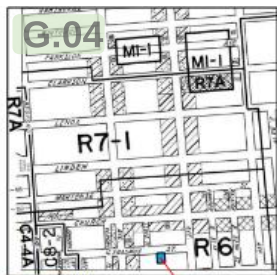
# DOB NOW: Cover Sheet

## SITE ADDRESS:

**G.01**  
ALTERATION \_\_\_ DWELLING UNITS

## **G.02** SCOPE OF WORK/PROJECT NARRATIVE

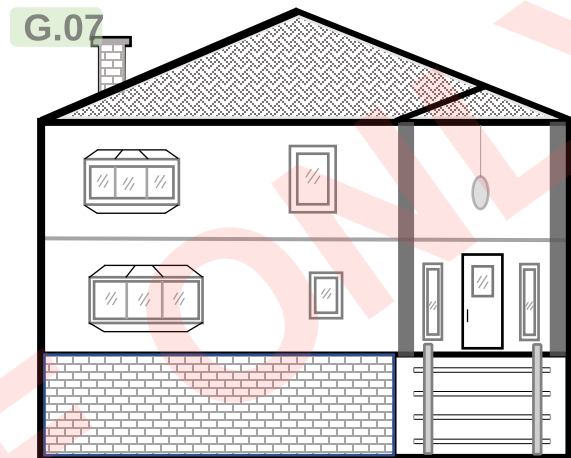
Provide a detailed description the work being proposed for this filing. This must include what is currently existing and what is being proposed for this lot. Site Location and Building Address should be shown on the first sheet. There should NOT be anything additional on the drawings that is not called out for in the Scope of Work.



Related Job Applications		
#	WORK TYPE	JOB APPLICATION #
1	ST	XXXXXXXXXX
2	MS	XXXXXXXXXX
3	PL	XXXXXXXXXX
4	SP	XXXXXXXXXX
5	EA	XXXXXXXXXX
6	FO	XXXXXXXXXX
7	SD	XXXXXXXXXX
8	CC	XXXXXXXXXX
9	BPP	XXXXXXXXXX
10	SOE	XXXXXXXXXX

### DRAWING LEGEND

SYMBOL AND MATERIAL LEGEND		ABBREVIATION LEGEND	
	AREA DRAIN	LAVA	LAVATORY
	FLOOR DRAIN	W.C.	WATER CLOSET
	ROOF DRAIN	LN	LINEN CLOSET
	MECHANICAL VENTILATION	W	WASHER
	WINDOW TAG	D	DRYER
	DIRECTIONAL EXIT SIGN	HC	HANDICAP
	NON-DIRECTIONAL EXIT SIGN	TYP.	TYPICAL
	TANK WATER HEATER (EQUIPMENT TO BE FILED SEPARATELY)	DN	STAIR DOWN
	EL METER	UP	STAIR UP
	WALL/PARTITION TYPE	R	RISER
	BATT INSULATION	REF	REFRIGERATOR
	A TACTILE SIGN "EXIT", BC 1011.3	RGE	RANGE
	A TACTILE FLOOR LEVEL INDICATING SIGN, BC 1022.8.3	TUB	BATH TUB
	ICC A117.1-2009	SHWR	SHOWER
	MASTER INTERCOM STATION (LOBBY)	SF	SQUARE FEET
	INTERCOM STATION AUDIO (APARTMENTS)	CL	CLOSET
	DOOR TAG	DOB	DEPARTMENT OF BUILDINGS
		DW	DISHWASHER
		DIA	DIAMETER
		DU	DWELLING UNIT
		EL	ELEVATION
		F.A.I.	FRESH AIR INTAKE
		O.C.	ON CENTER



G.09 DRAWING INDEX SHEET				
SHEET #	PAGE #	DOB REV. #	SHEET NAME	REVISION DATE
1	Z-XXX	XXX XXX XXXX	ZONING	XXX/XXXX
2	Z-XXX	XXX XXX XXXX	ZONING	XXX/XXXX
3	Z-XXX	XXX XXX XXXX	ZONING	XXX/XXXX
4	Z-XXX	XXX XXX XXXX	ZONING	XXX/XXXX
5	Z-XXX	XXX XXX XXXX	ZONING	XXX/XXXX
6	Z-XXX	XXX XXX XXXX	ZONING	XXX/XXXX
7	A-XXX	XXX XXX XXXX	ARCHITECTURAL	XXX/XXXX
8	A-XXX	XXX XXX XXXX	ARCHITECTURAL	XXX/XXXX
9	A-XXX	XXX XXX XXXX	ARCHITECTURAL	XXX/XXXX
10	A-XXX	XXX XXX XXXX	ARCHITECTURAL	XXX/XXXX

11	G-XXX	XXX XXX XXXX	GENERAL NOTES	XXX/XXXX
12	G-XXX	XXX XXX XXXX	GENERAL NOTES	XXX/XXXX
13	G-XXX	XXX XXX XXXX	GENERAL NOTES	XXX/XXXX
14	G-XXX	XXX XXX XXXX	GENERAL NOTES	XXX/XXXX

**G.10**  
Applicable Administrative Code §28-101.4 Effective date. Except as otherwise provided in sections 28-101.4.1, 28-101.4.2, 28-101.4.3, 28-101.4.4, and 28-101.4.5, on and after July 1, 2008, all work shall be performed in accordance with the provisions of these codes.

#	Description	Date

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# Complete Building Code Notes/Analysis

Provide a full Code analysis showing what construction and occupancy class is being used and how it applies to this site. <i>(if applicable)</i>					
Applicability/ Non-Applicability Items for High Rise Buildings as per 2022 New York City Construction Code/Chapters XXX and XXX					
Multiple Dwelling Law (MDL) <i>if applicable</i>	BC Chapter 3: Use & Occupancy Classification	BC Chapter 16: Structural Design	BC Chapter 21: Masonry		
G.11  <i>Provide Provisions for MDL</i>	G.12  <i>Provide BC Notes</i>	<i>Provide BC Notes</i>	<i>Provide BC Notes</i>		
	BC Chapter 6: Types of Construction				
Not Applicable/See exceptions for R-2 Occupancies	<i>Provide BC Notes</i>	G.13 SPECIAL INSPECTION CATEGORIES <i>(required)</i>			
		Structural Steel - Welding	BC- 1704.3.1	Mechanical Systems	BC- 1704.7.16
		Structural Steel - Details	BC- 1704.3.2	Structural Stability-Existing BLDG	BC- 1704.20.1
		Structural Steel - High Strength Bolting	BC- 1704.3.3	Excavations-Sheeting, Shoring/Bracing	BC- 1704.20.2
		Structural Cold Formed Steel	BC- 1704.3.4	Underpinning	BC- 1704.20.3
		Concrete - Cast in Place	BC- 1704.4.4	Soil (Privite on site Stormwater drainage)	BC- 1704.21.1.2
		Concrete - Precast	BC- 1704.4.4	Sprinkler Systems	BC- 1704.23
		Concrete - Prestressed Masonry	BC- 1704.4.4	Fire Resistant Penetration and Joints	BC- 1704.27
		Subgrade Inspection	BC- 1704.7.1	Concrete Design Mix	BC- 1905.3
		Subgrade conditions- fill placement	BC- 1704.7.2	Concrete Sampling and Testing	BC- 1905.6
In place Density	BC- 1704.7.3				
Subsurface Investigations	BC- 1704.7.4				
Exterior insulation Finishes Systems	BC- 1704.7.13				
PROGRESS INSPECTION CATEGORIES <i>(required)</i>					
Preliminary					
		BC- 110.3			
BC Chapter 7: Fire Resistance Rated Construction					
Footing and Foundation		BC- 110.3.1			
Energy Code Compliance Inspection		BC- 110.3.5			
Fire-Resistance Rated Construction		BC- 110.3.4			
Lowest Floor Elevation		BC- 110.3.2			
ENERGY CODE PROGRESS INSPECTION <i>(required)</i>					
Protection of Exposed Foundation Insulation		Electrical Energy Consumption			
Insulation Placement and R-Values		Lightning in Dwelling Units			
Fenestration U-Factor and Product Rating		Interior Lighting Power			
Fenestration Air Leakage		Exterior Lighting Power			
Fenestration Areas		Lighting Controls			
Airsealing and Insulation -Visual		Maintenance Information			
Shutoff Dampers					
HVAC & Service Water Heating Equipment					
HVAC & Service Water Heating System Controls					
HVAC Insulation and Sealing					
<i>Provide BC Notes</i>					

#	Description	Date

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**PROJECT NAME & ADDRESS**

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Sheet Name

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Date:  
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Drawing #:  
**G-000.00**

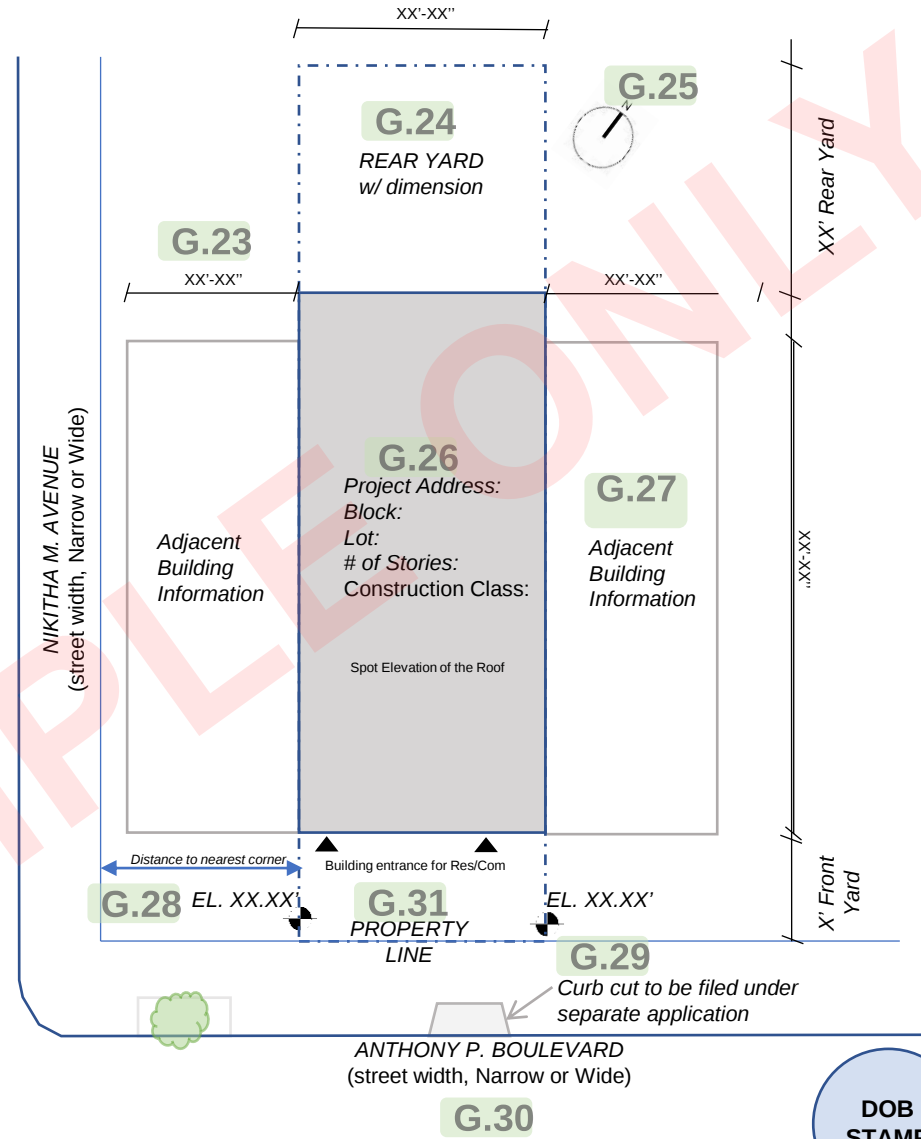
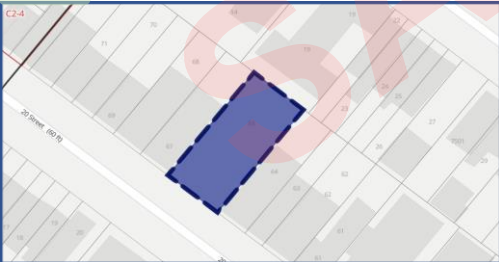
# DOB NOW: Site Plan

Provide an Architectural Site Plan showing the building location. This should include full measurements and context surrounding the building. This drawing must show all current site conditions including, street names, street width, property lines, sidewalks, streetlights, bust stops, hydrants, dimensions, and all adjacent properties.

## G.21

SITE INFORMATION	
ADDRESS	150 ERASMUS STREET BROOKLYN, NY 11226
BLOCK	5108
LOT	28&30
COMMUNITY BOARD	BROOKLYN COMMUNITY DISTRICT 17
ZONING DISTRICT	R6
SPECIAL ZONING DISTRICT	N/A
ZONING MAP	17b
LOT AREA	10,050 SF
USE GROUP	2A, 2B
OCCUPANCY GROUP	R-2
CONSTRUCTION CLASSIFICATION	IB
MULTIPLE DWELLING CLASSIFICATION	HAEA
BUILDING CODE	2014 NYC BUILDING CODE
ENERGY CODE	2020 NEW YORK CITY ENERGY CONSERVATION CODE, APPENDIX CA (MODIFIED 90.1-2016)
ENVIRONMENTAL NYC OFFICE OF REMEDIATION	N/A
TRANSIT AUTHORITY MTA	N/A NOT WITHIN 200' OF MTA
MIH INCLUSIONARY HOUSING DESIGNATED AREA	N/A
VIH INCLUSIONARY HOUSING DESIGNATED AREA	N/A
LANDMARK	N/A
PRIMARY STRUCTURAL SYSTEM	CAST IN PLACE CONCRETE
STRUCTURAL OCCUPANCY RISK	II
SEISMIC DESIGN CATEGORY	B
BIN NUMBER	XXXXXXXX

## G.22



#	Description	Date

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Date:  
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Checked By:  
Drawing #:  
0-000.00

# ADA Accessibility Reference Clearance Diagrams

Provide ADA requirement details in the drawing set. Listed is an example of the ADA standard notes and diagrams that must be shown on the drawing set. Diagrams showing ADA compliance related to your project must also be detailed.

If applicable, provide enlarged kitchen and bathroom plans to show all ADA accessibility with diagrams and measurements pertaining to your building's design. These drawings should be labeled to show the locations on the floor plans.

*All drawings and diagrams must at a related scale to the plans.*

*Drawing references can be found in ICC A117.*

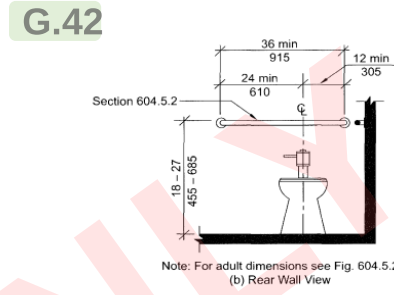
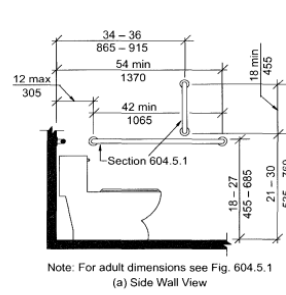
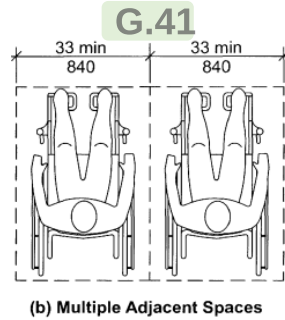


FIG. 609.4.2 POSITION OF CHILDREN'S GRAB BARS

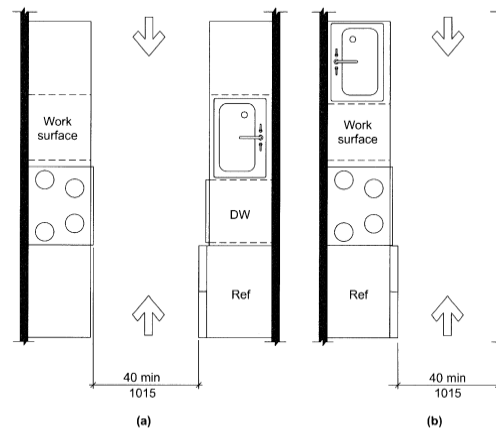
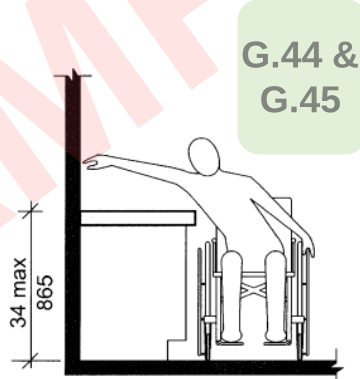
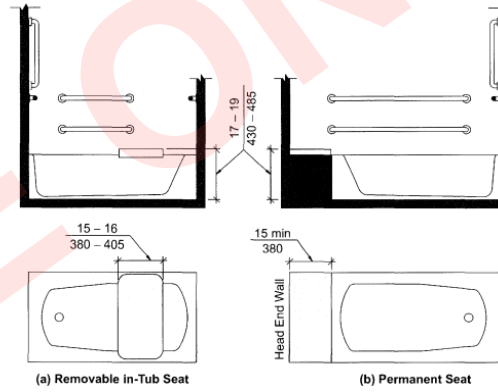
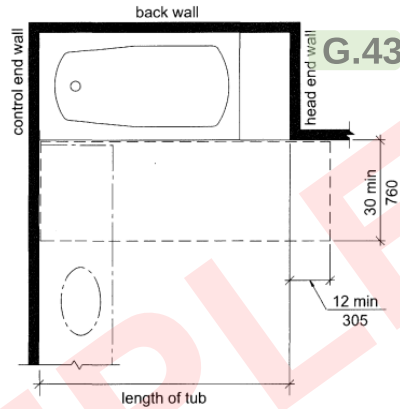


FIG. 804.2.1 PASS-THROUGH KITCHEN CLEARANCE

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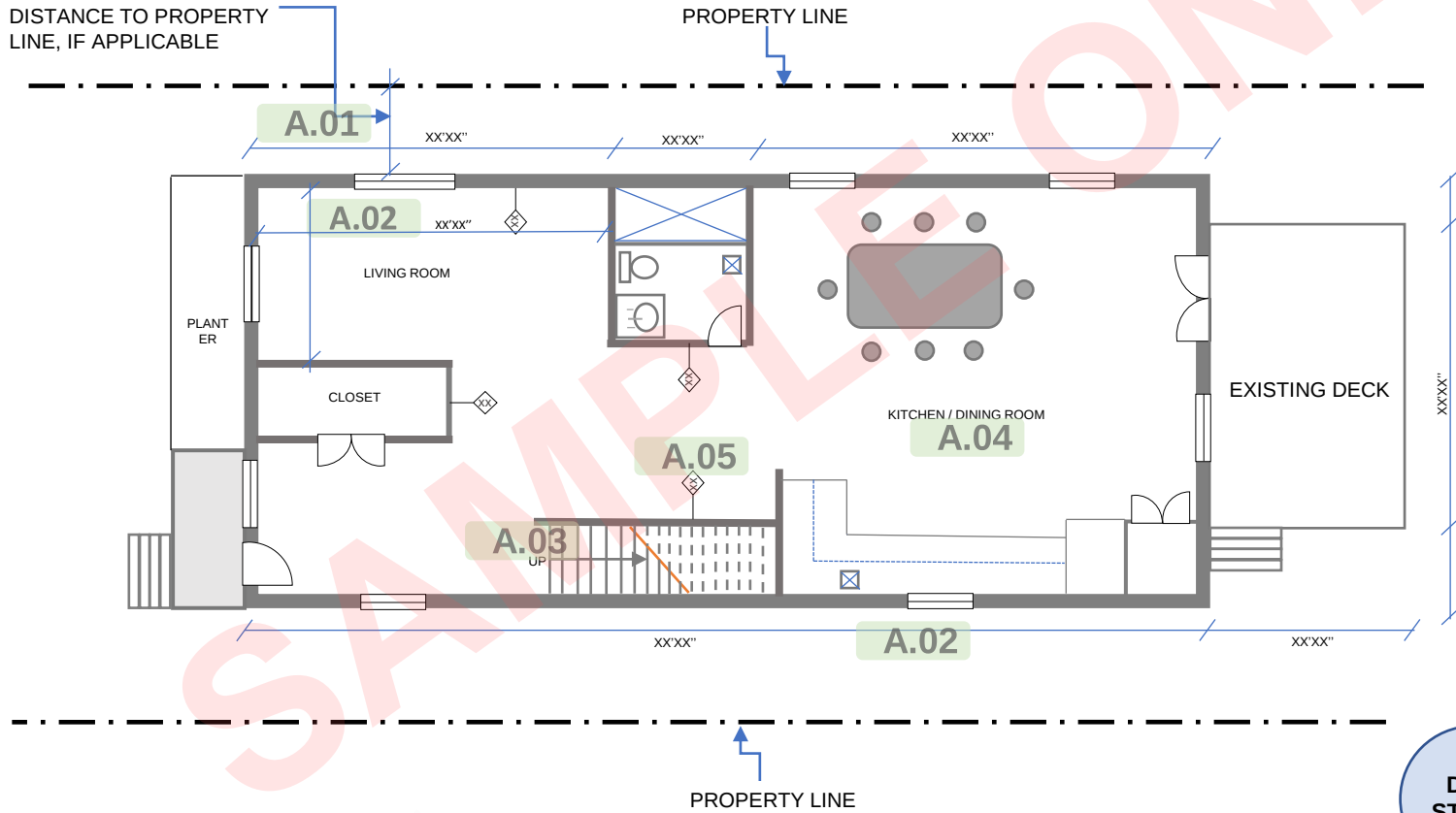
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Project No.:  
Drawn By:  
Checked By:  
Drawing #:  
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# DOB NOW: All Interior Floor Plans

## ALL FLOOR PLANS WITH MEASUREMENTS

Floor plans provide an accurate layout of the different floor levels of the scope of work. They show scaled dimensions of the project, and include rooms with designation tags, spaces and other features. The orientation of the north arrow should match on all plans and details. Walls and partitions shall be shown at the appropriate width for the scale used (single line wall and partition drawings are not acceptable). Fire rated walls and doors must be labeled on the plan with a tag. If the scope of work includes any load bearing or structural changes additional information must be provided showing all means and methods. All habitable spaces must show daylight and ventilation calculations on the plans.



**A.06**  
Existing First Floor Plan



#	Description	Date

**ARCHITECT  
INFORMATION**

**FILING REP INFORMATION**

**PROJECT NAME &  
ADDRESS**

**DRAWING TITLE:**  
Sheet Name

*NOTE: Title block standard as per NYC DOB Plan Examination Guidelines.*

**DOB JOB APPLICATION #**

**DOB  
STAMP**

**PE/RA  
STAMP**

Date:  
Project No.:  
Drawn By:  
Checked By:  
Drawing #:  
**A-000.00**

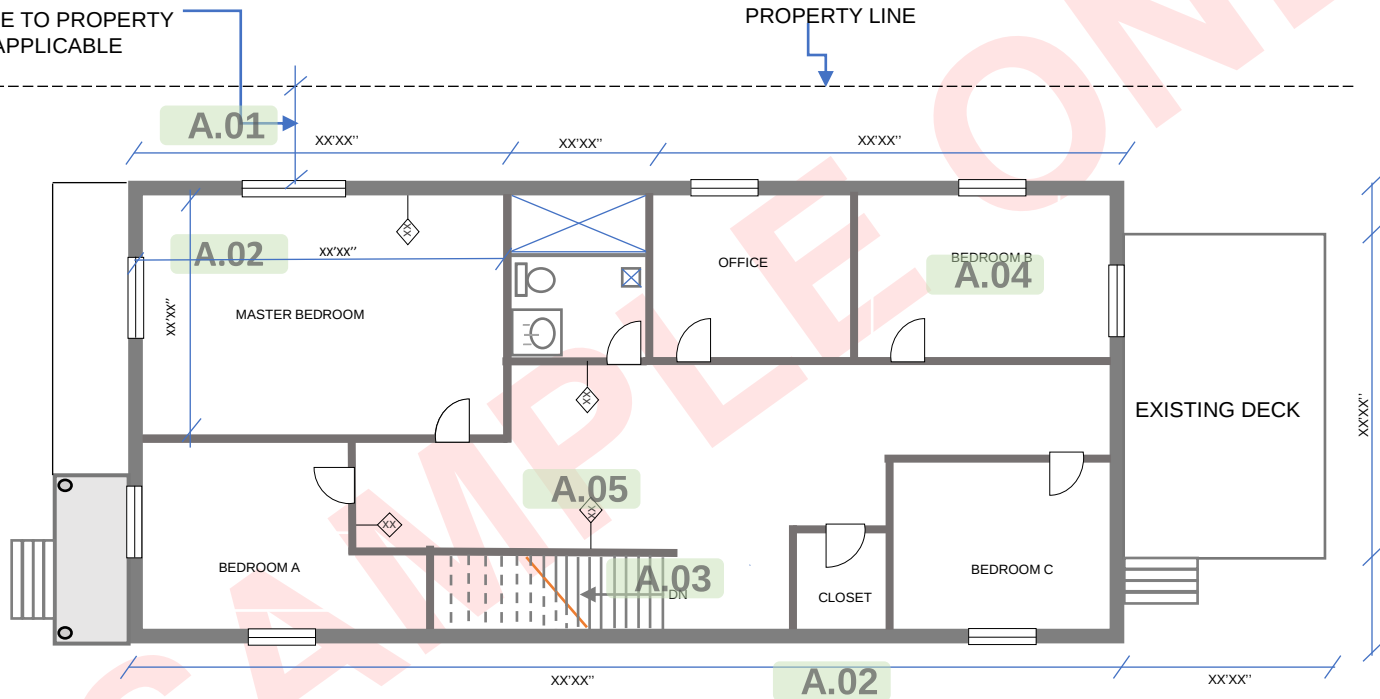
# DOB NOW: All Interior Floor Plans

## ALL FLOOR PLANS WITH MEASUREMENTS

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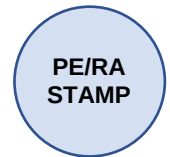
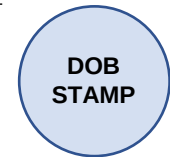
DISTANCE TO PROPERTY LINE, IF APPLICABLE

PROPERTY LINE



PROPERTY LINE

**A.06**  
Existing Second floor plan



Date:  
Project No.:  
Drawn By:  
Checked By:  
Drawing #:  
**A-000.00**

#	Description	Date

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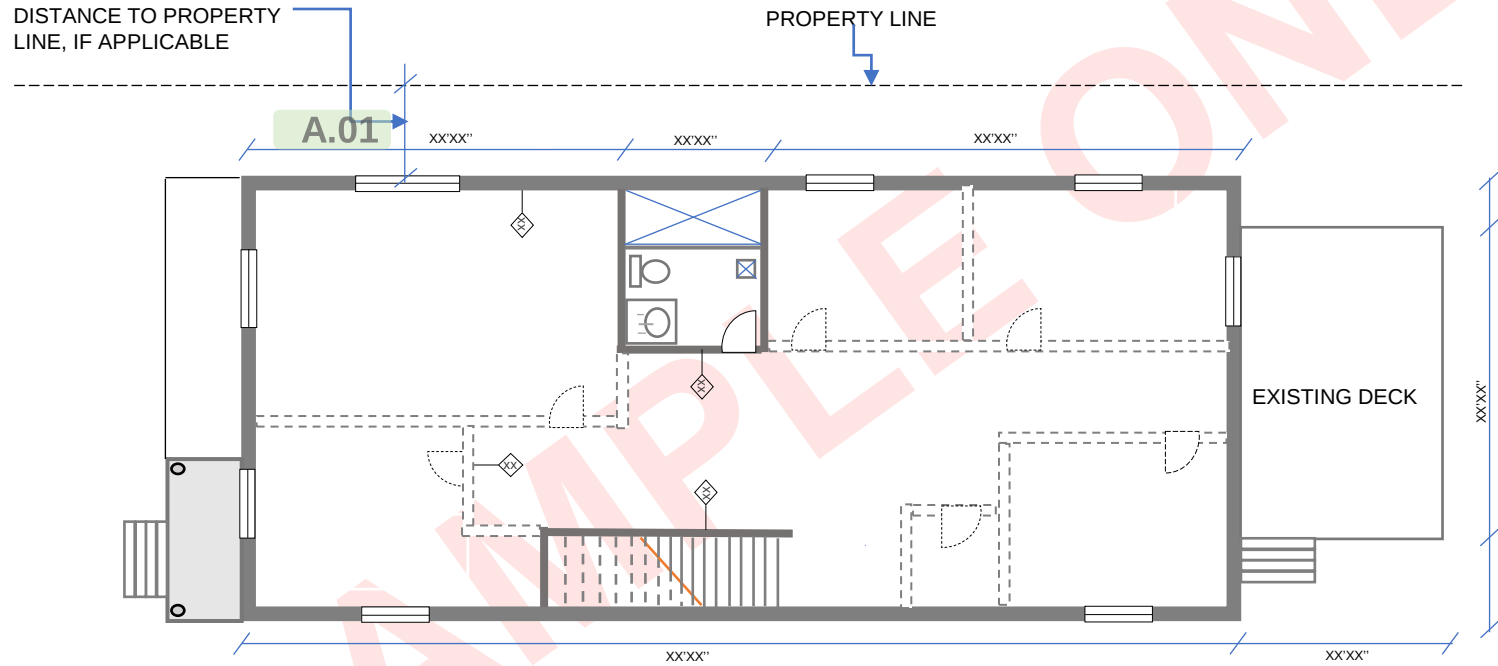
*NOTE: Title block standard as per NYC DOB Plan Examination Guidelines.*

**DOB JOB APPLICATION #**

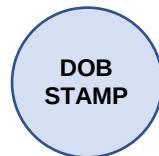
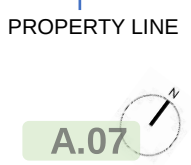
# DOB NOW: All Demo Floor Plans

## ALL FLOOR PLANS WITH MEASUREMENTS SHOWING DAYLIGHT & VENTILATION

Floor plans provide an accurate layout of the different floor levels of the scope of work. They show scaled dimensions of the project, and include rooms with designation tags, spaces and other features. The orientation of the north arrow should match on all plans and details. Walls and partitions shall be shown at the appropriate width for the scale used (single line wall and partition drawings are not acceptable). Fire rated walls and doors must be labeled on the plan with a tag. If the scope of work includes any load bearing or structural changes additional information must be provided showing all means and methods. All habitable spaces must show daylight and ventilation calculations on the plans.



**A.06**  
*Demolition Partial of existing Second floor plan*



Date:  
Project No.:  
Drawn By:  
Checked By:  
Drawing #:  
**A-000.00**

#	Description	Date

**ARCHITECT INFORMATION**

**FILING REP INFORMATION**

**PROJECT NAME & ADDRESS**

**DRAWING TITLE:**  
Sheet Name

*NOTE: Title block standard as per NYC DOB Plan Examination Guidelines.*

**DOB JOB APPLICATION #**

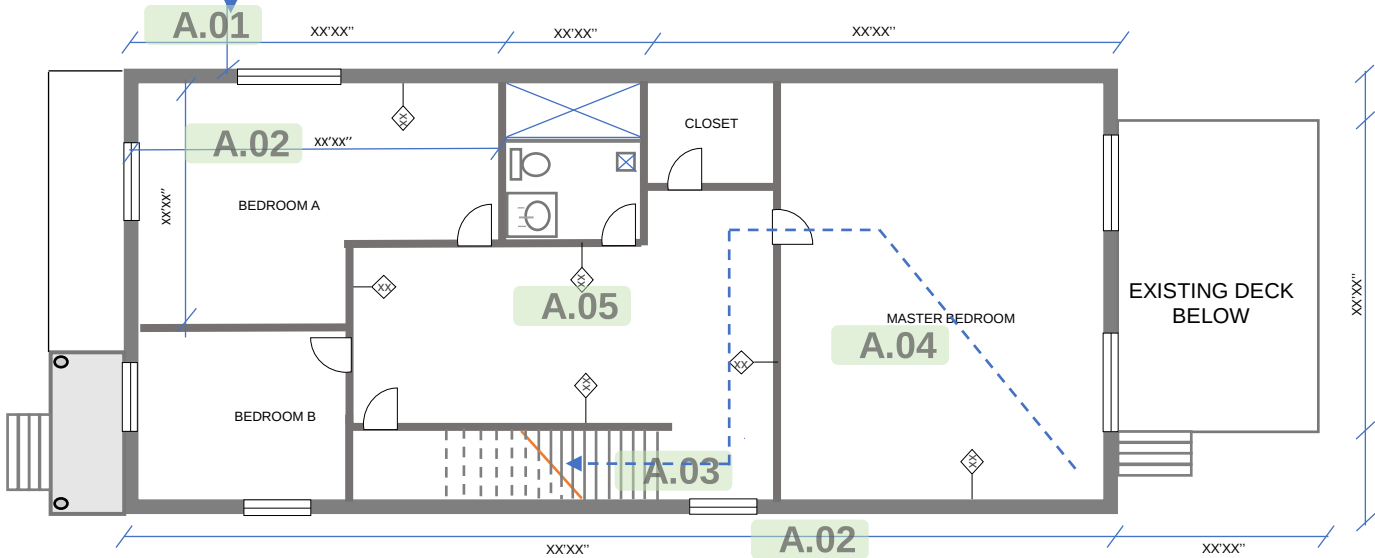
# DOB NOW: All Interior Floor Plans

## ALL FLOOR PLANS WITH MEASUREMENTS SHOWING DAYLIGHT & VENTILATION

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DISTANCE TO PROPERTY LINE, IF APPLICABLE

PROPERTY LINE



### A.09 EGRESS CALCULATIONS

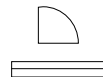
Occupancy	Area	Max Floor Area/Occupant	Occupant Load
R-3	X,XXX SF	XXXX/XXX	XX

Proposed Second floor plan

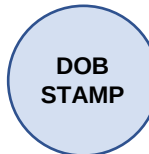


PROPERTY LINE

### A.08



- New 2 HR fire rated wall
- New Fired rated door (FRSC)
- New Window



Date:  
Project No.:  
Drawn By:  
Checked By:  
Drawing #:  
A-000.00

#	Description	Date

**ARCHITECT INFORMATION**

**FILING REP INFORMATION**

**PROJECT NAME & ADDRESS**

**DRAWING TITLE:**  
Sheet Name

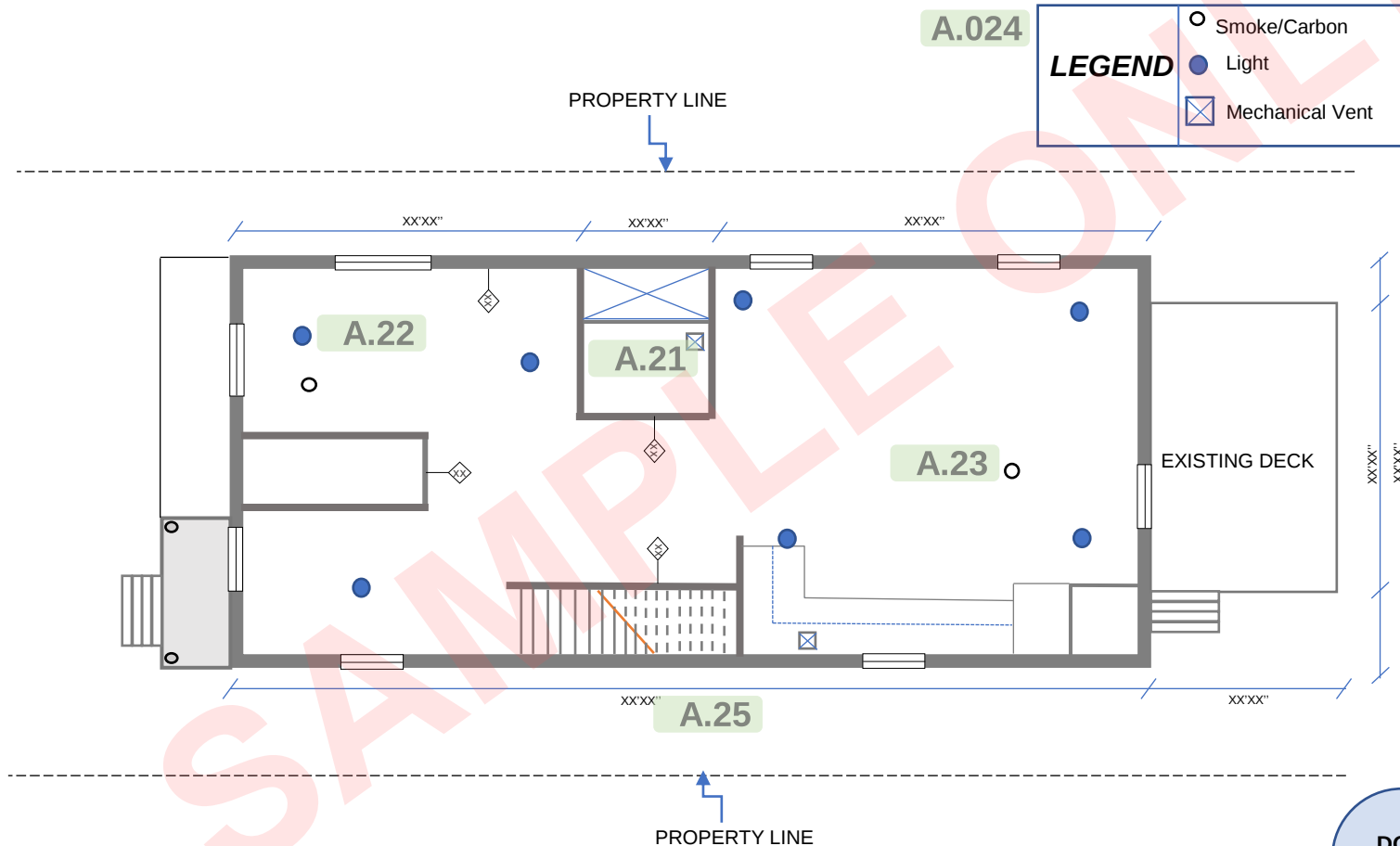
*NOTE: Title block standard as per NYC DOB Plan Examination Guidelines.*

**DOB JOB APPLICATION #**

# DOB NOW: All Interior Floor Plans

## PROVIDE MECHANICAL VENTS, SMOKE/CARBON DETECTORS WHERE NECESSARY

Provide mechanical vents in the bathrooms and kitchens, smoke and carbon detectors in floor plans, and floor where necessary. These should match on the Architecture plans and the Mechanical plans.



#	Description	Date

**ARCHITECT INFORMATION**

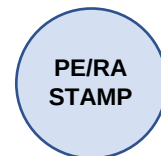
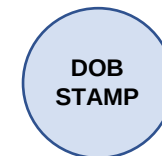
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Sheet Name

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**DOB JOB APPLICATION #**



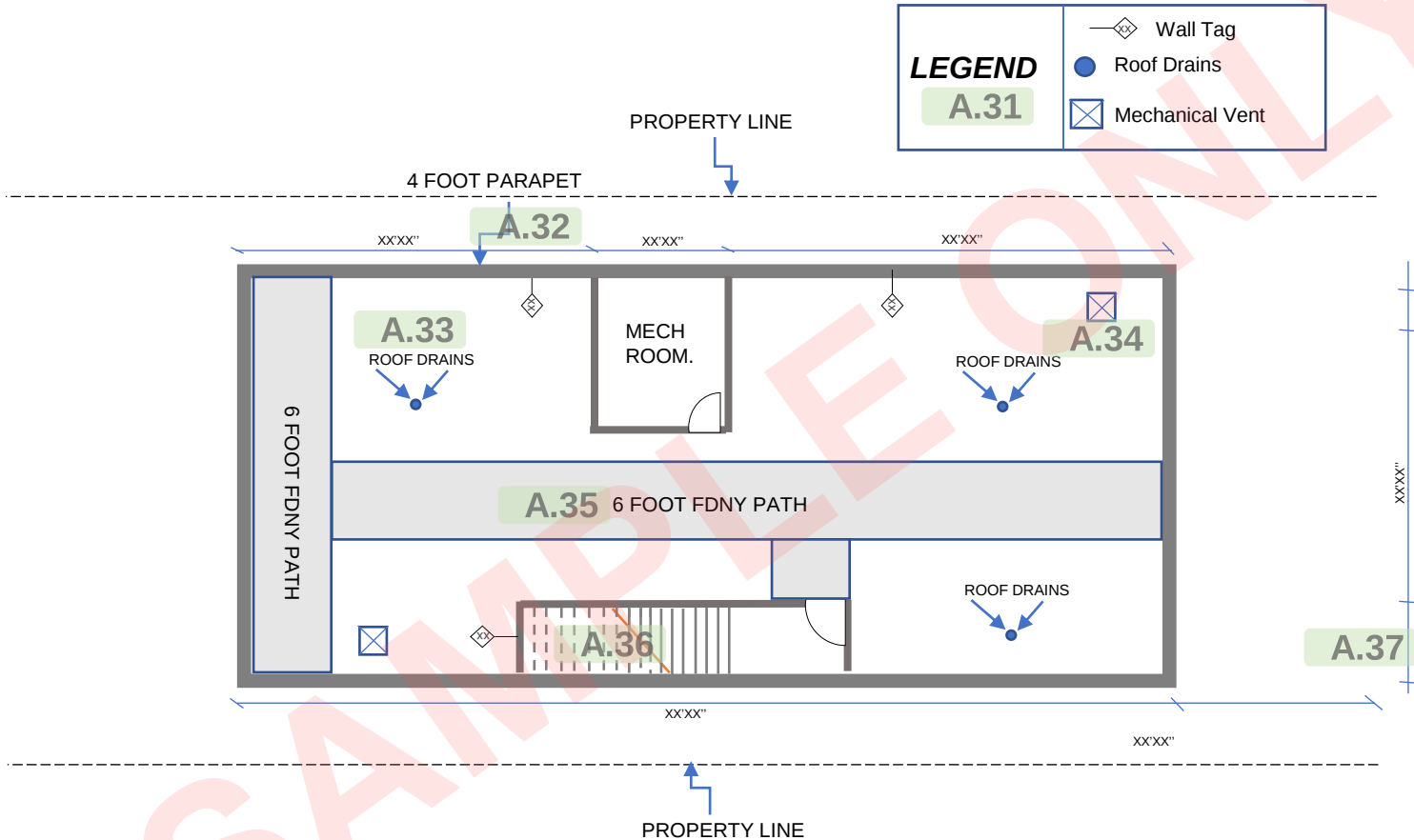
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Project No.:  
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RCP Plan



# DOB NOW: Roof Plans

Roof plan should show FDNY access (Local Law 92, 97, and 99). Provide 6-foot FDNY access path on the roof plan with hatch and measurements. Roof drains and piping should also be called out as well as parapet height, width and any green roofing or skylight.



**LEGEND**

- X Wall Tag
- Roof Drains
- X Mechanical Vent

#	Description	Date

**ARCHITECT  
INFORMATION**

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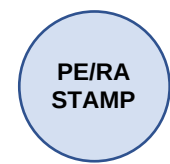
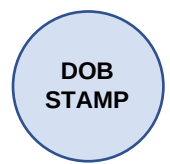
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ADDRESS**

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Sheet Name

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**DOB JOB APPLICATION #**

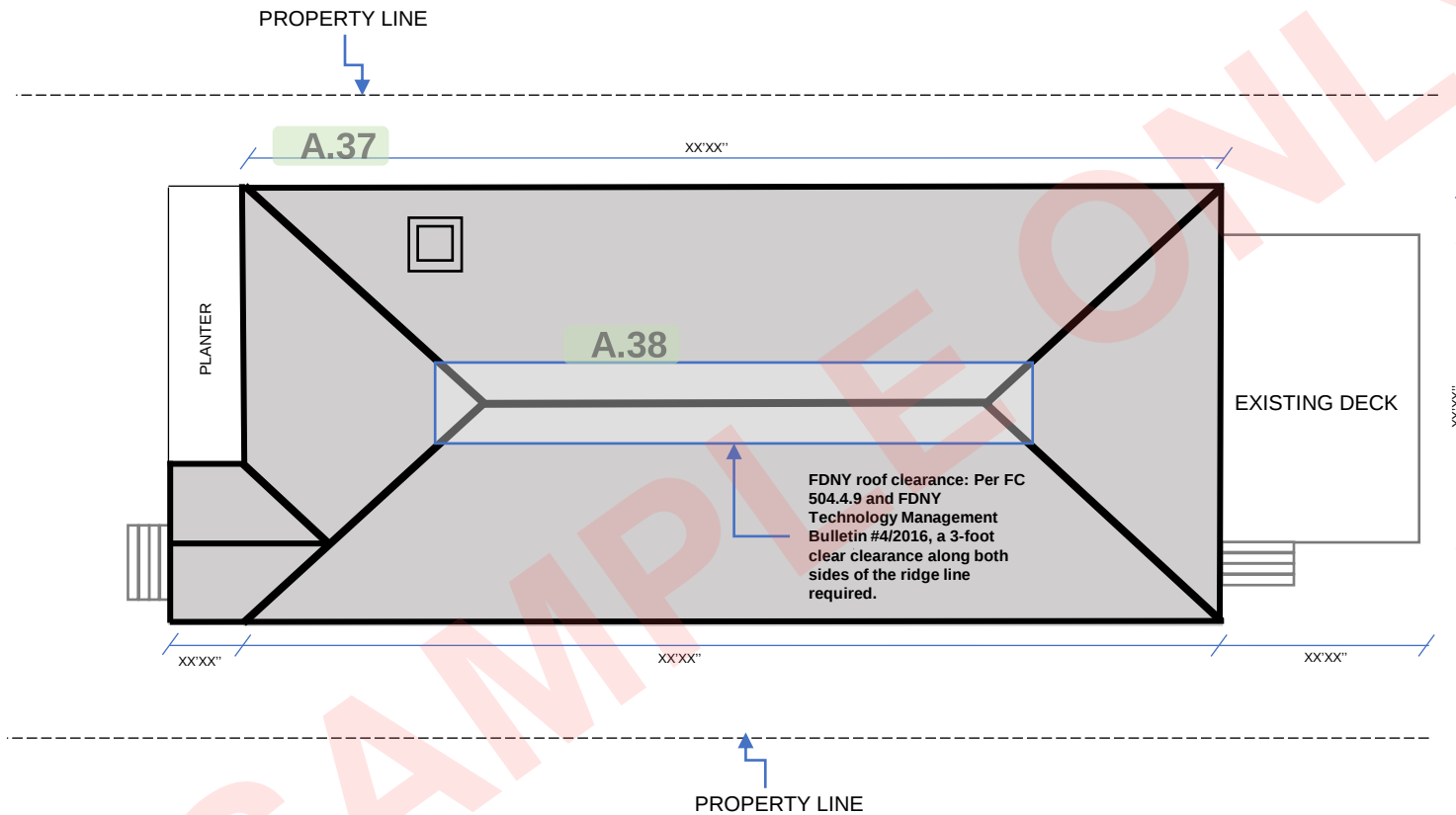
Roof Plan 1



Date:  
Project No.:  
Drawn By:  
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# DOB NOW: Roof Plan (Pitched Roof)

All piping, solar, chimney should be shown on the Roof Plan.



#	Description	Date

**ARCHITECT INFORMATION**

**FILING REP INFORMATION**

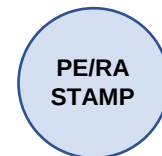
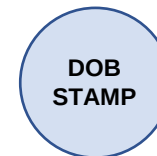
**PROJECT NAME & ADDRESS**

**DRAWING TITLE:**  
Sheet Name

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**DOB JOB APPLICATION #**

Roof Plan 2

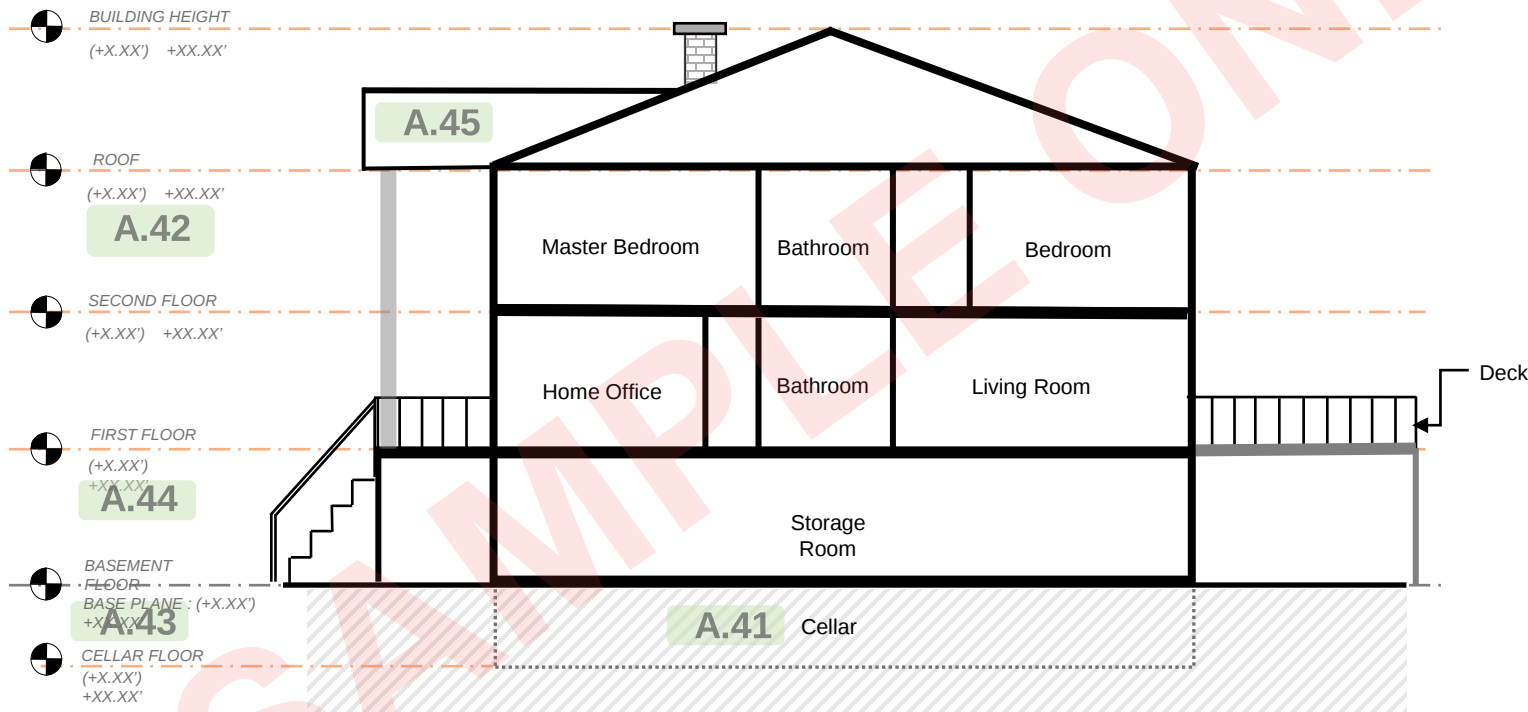


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# DOB NOW: All Alteration Sections

## BUILDING SECTION

Provide a section showing min and max base height of the building. Provide a longitudinal and/or cross sections, indicating the structural and construction elements. These drawings expose and identify the construction elements of the roof, walls, floors, and foundations.



#	Description	Date

**ARCHITECT  
INFORMATION**

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**PROJECT NAME &  
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**DRAWING TITLE:**  
Sheet Name

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**DOB JOB APPLICATION #**

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STAMP**

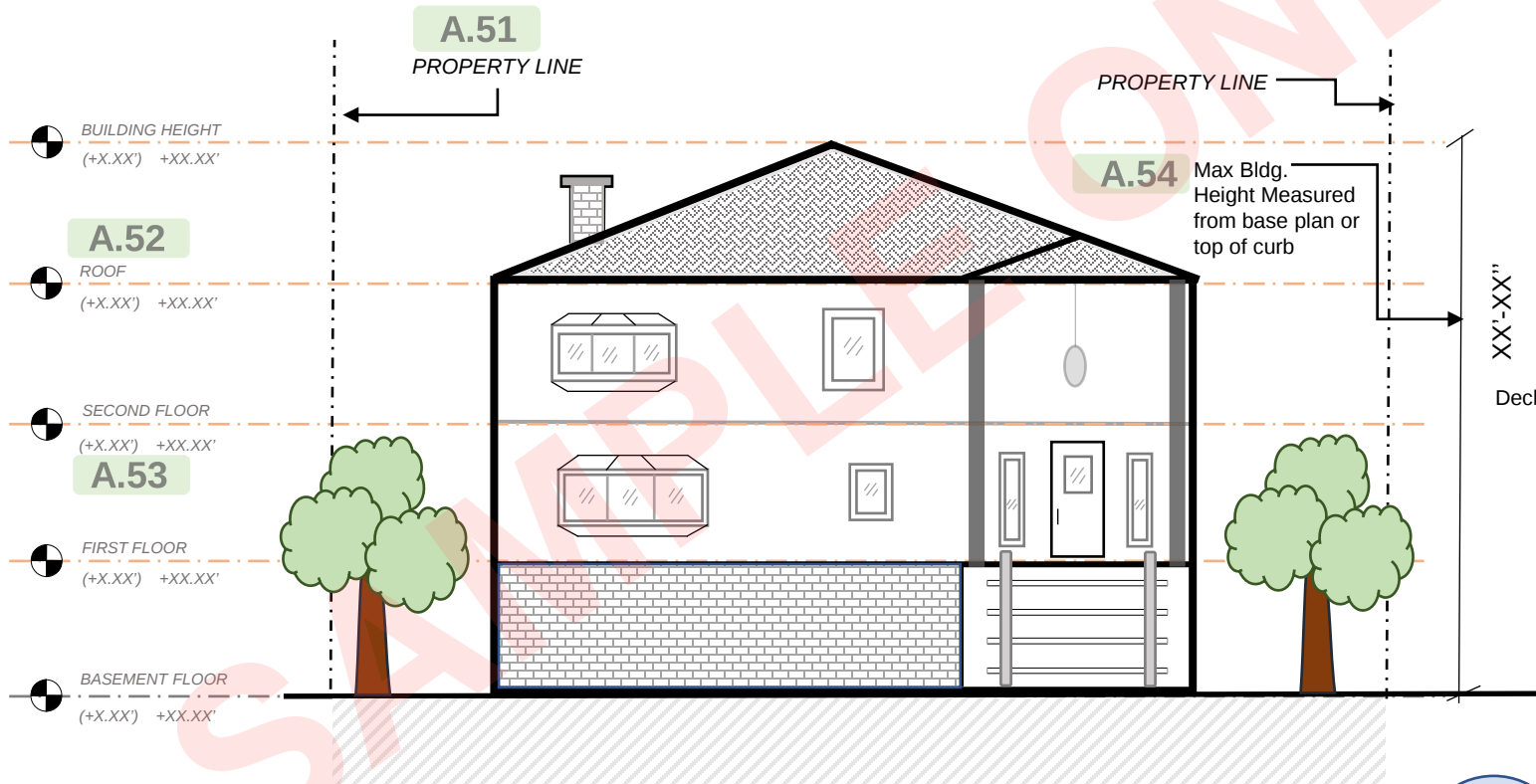
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# DOB NOW: All Alteration Elevations

## ELEVATIONS AND SECTIONS OF THE BUILDING SHOWING HEIGHTS

Show elevations and section details of the building with details and measurements. These should be detailed showing existing and or proposed work. Show heights floor and wall thickness along with fire ratings. A building elevation drawing shows the exterior views of the building, for each building face. The drawings show height relationships and exterior finish information. A building elevation drawing is required for each building face.



#	Description	Date

**ARCHITECT  
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Sheet Name

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Drawn By:  
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# DOB NOW: Energy Analysis

## PROVIDE ENERGY TABLE, APPLICANT'S COMPLIANCE TO NYCECC STATEMENT AND ELECTRICAL PLAN IF APPLICABLE

**2020 Energy Conservation Construction Code of New York State (2020 ECCNYS)**, based on the 2018 edition of the International Energy Conservation Code and ASHRAE 90.1-2016, became effective on May 12th, 2020. Adopted as **Local Law 048 of 2020** (Introduction No. 1816), the **2020 New York City Energy Conservation Code (2020 NYCECC)**, based on the 2020 ECCNYS, aligns with certain provisions of the **NYSERDA NYStretch Energy Code-2020 (as required by Local Law 32 of 2018)**, and further modified, also became effective on May 12th, 2020.

The New York City Energy Conservation Code (NYCECC) sets energy-efficiency standards for new construction and alterations to existing buildings. For more information see Energy Code Guidelines

### A.61

**Energy Code Conservation Code must include:**

- Professional Statement
- Energy Progress Inspection requirements
- Energy Analysis in EN drawings with clear references to supporting documentation found elsewhere in the application
- Supporting Documentation should be shown as applicable in the drawings stated above, or may be included in the EN Set

A.62 COMcheck Checklist			
Section # & Req. ID	Plan Review	COMPLIES?	Comments/Assumptions
XXXXX	XXXXXXXXXXXXX	Y / N	XXXXXXXXXXXXXXXXX
XXXXX	XXXXXXXXXXXXX	Y / N	XXXXXXXXXXXXXXXXX
XXXXX	XXXXXXXXXXXXX	Y / N	XXXXXXXXXXXXXXXXX
XXXXX	XXXXXXXXXXXXX	Y / N	XXXXXXXXXXXXXXXXX
XXXXX	XXXXXXXXXXXXX	Y / N	XXXXXXXXXXXXXXXXX
XXXXX	XXXXXXXXXXXXX	Y / N	XXXXXXXXXXXXXXXXX
XXXXX	XXXXXXXXXXXXX	Y / N	XXXXXXXXXXXXXXXXX
XXXXX	XXXXXXXXXXXXX	Y / N	XXXXXXXXXXXXXXXXX

A.64 THERMAL ELEVATION: Gross Wall/Perimeter Areas and Fenestration Calculation				
Component Type	Type of Dwelling	Gross Area Permitted	Cavity Insulation	U-Factor
XXXXX	MULTIFAMILY	XXX SF	R-13 BATT INSUL.	0.35
XXXXX	MULTIFAMILY	XXX SF	R-13 BATT INSUL.	0.35
XXXXX	MULTIFAMILY	XXX SF	R-13 BATT INSUL.	0.35
XXXXX	MULTIFAMILY	XXX SF	R-19 BATT INSUL.	0.35
XXXXX	SCHOOL	XXX SF	R-13 BATT INSUL.	0.35
XXXXX	OFFICE	XXX SF	R-13 BATT INSUL.	0.35
XXXXX	OFFICE	XXX SF	R-13 BATT INSUL.	0.35
XXXXX	MULTIFAMILY	XXX SF	R-13 BATT INSUL.	0.35

### ENERGY CONSERVATION NOTE

(when applicable)

To the best of my knowledge, belief and professional judgment, these plans and specifications are in compliance with the NYCECC – NYC Conservation Construction Code 2020, using Chapter [specify chapter]

### A.63

**Types of Energy Analysis: ECC OR ASHRAE**

- Tabular
- REScheck
- COMcheck
- Energy Modeling

#	Description	Date

**ARCHITECT INFORMATION**

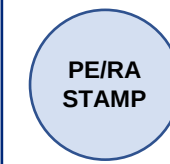
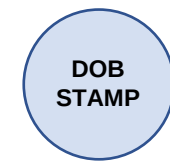
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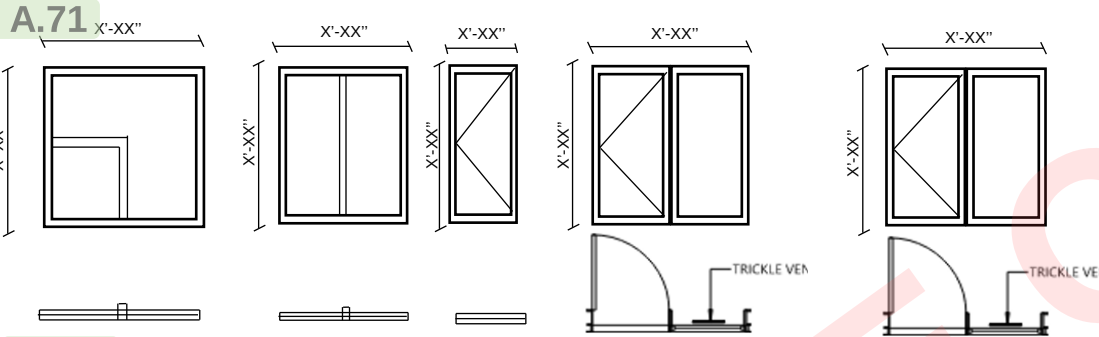


Date:  
Project No.:  
Drawn By:  
Checked By:  
Drawing #:  
**EN-000.00**

# DOB NOW: Door and Window Schedule

## DOOR WINDOW AND WALL SCHEDULES SHOWING U VALUES

Provide both a door and window schedule related to the project with specs and measurements. All doors and windows should be tagged and called out on the floor plans as well. Be sure to show all R-values and U-factors for doors and windows provided for the project.

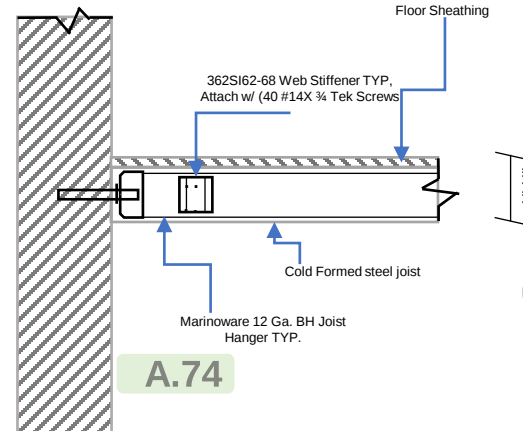
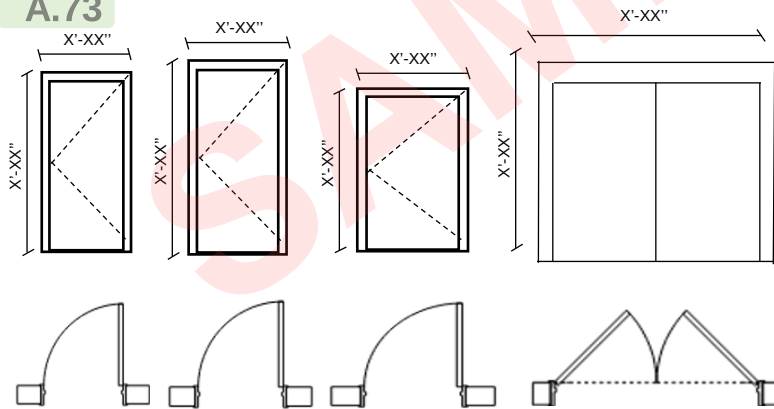


**NOTE:** Have all Fire ratings listed for doors, windows and walls called out on plan and details.

**A.72**

TAG	MANUFACTURER	MODEL	OPERATION	WIDTH	HEIGHT	U-FACTOR	SHGC	AIR LEAKAGE	VT	OITC
W-F1	XXXXXXX	SUPER84	SINGLE SWING OUT	X'-X"	X'-X"	0.26	0.33	< 0.01 CFM SF	0.56	36
W-F2	XXXXXXX	SUPER85	FIXED	X'-X"	X'-X"	0.26	0.33	< 0.01 CFM SF	0.56	36
WF-3	XXXXXXX	SUPER86	TILT TURN	X'-X"	X'-X"	0.26	0.33	< 0.01 CFM SF	0.56	36
WF-4	XXXXXXX	SUPER87	SINGLE SWING OUT	X'-X"	X'-X"	0.26	0.33	< 0.01 CFM SF	0.56	36
W-F5	XXXXXXX	SUPER88	SINGLE SWING OUT	X'-X"	X'-X"	0.26	0.33	< 0.01 CFM SF	0.56	36
W-01	XXXXXXX	SUPER89	SINGLE SWING OUT	X'-X"	X'-X"	0.26	0.33	< 0.01 CFM SF	0.56	36
W-02	XXXXXXX	SUPER90	SINGLE SWING OUT	X'-X"	X'-X"	0.26	0.33	< 0.01 CFM SF	0.56	36

**A.73**



**A.74**

#	Description	Date

**ARCHITECT INFORMATION**

**FILING REP INFORMATION**

**PROJECT NAME & ADDRESS**

**DRAWING TITLE:**  
Sheet Name

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**DOB JOB APPLICATION #**

**DOB STAMP**

**PE/RA STAMP**

Date:  
Project No.:  
Drawn By:  
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Drawing #:  
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