

December 12, 2023
Public Hearing

The current proposal is:

Preservation Department – Items 6 & 7, LPC-24-02994 & LPC-24-02995

**854 Fifth Avenue – R. Livingston and Eleanor T. Beekman House (former
Permanent Mission of Yugoslavia to the UN) – Individual Landmark
Borough of Manhattan**

To testify virtually, please join Zoom

Webinar ID: 858 5310 5698

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Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

NEW YORK CITY
LANDMARKS PRESERVATION COMMISSION

ARCHITECTURAL DRAWINGS & DOCUMENTS
for proposed Restoration & Alteration of:
854 FIFTH AVENUE
New York, NY 10065
Upper East Side Historic District



PETER PENNOYER ARCHITECTS

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ISSUED TO LPC 11/29/23
ISSUED TO LPC 9/27/23
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ISSUE: DATE:

Project:
854 FIFTH AVE
NEW YORK, NY 10065

TITLE SHEET

Seal and Signature:	Date:	05/11/23
	Scale:	1/16" = 1'-0"
	Drawn By:	PPA
	Drawing No.	LPC-00
	Project No.	3760
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PROJECT TEAM

Client Representative: Thornham Residential Holdings Ltd. 10 Norwich Street London EC4A 1BD	Development Manager & Project Manager: Grafton (London) Limited 1-2 Hatfields London SE1 9PG
Structural Engineer: Silman 32 Old Slip 10th Floor New York, NY 10005 212.620.7970	Architect: Peter Pennoyer Architects 136 Madison Avenue 11th Floor New York, NY 10016 212.779.9765
Geotech & SOE Engineer: Langan Engineering 360 West 31st Street 8th Floor New York, NY 10001 212.479.5400	Communications & Public Relations Geto & de Milly, Inc. 276 5th Avenue Suite 806 New York, NY 10001 212.686.4551
Shoring & Demo Sequencing: Plan B Engineering 475 Veit Road Huntingdon Valley, PA 19006 215.638.0767	Land Use Counsel: Kramer Levin Naftalis & Frankel LLP 1177 Avenue of the Americas New York, NY 10036 212.715.9183
MEP Engineer: Consulting Engineering Services 216 East 45th Street 16th Floor New York, NY 10017 646.961.3999	Environmental Services: Langan Engineering 360 West 31st Street 8th Floor New York, NY 10001 212.479.5400
Expediter: Metropolis Group, Inc. 22 Cortlandt Street 10th Floor New York, NY 10007 212.233.6344	Preconstruction Services: Sciame Construction, LLC 14 Wall Street New York, NY 10005 212.232.2200

DOCUMENTATION

- Pre-application drawings (PPA)
- Conservation report (PPA)
- Historical report (Anne Walker & PPA)
- Environmental study (Langan)
- Construction logistics plan (Sciame)
- Site safety & protection plan (Plan B)
- Vibration monitoring plan (Langan)
- Conceptual SOE plan (Langan)
- Builder's pavement plan (Langan)
- Preliminary MEP design (CES)
- Preliminary structural design (Silman)

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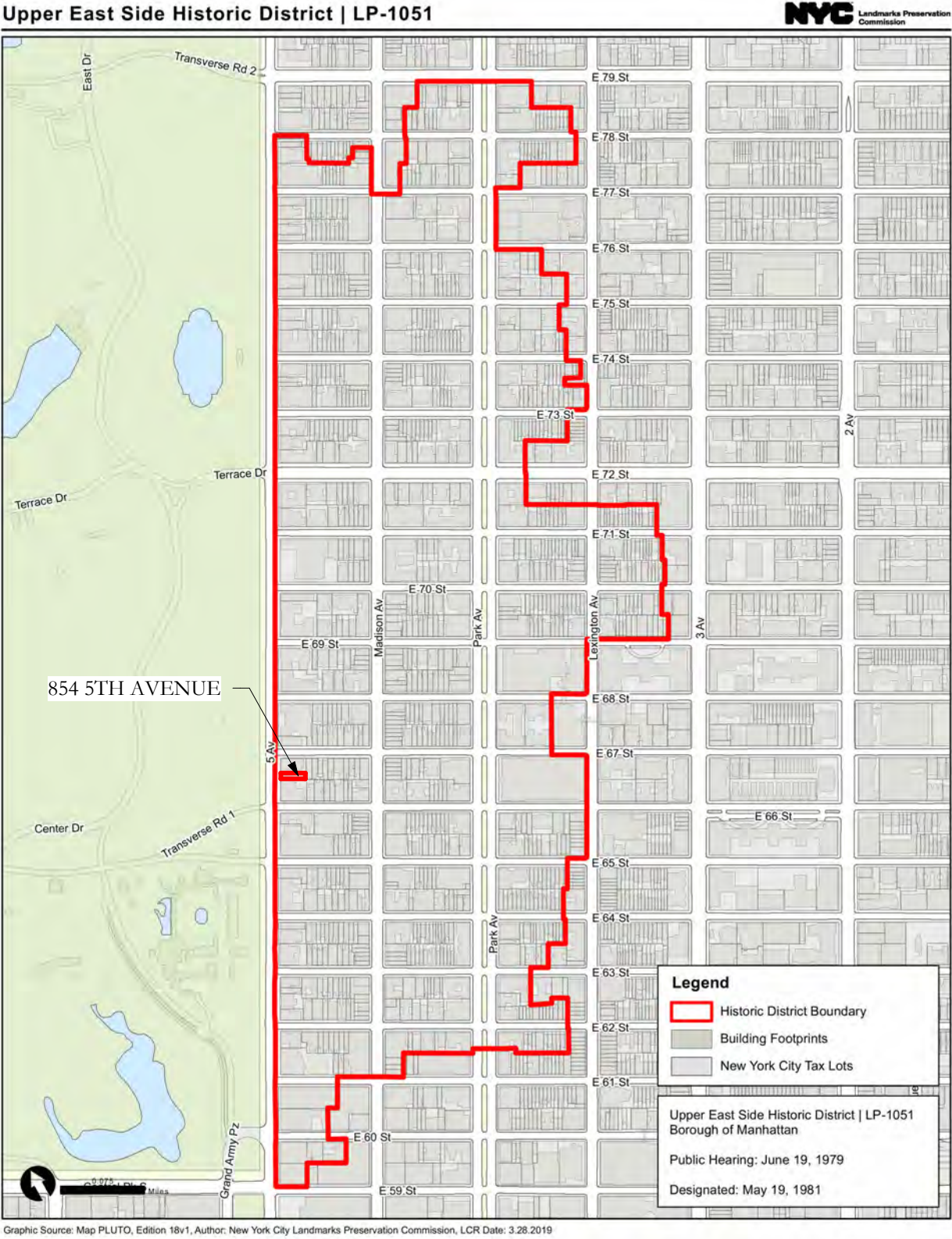
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854 5TH AVENUE: EXISTING CONDITIONS



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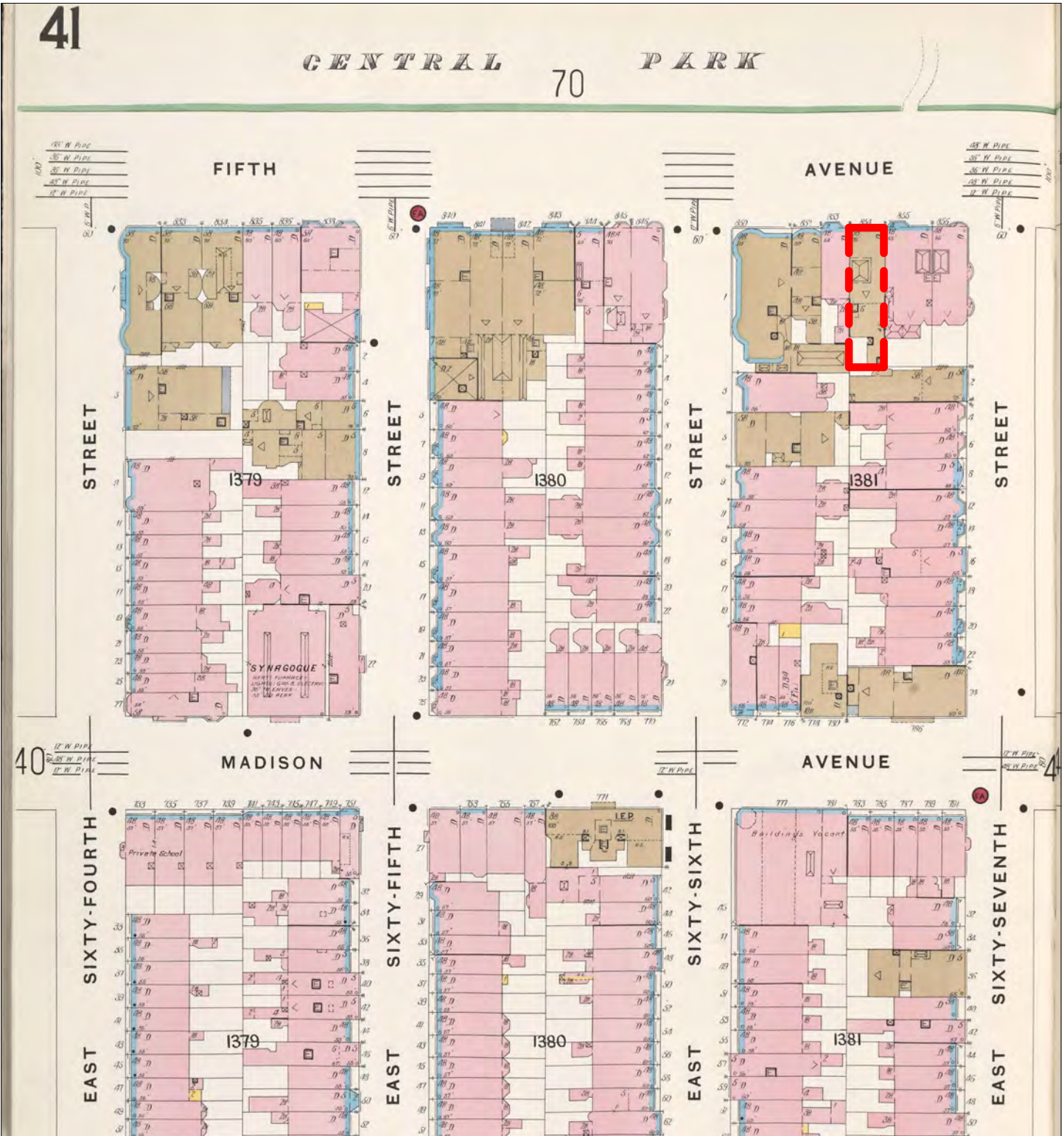
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INTRODUCTION

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854 5TH AVENUE - CIRCA 1910
(OUTER ENTRY DOORS OPEN - INTERIOR GLAZED ENTRY DOORS VISIBLE)



1907 SANBORN MAP

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LOOKING NORTHEAST AT 66TH & 5TH
HAVEMEYER MANSION CIRCA 1901



LOOKING NORTH ALONG 5TH AVE BETWEEN
66TH & 67TH CIRCA 1925



853 5TH AVE: WEST FACADE CIRCA 1920
4TH FLOOR METAL RAILINGS VISIBLE AT 854 5TH AVE.

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DEMOLITION AT 5TH AVE & 67TH STREET
EXPOSED SIDE OF 854 VISIBLE AT RIGHT
CIRCA 1927



LOOKING NORTH ON 5TH AVE
CIRCA 1930



LOOKING SOUTH ON 5TH AVE
CIRCA 1937



LOOKING NORTH ON 5TH AVE
CIRCA 1939



LOOKING SOUTH ON 5TH AVE
1940s NYC TAX PHOTO

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854 5TH AVENUE: WEST FACADE EXISTING CONDITIONS

RESTORATION:

- CLEAN AND RESTORE ALL EXISTING FACADE MASONRY.
- REPAIR AREAS OF MINOR MASONRY DETERIORATION AND REPOINT FULL FACADE.
- PROVIDE NEW COPPER MANSARD, DORMERS, AND PARAPETS TO MATCH ORIGINAL EXACTLY.
- RESTORE 2ND FLOOR BALCONIES, INCLUDING REPLACEMENT OF ALL DETERIORATED UNITS IN-KIND.
- RECONSTRUCT THE FIRE-DAMAGED LIMESTONE FAÇADE MASONRY FROM THE 3RD FLOOR WINDOW SILLS TO THE TOP OF THE CORNICE BALUSTRADE.
- PROVIDE NEW PAINTED BRONZE 4TH FLOOR DORMER RAILINGS TO MATCH ORIGINALS.
- REPLACE ALL DETERIORATED ORIGINAL AND NON-ORIGINAL WINDOW ASSEMBLIES TO MATCH ORIGINALS.

ALTERATIONS:

- RECONSTRUCT LIMESTONE ENTRY STAIR, AREAWAY WALLS, AND FULL BALUSTRADE RAIL TO RESTORE STONE, MEET CODE REQUIREMENTS AND EGRESS, AND INTEGRATE A CONCEALED ADA-LIFT.
- PROVIDE A PAINTED METAL GATE, CODE-COMPLIANT SECONDARY STAIR, LANDINGS, AND RAILINGS FROM THE SIDEWALK TO THE AREAWAY FLOOR AT CELLAR LEVEL.
- RESTORE THE AREAWAY FACADES AND PROVIDE A MODIFIED CELLAR ENTRY OPENING.
- PROVIDE NEW CELLAR ENTRY DOOR AND WINDOW ASSEMBLIES TO MATCH MAIN FACADE.
- REPLACE EXISTING SOLID MAIN ENTRY DOOR WITH A DECORATIVE METAL-AND-GLASS ENTRY DOOR AND TRANSOM ASSEMBLY.

REFER TO ELEVATION & SECTION SHEETS FOR DETAILED SCOPE OF WORK AT PRIMARY AND SECONDARY FACADES.

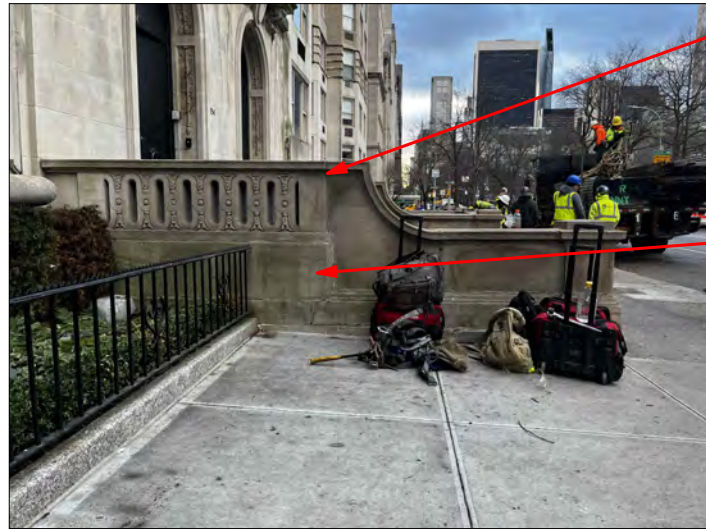
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RESTORATION SUMMARY

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1: VIEW OF ENTRY STAIR NORTH BALUSTRADE

LIMESTONE ENTRY STAIR, BALUSTRADES, AND ENTRYWAY LARGELY UNCHANGED FROM ORIGINAL CONFIGURATION

ENTRY STAIR AREA VARIES IN CONDITION DUE TO EXPOSURE, SETTLING, AND PREVIOUS MAINTENANCE/ALTERATION CAMPAIGNS



STONE GUILLOCHE DETAIL @ ENTRY BALUSTER



2: VIEW OF AREAWAY SOUTH BALUSTRADE

NOTE STONE DISPLACEMENT AND OPEN/WIDE JOINTS

RETAINING WALL ADJ. TO NON-ORIGINAL STAIR IS IN POOR-TO-FAIR CONDITION, HORIZONTAL CRACKS SUGGEST MOVEMENT UNDER LOAD/DURESS, MAY CONCEAL FAILING BRICK OR LIMESTONE UNIT MASONRY, TO BE REPLACED WITH NEW BRICK

ROTTING NON-ORIGINAL, NON-COMPLIANT STAIR DEEPENS APPEARANCE OF NEGLECT AND IS A SAFETY CONCERN, CONCEALS MODERN HVAC EQUIPMENT BENEATH

ALL STREET-LEVEL LIMESTONE MASONRY TO BE SALVAGED, UNITS REPLACED AS NECESSARY, WITH AIM OF RECONSTRUCTION OF ORIGINAL ASSEMBLIES

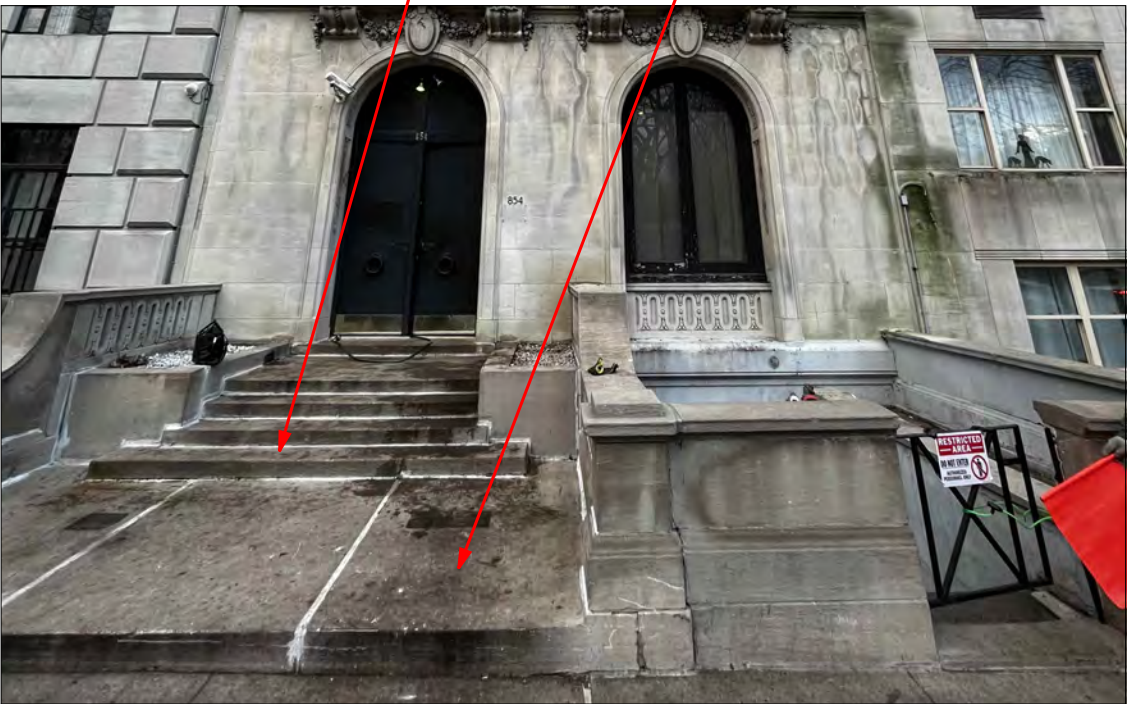
OBSERVE CRACKED & STAINED FRONT RAILING PLINTHS AND LANDING SLABS



4: VIEW DOWN INTO AREAWAY FROM SIDEWALK LEVEL

MATERIAL CONDITIONS OBSCURED BY LIGHT GRAY PAINT

INAPPROPRIATE UTILITY AND SECURITY INSTALLATIONS MAR THE AREAWAY FACADES AND ARE TO BE REMOVED



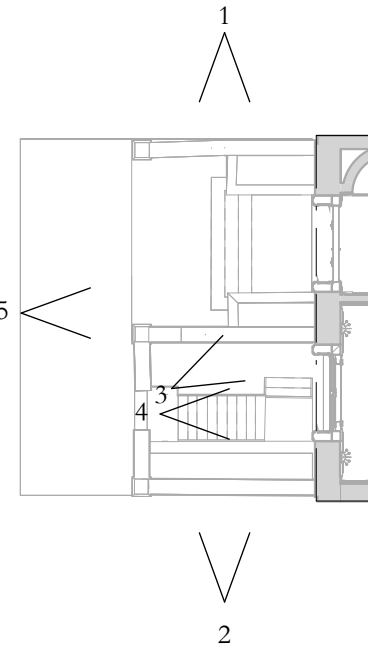
5: EXISTING FRONT ENTRY STAIR & AREAWAY



3: VIEW DOWN INTO AREAWAY FROM SIDEWALK LEVEL FACING ENTRY STAIR & CELLAR ENTRY

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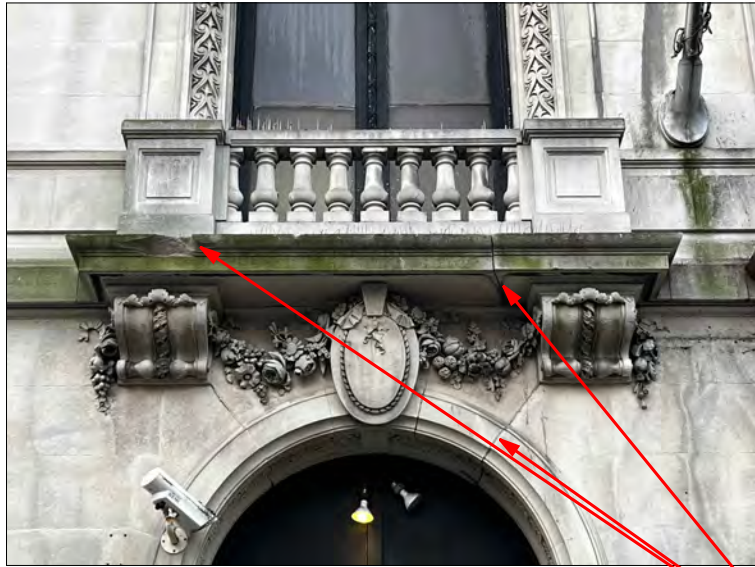
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EXISTING CONDITIONS -
ENTRY STAIR & AREAWAY

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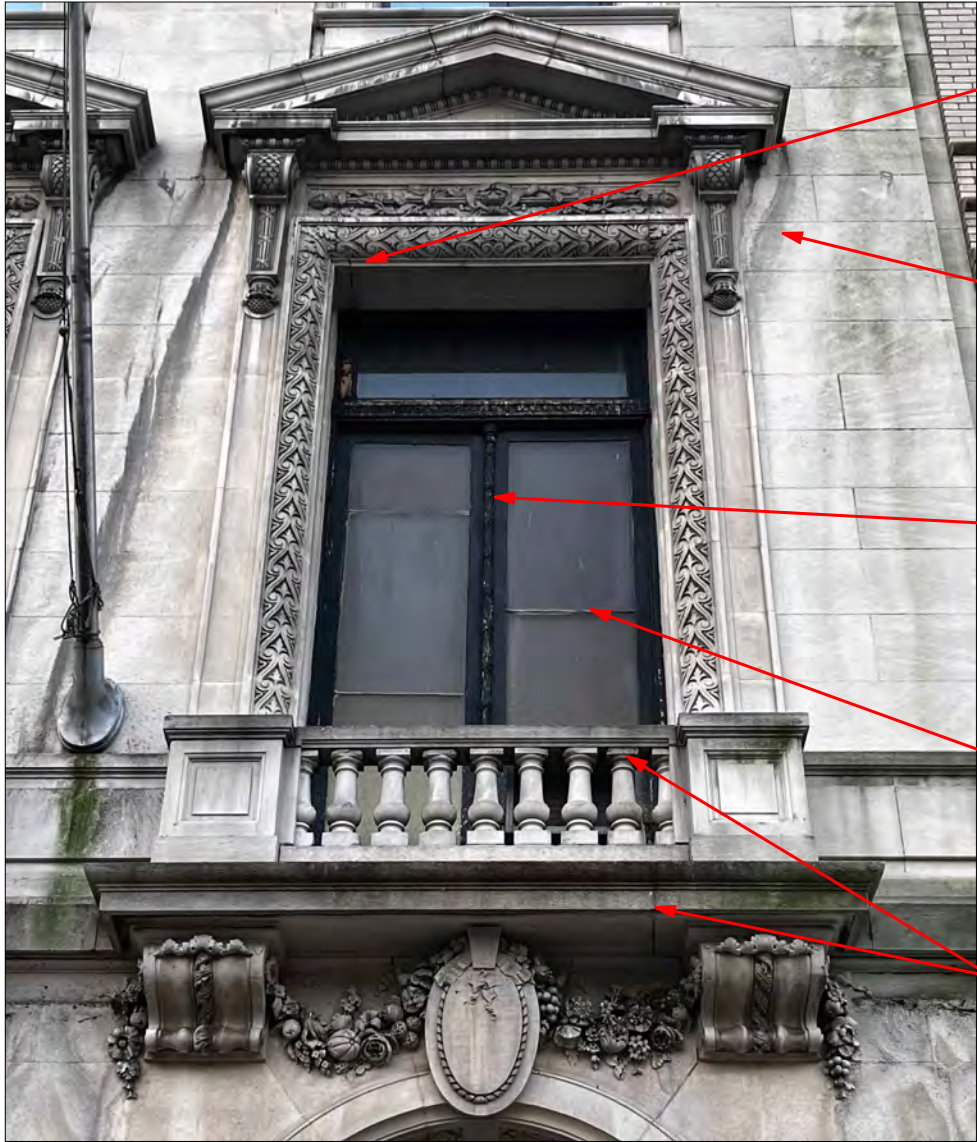
1: WEST FACADE - 2ND FLOOR: NORTH BALCONY

NOTE CRACK IN BALCONY SLAB, MECHANICAL DAMAGE TO BALCONY EDGE, VOUSSOIR SLIPPAGE OVER ENTRY DOOR, AND GENERAL STAINING

EXISTING EXTERIOR ENTRY DOOR IS A REPLACEMENT THOUGH INTENDED TO EVOKE THE ORIGINAL



2: WEST FACADE - 1ST FLOOR ENTRY DOOR



3: WEST FACADE - 2ND FLOOR: SOUTH WINDOW

BALUSTERS ARE IN POOR CONDITION AND REQUIRE REPLACEMENT DUE TO MATERIAL FAILURE



4: WEST FACADE - 2ND FLOOR BALUSTRADE

VOUSSOIR SLIPPAGE PRESENT IN JACK ARCH OF BOTH 2ND STORY WINDOW SURROUNDS

WEATHERING AND STAINING DUE TO CONCENTRATED RUNOFF FROM PEDIMENT

EXISTING DOORS ARE IN POOR CONDITION; REPLACEMENT UNIT WILL MATCH EXISTING IN ALL ASPECTS

GLAZING AND A/C MODIFICATIONS MAR THE APPEARANCE OF THE ORIGINAL 2ND FLOOR INSWING FRENCH DOORS

POOR CONDITION AND MATERIAL FAILURES EVIDENT IN BALCONY SLAB AND BALUSTERS

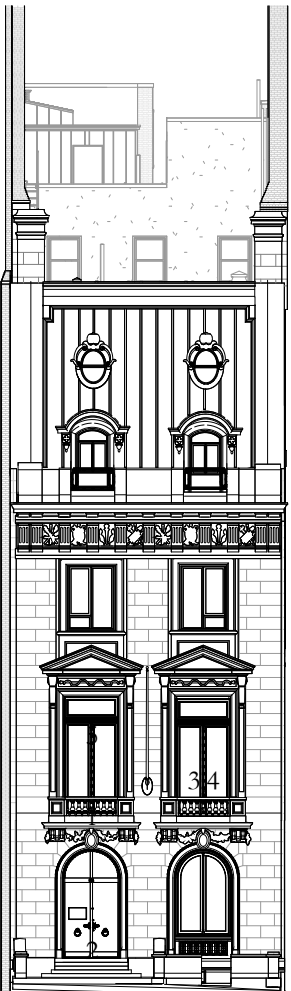
VOUSSOIR SLIPPAGE EVIDENT; ORIGINAL TRANSOM MULLION IS CHALKY AND CHECKED



5: WEST FACADE - 2ND FLOOR: NORTH PEDIMENT

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EXISTING CONDITIONS - WEST
FACADE

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1: CORNICE ABOVE 3RD FLOOR NORTH WINDOW



2: HEADER & CORNICE ABOVE 3RD FLOOR NORTH WINDOW



3: HEADER & CORNICE ABOVE 3RD FLOOR SOUTH WINDOW



4: 3RD FLOOR NORTH WINDOW

EXTENSIVE DAMAGE ON 3RD FLOOR FACADE TO CORNICE AND WINDOWS, PARTICULARLY OF NORTH SIDE

NON-ORIGINAL ALUMINUM WINDOWS ARE SET IN PLYWOOD BLOCKING WITH LARGE GAPS, NO BRICK MOULDING, AND POOR INTEGRATION INTO BOTH INTERIOR FINISHES AND EXTERIOR ENVELOPE

SIGNIFICANT SPALLS AT PIERS, BRONZE RAILINGS ARE LOOSE WITH MINIMAL ANCHORAGE AND MISSING ELEMENTS

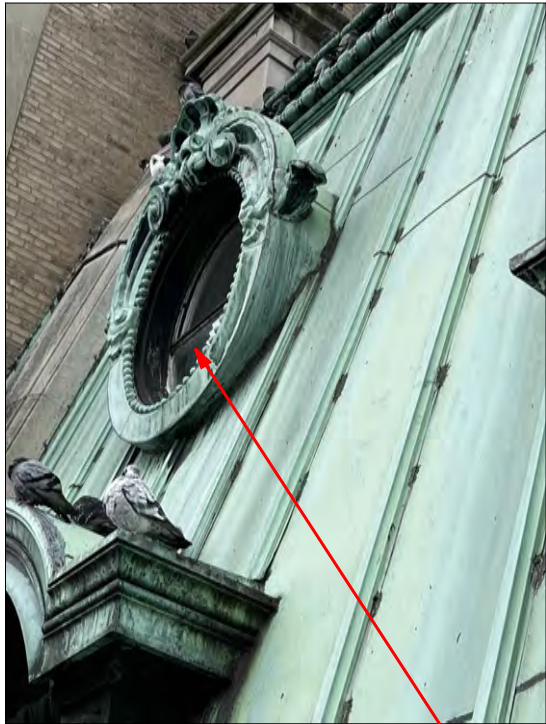
WIDESPREAD STAINING DUE TO COPPER / BRONZE LEACHING INTO STONE AND MORTAR

TWO OF THE FOUR CARVED PANEL TYPES; THE OTHER TWO: CROSSED TORCH-AND-QUIVER AND PLAQUE-OVER-CROSSED SCEPTERS



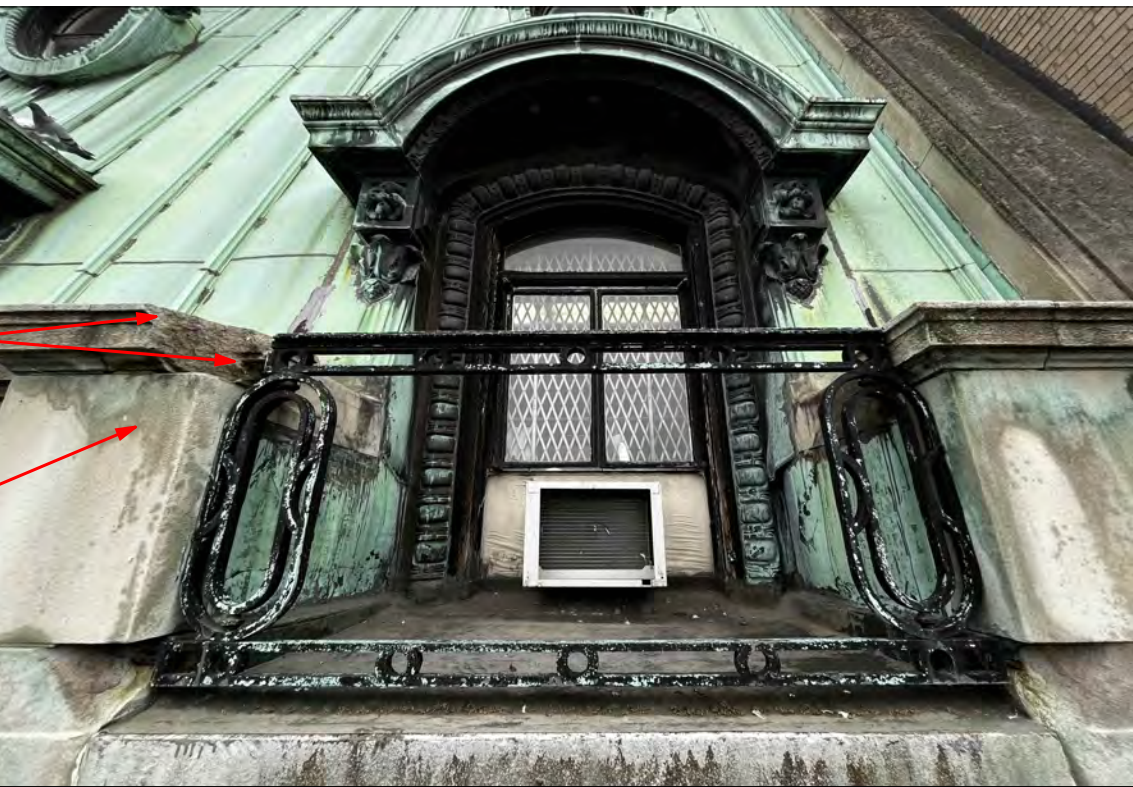
5: 4TH FLOOR NORTH DORMER

NOTE PATINA, PATCHING, AND SOME MECHANICAL DAMAGE, AS WELL AS ADJACENT ROOF PATCHING OVER LIMESTONE BALUSTRADE



6: 5TH FLOOR NORTH OCULUS WINDOW

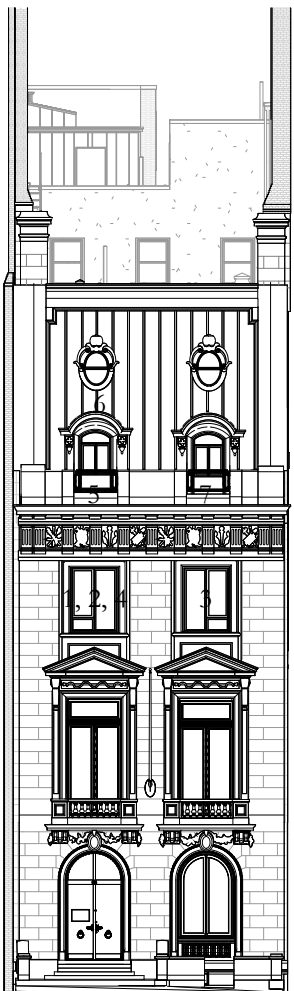
NON-ORIGINAL WINDOW WITH INSWING HOPPER



7: 4TH FLOOR SOUTH DORMER

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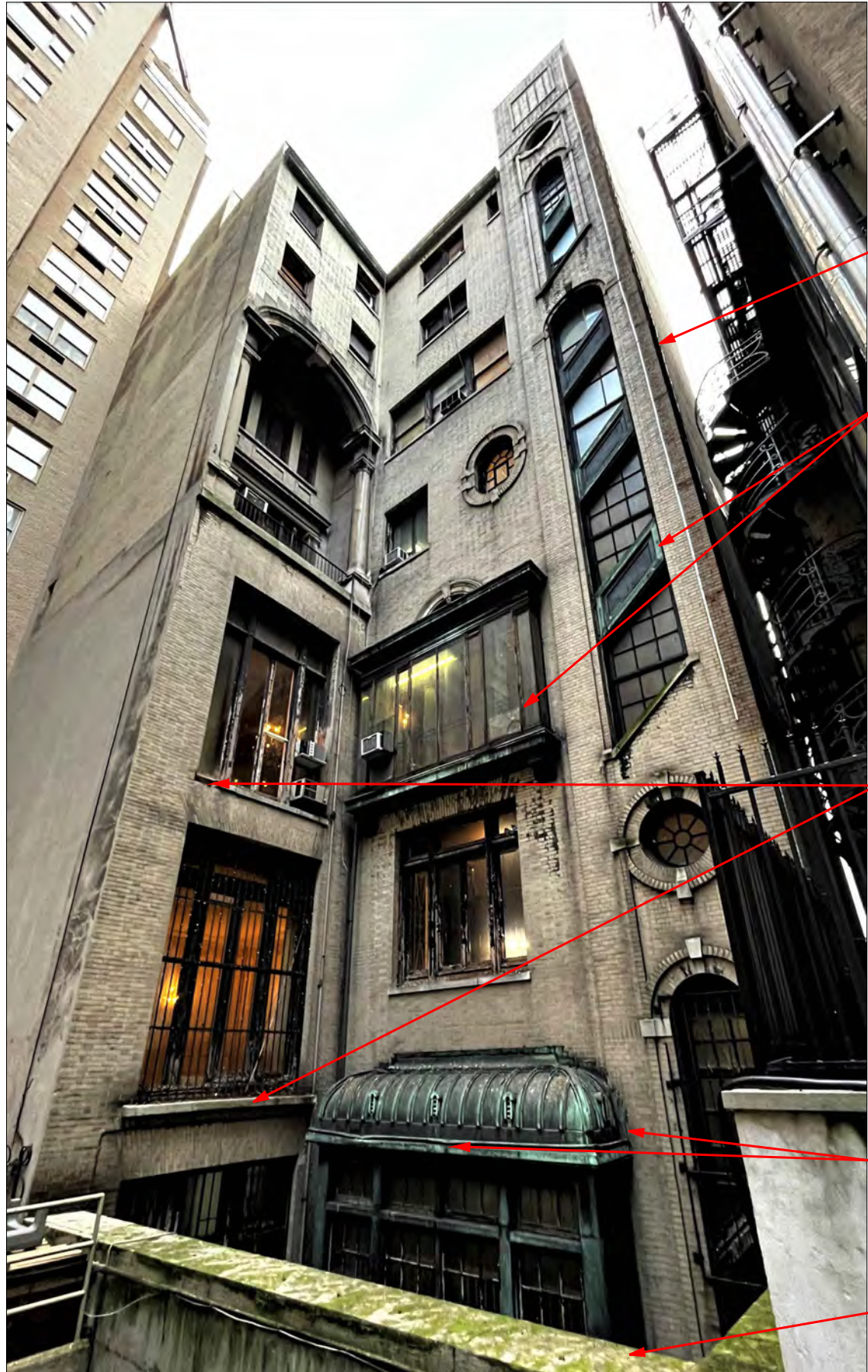
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EXISTING CONDITIONS - WEST
FACADE

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SOUTHEAST SETBACK FACADES - OVERALL

DETERIORATED SAFETY RAILING AND COPPER GUTTER ON ROOF; DRAIN OUTLET IS UNDERSIZED

CRACKED, LOOSE, AND FAILING BRICK MASONRY PRESENT ALONG SOUTHEAST CORNER; WIRE MESH IN PLACE

HEAVY CORROSION PRESENT ON STEEL AND SHEET METAL CLAD WINDOW ASSEMBLIES

VOUSOIR DISPLACEMENT ALONG ARCH; RUST-STAINING AT ARCHITRAVE ABOVE COLUMN SUGGESTS CORRODING EMBEDDED STEEL

DAMAGE TO 2ND FLOOR LIMESTONE SILL; DELFECTION OF 1ST FLOOR SILL SUGGESTS CORROSION OF SPANDREL STEEL BELOW

MASONRY CRACKS IN SEVERAL LOCATIONS AROUND AND WITHIN THE LOGGIA; NON-ORIGINAL METAL RAILING IS LOOSE AND DEFLECTS EASILY UNDER LOAD

ORNAMENTAL COPPER ASSEMBLIES ARE IN POOR-TO-FAIR CONDITION WITH HEAVY PATINATION AND SOME ELEMENT LOSS, INTEGRATION WITH ADJACENT FACADE MATERIALS IS SUBJECT TO POTENTIAL LEAKAGE

COPING IS THE TOP OF THE 2-STORY RETAINING WALL AROUND THE REAR YARD



6TH FLOOR WINDOWS AND ROOF



3RD & 4TH FLOOR LOGGIA

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EXISTING CONDITIONS -
SETBACK FACADES

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WIDESPREAD CRACKING, PATCHING, BRICK LOSS AND DISPLACEMENT AT EMBEDDED STRUCTURAL STEEL COLUMNS AND BEAMS INDICATES SEVERE CORROSION AND PACK-RUSTING. THESE CONDITIONS ARE A HIGH PRIORITY FOR STRUCTURAL INTEGRITY AND SAFETY



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EXISTING CONDITIONS -
LOTLINE FACADES

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NORTH LOTLINE FACADE

EAST LOTLINE FACADE



1: ROOF BULKHEAD LEVEL - EXISTING PASSENGER ELEVATOR BULKHEAD

STEEL PIPE RAILING IS POORLY INTEGRATED WITH ROOF MEMBRANE, HEAVILY CORRODED, AND NOT SUFFICIENT PROTECTION



2: ROOF BULKHEAD LEVEL - COPPER CLAD BULKHEAD FOR REAR SERVICE STAIRWELL



3: 6TH FLOOR - EXISTING 6TH FLOOR WEST FACADE AND ADJACENT ROOF

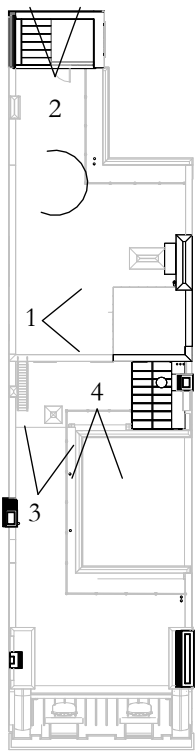
LOW-SLOPE ROOFING IN POOR CONDITION, EXHIBITING PONDING, AND ARE SERVED BY UNDERSIZED DRAINS AND GUTTERS



4: 6TH FLOOR - VIEW WEST OVER INTERIOR COURT TOWARD CENTRAL PARK

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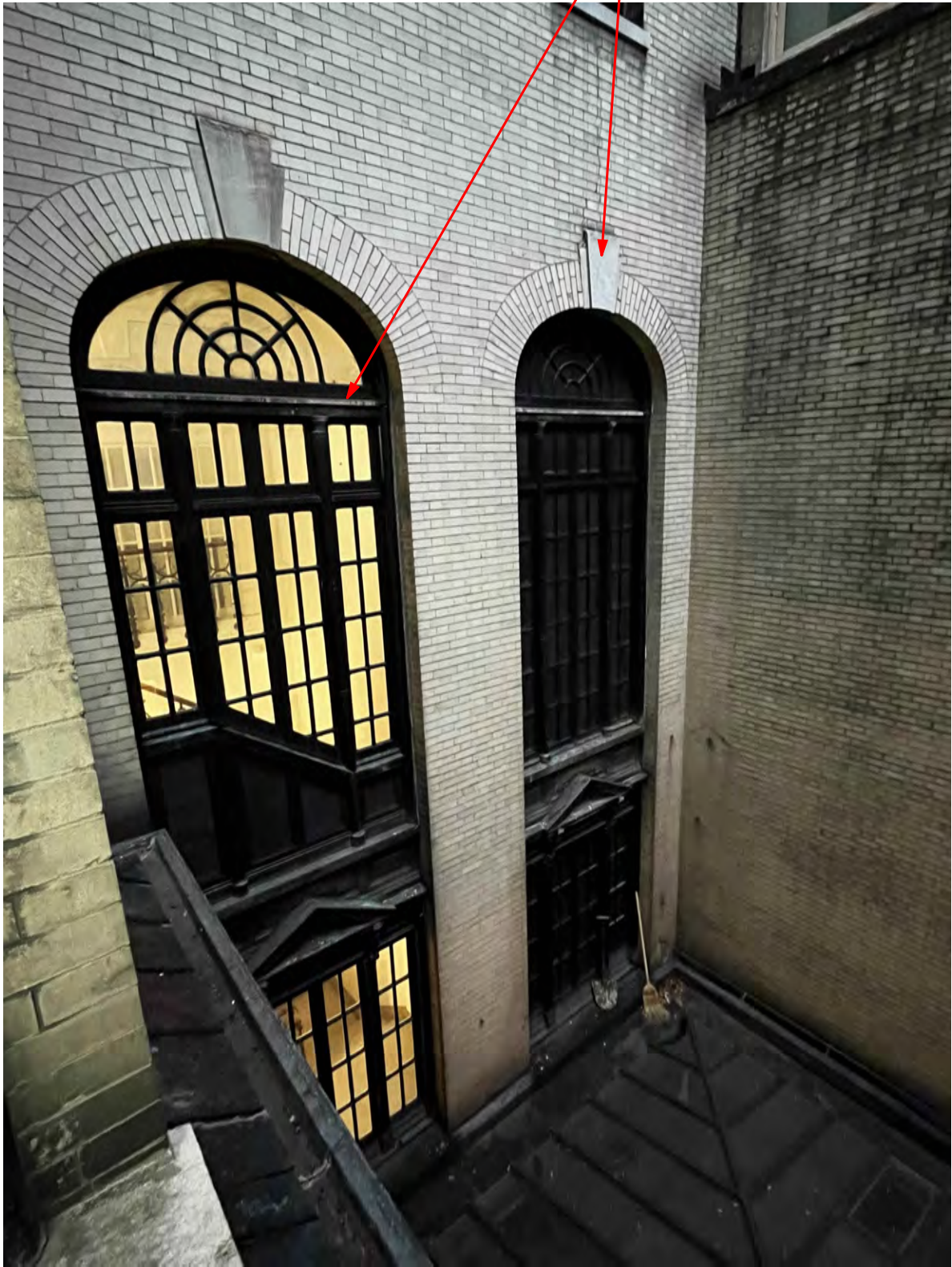
EXISTING CONDITIONS -
ROOFTOP AND BULKHEADS

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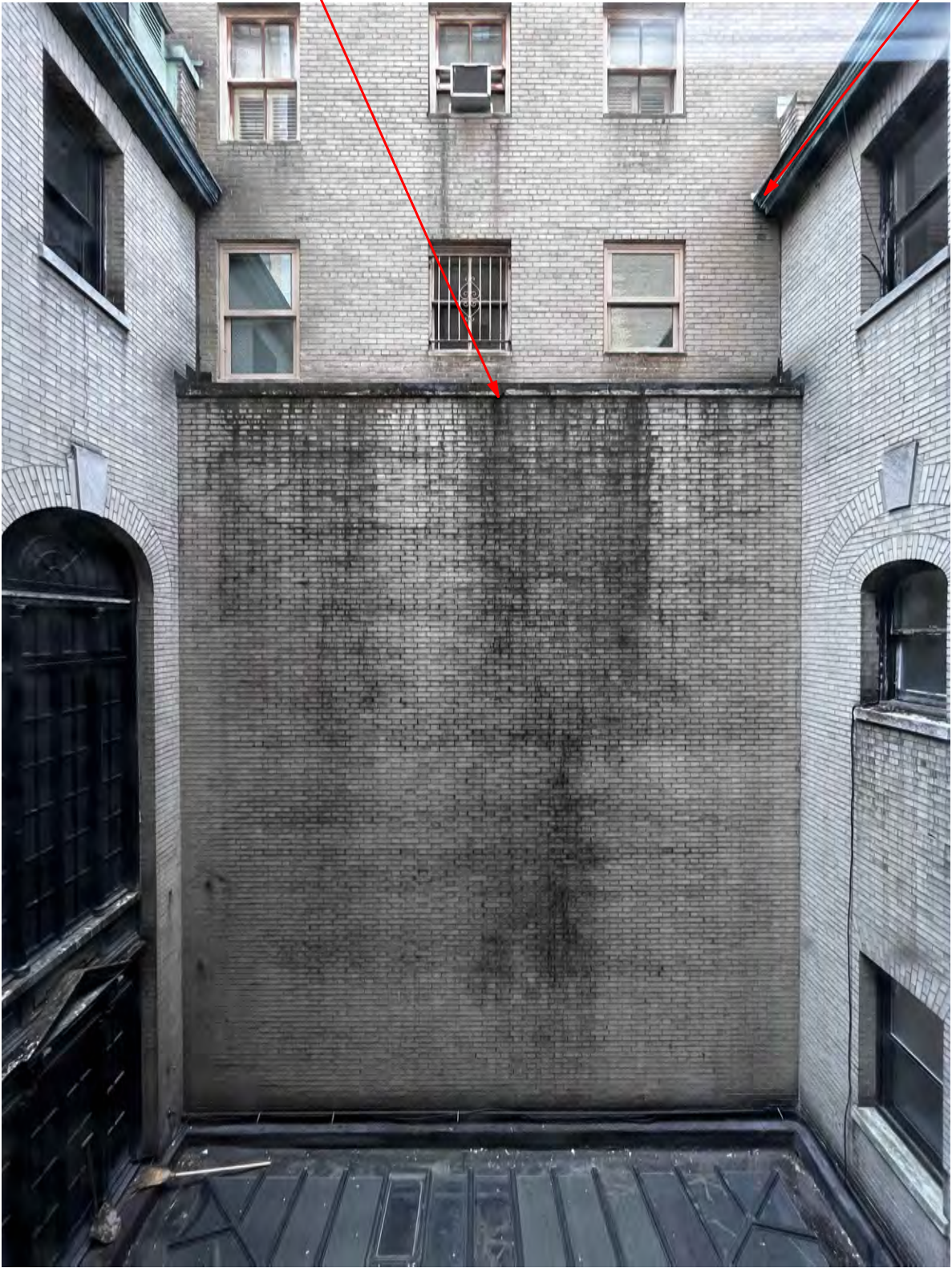
LIMESTONE KEY HAS SLIPPED SLIGHTLY FROM ORIGINAL LOCATION; PAINTED SHEET METAL CLAD WINDOWS EXHIBIT LIMITED MECHANICAL DAMAGE WITH SOME CORROSION ON WASH SURFACES

MASONRY FACADES AT INTERIOR COURT EXHIBIT HEAVY SOLING AND STAINING, PARTICULARLY IN AREAS BELOW COPPER CORNICES AND LIMESTONE SILLS

PITCH AND DRAIN SIZE/LOCATION AT UPPER CORNICE GUTTER ARE INADEQUATE FOR ROOF SIZE LEADING TO OVERFLOWS DURING RAIN EVENTS



EAST WALL OF INTERIOR COURT



SOUTH WALL OF INTERIOR COURT

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MASONRY FACADES EXHIBIT EXTENSIVE VERTICAL
CRACKS SUGGESTING DISPLACEMENT DURING
ADJACENT EXCAVATION COMPOUNDED BY ONGOING
SPANDREL BEAM CORROSION.



WEST WALL OF INTERIOR COURT

3RD FLOOR PROJECTING BAY IS HEAVILY ALTERED
DUE TO FIRE DAMAGE; INADEQUATE DRAINAGE AND
FAILING MAIN ROOF GUTTER CONTRIBUTE TO
INTERIOR LEAKAGE, STRUCTURAL STEEL CORROSION
AND WIDESPREAD STAINING OF THE MASONRY.



NORTH WALL OF INTERIOR COURT

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DEMOLITION:

Masonry

- Remove & salvage upper limestone copings for reinstallation; copper battens, oculus surrounds, parapet moldings, consoles, and dormers for replication.
- Remove & discard all roof assembly to reveal structural framing.
- Shore mansard roof assembly to allow cornice and balustrade restoration below.
- Allow the 3rd floor window sills:
- A. Remove & salvage all limestone facade, lintel, cornice & balustrade elements for restoration and/or replication in-kind.
- Remove & salvage all wood window assemblies for replication; remove & discard non-original aluminum windows and wood outer entry door.
- Remove all bird-proofing, paint, soiling, and adhesive from facade masonry.
- Remove & discard existing flagpole and ferrous anchors for reinstallation.
- Remove & salvage deteriorated 2nd floor balustrade & deflecting jack arch units for replication and reinstallation.
- Rake brick/limestone mortar joints in preparation for repointing.

CONSTRUCTION:

- Provide remedial repairs to concealed structural steel and concrete assemblies per PE recommendations.
 - Provide new limestone masonry assemblies to match originals exactly (Allow 100% cornice & balustrade, 50% frieze, & 75% 3rd flr window openings)
 - Provide new LCC wash flashing assembly over full cornice and through balustrade to integrate with the mansard roof and waterproofing.
 - Provide new mansard roof assembly, including new copper to match original detailing exactly, including roof pans, battens, coping base flashing, oculus surrounds, dormers, parapet moldings and consoles.
 - Reinstall salvaged upper limestone copings.
 - Restore 2nd floor balconies with new balusters, grouted slab cracks, and reset arch units with new leadT caps at wash joints.
 - Repoint facade masonry joints with new mortar to match existing exactly.
 - Provide new painted bronze entry door assembly.
 - Provide new painted window and door assemblies at existing openings LPC
- Refer to 3/27/23 for related entry door and window details of work LPC & DCP PRE-APP. MTGS. 7/27/23

ISSUE:

D-ATTN:

Project:

854 FIFTH AVE
NEW YORK, NY 10065

EXISTING & PROPOSED WEST
ELEVATIONS

Seal and Signature:

Date:

05/11/23

Scale:

3/32" = 1'-0"

Drawn By:

PPA

Drawing No.

LPC-15

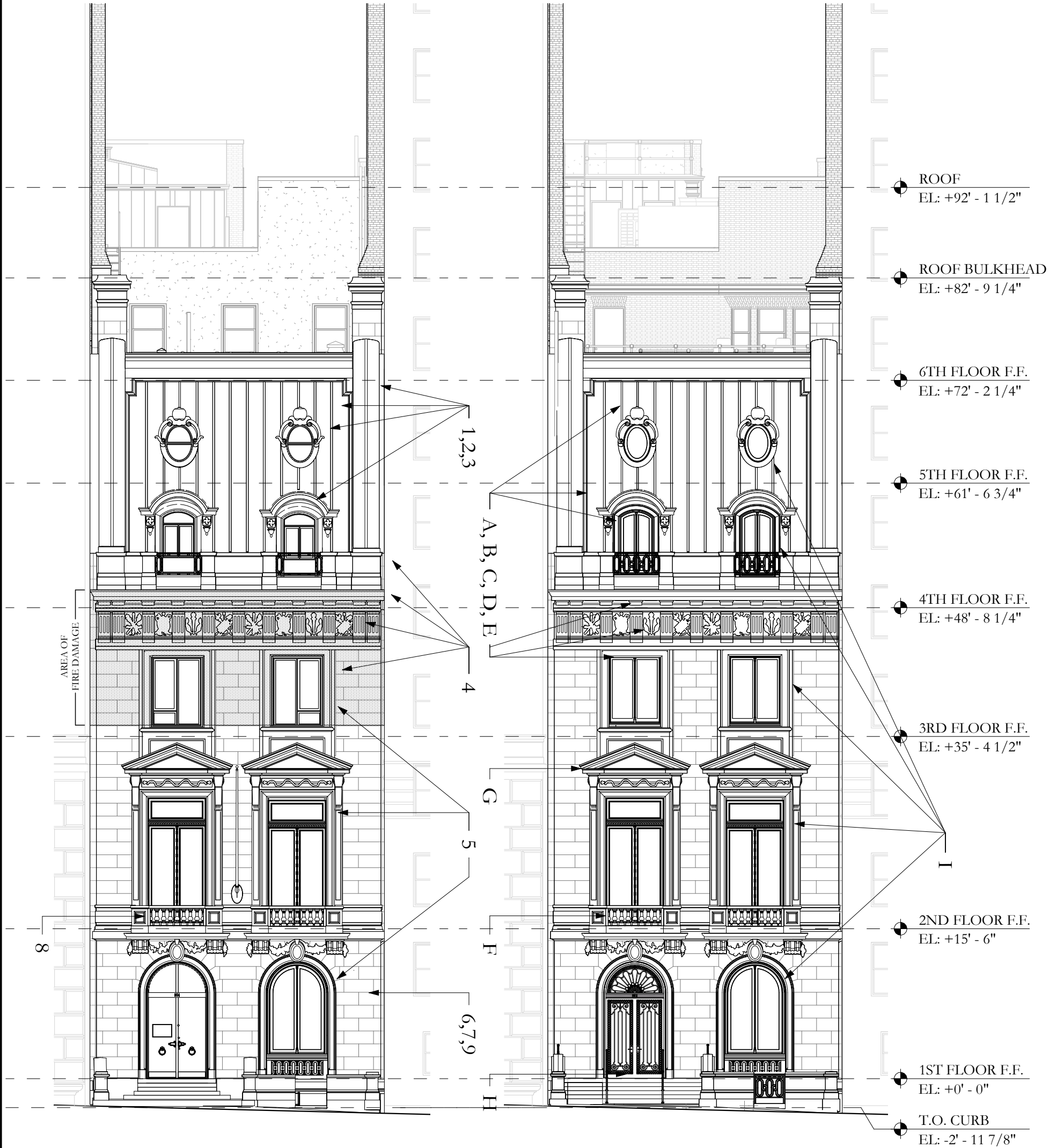
Project No.

3760

16 of 71

1 EXISTING WEST ELEVATION
LPC-15 3/32" = 1'-0"

2 PROPOSED WEST ELEVATION
LPC-15 3/32" = 1'-0"



A, B, D

Telephone 212 779 9765

DEMOLITION:

1. Remove & discard existing safety railings, plumbing vents, chimney & copper cap, service stair bulkhead, & roofing.
2. Remove & salvage for replication existing stair tower standing seam copper cladding at west elevation.

Facades:

3. Remove & salvage areas of cracked/displaced brick & limestone masonry to expose structural steel issues (Allow 20% South Setback Facade).
4. Remove and discard non-original aluminum and steel window assemblies at 2nd floor projecting bay and 3rd floor.

6. Remove and discard non-original steel security grilles.
7. Remove and salvage existing copper cornice gutter, if floor projecting bay, and cellar mansard bay assemblies for replication.
8. Rake brick/limestone mortar joints in preparation for repointing.
9. Remove and salvage all existing wood and/or copper-clad window & door assemblies for replication.

CONSTRUCTION

- A. Provide remedial repairs to concealed structural steel and concrete assemblies per PE recommendations.
B. Provide new brick and limestone masonry assemblies to match originals exactly, including 100% airway retaining wall copings. (Allow 20% South Setback Facade.)

- C.** Provide new roof and wall structure sheathing, waterproofing, copper cladding, pipe rafter, roof access ladder, copper gutters/windows, entry doors, & flashing to extend existing service stair/elevator tower builthead to align with existing setback east facade.
- D.** Provide new or restored painted wood or copper-clad window and door assemblies at existing and new openings to match originals exactly.

- E.** Provide new copper cornice gutter assembly, 3rd floor projecting bay, and cellar mansard bay assemblies to match originals exactly.

Refer to LC-50 for detailed elevation of the 7th floor bulkhead additions ISSUED TO L.P.C. 11/29/23

ISSUED TO LPC 9/27/23

LPC & DCP PRE-APP. MTGS. 7/27/23

ISSUE: _____ DATE: _____

Project:

854 FIFTH AVE
NEW YORK, NY 10065

EXISTING & PROPOSED SOUTH ELEVATIONS

Seal and Signature:

05/11/23

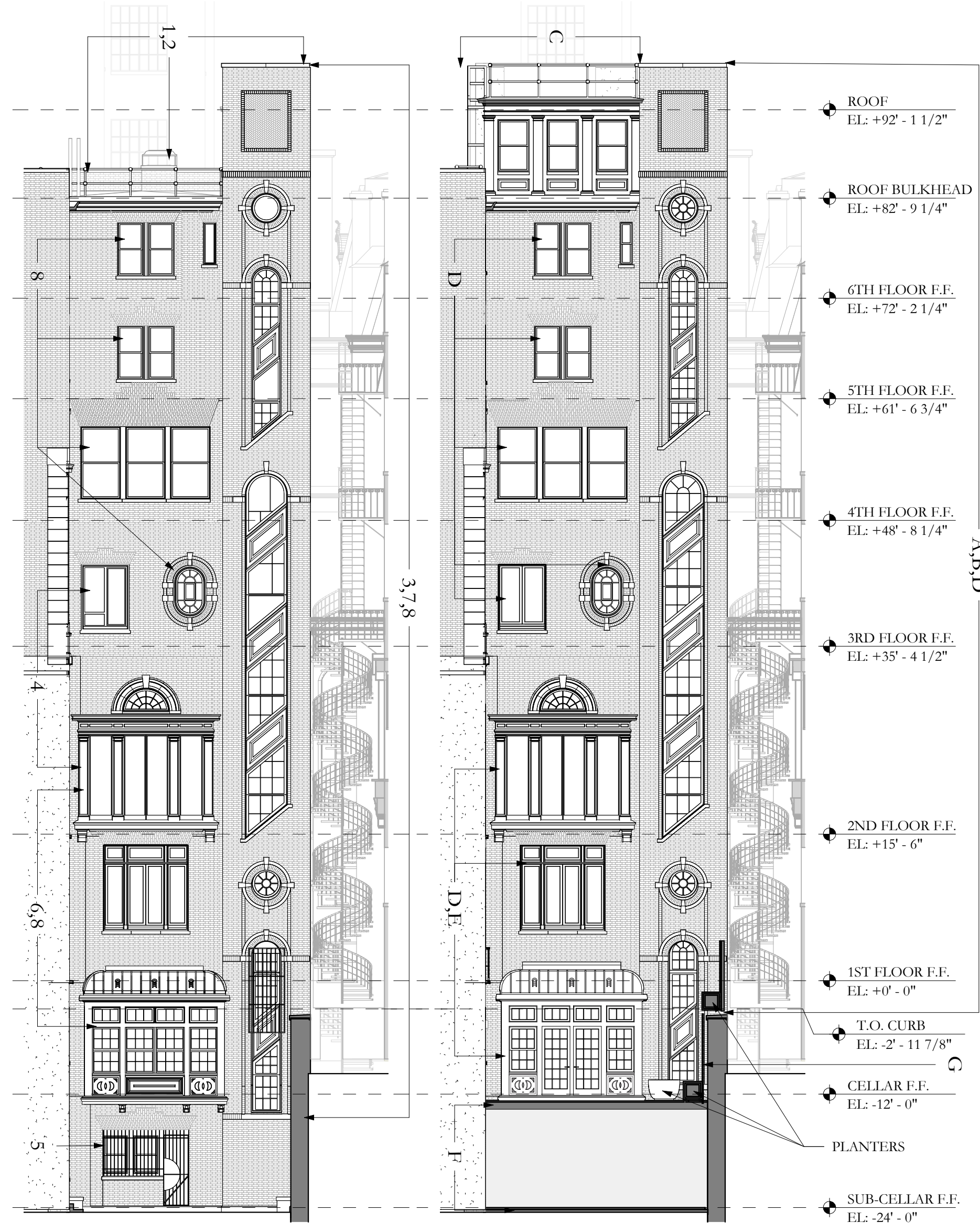
Scale:

$3/32" = 1'-0"$
Drawn By:

Drawing No.

LPC-16

Project No.	
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1	EXISTING SOUTH ELEVATION
LPC-16	3/32" = 1'-0"

2	PROPOSED SOUTH ELEVATION
LPC-16	3/32" = 1'-0"



BRICK TO BE
REMOVED AND
REPLACED

ROOF
EL: +92' - 1 1/2"

ROOF BULKHEAD
EL: +82' - 9 1/4"

6TH FLOOR F.F.
EL: +72' - 2 1/4"

5TH FLOOR F.F.
EL: +61' - 6 3/4"

4TH FLOOR F.F.
EL: +48' - 8 1/4"

3RD FLOOR F.F.
EL: +35' - 4 1/2"

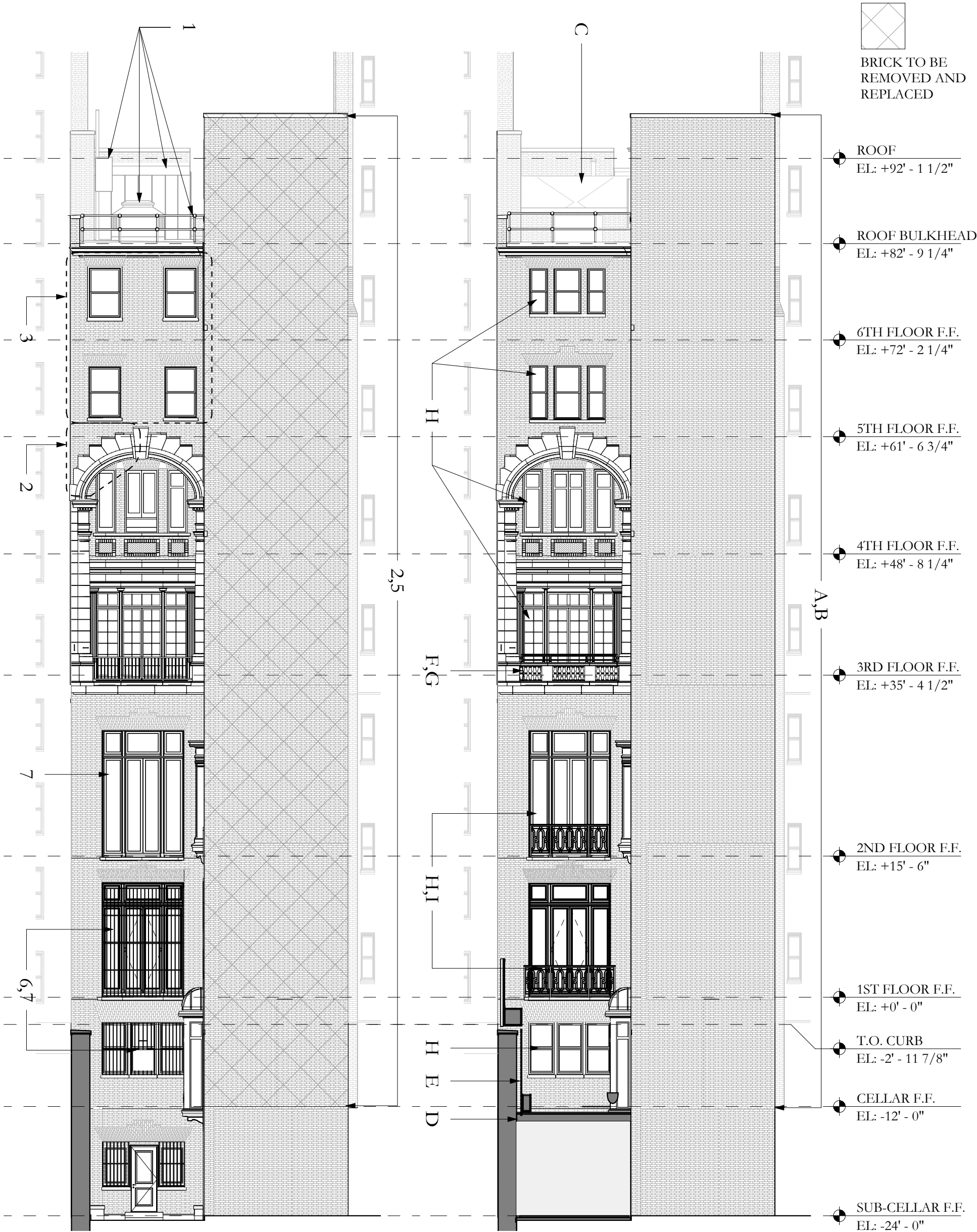
2ND FLOOR F.F.
EL: +15' - 6"

1ST FLOOR F.F.
EL: +0' - 0"

T.O. CURB
EL: -2' - 11 7/8"

CELLAR F.F.
EL: -12' - 0"

SUB-CELLAR F.F.
EL: -24' - 0"



1 EXISTING EAST ELEVATION
LPC-17 3/32" = 1'-0"

2 PROPOSED EAST ELEVATION
LPC-17 3/32" = 1'-0"

PETER PENNOYER ARCHITECTS

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DEMOLITION:

1. Remove & discard existing safety railings, water tank bulkhead, HVAC equipment, skylight monitor & roofing.
2. Remove & salvage areas of cracked/displaced brick & limestone masonry to expose structural steel issues (Allow spandrel & arch over Loggia and 100% East Loftline Facade).
3. Remove & discard existing East Setback Facade 5th & 6th floor windows and brick masonry to create new window openings.
4. Remove & non-original Loggia safety railing.
5. Rake brick/limestone mortar joints in preparation for repointing.
6. Remove and discard non-original steel security grilles.
7. Remove and salvage all existing wood window & door assemblies for replication.

CONSTRUCTION:

- A. Provide remedial repairs to concealed structural steel and concrete assemblies per PE recommendations.
- B. Provide new brick and limestone masonry assemblies and report all elements to match originals exactly, including 100% arcway retaining wall copings. (Allow spandrel & arch over Loggia and 100% East Loftline Facade)
- C. Provide new HVAC & MEP installations atop new damage.
- D. Provide new roof structure, sheathing, waterproofing, flashing, and pavers above arcway at cellar floor level.
- E. Provide new flashing and interior stucco wall finish at rear yard retaining walls.
- F. Provide new loggia waterproofing, drainage, and finished tile floor assembly.
- G. Provide new loggia limestone balustrade to match original exactly, including new bronze code-compliant railing extension.
- H. Provide new painted wood and copper-clad window and door assemblies at existing and new openings.
- I. Provide new decorative, code-compliant safety railings at 1st and 2nd floor window openings.
- J. Provide new copper cornice gutter assembly.
- K. Provide new painted stainless steel pipe railing.

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EXISTING & PROPOSED EAST ELEVATIONS

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Date:
05/11/23

Scale:

As indicated

Drawn By:

PPA

Drawing No.

LPC-17

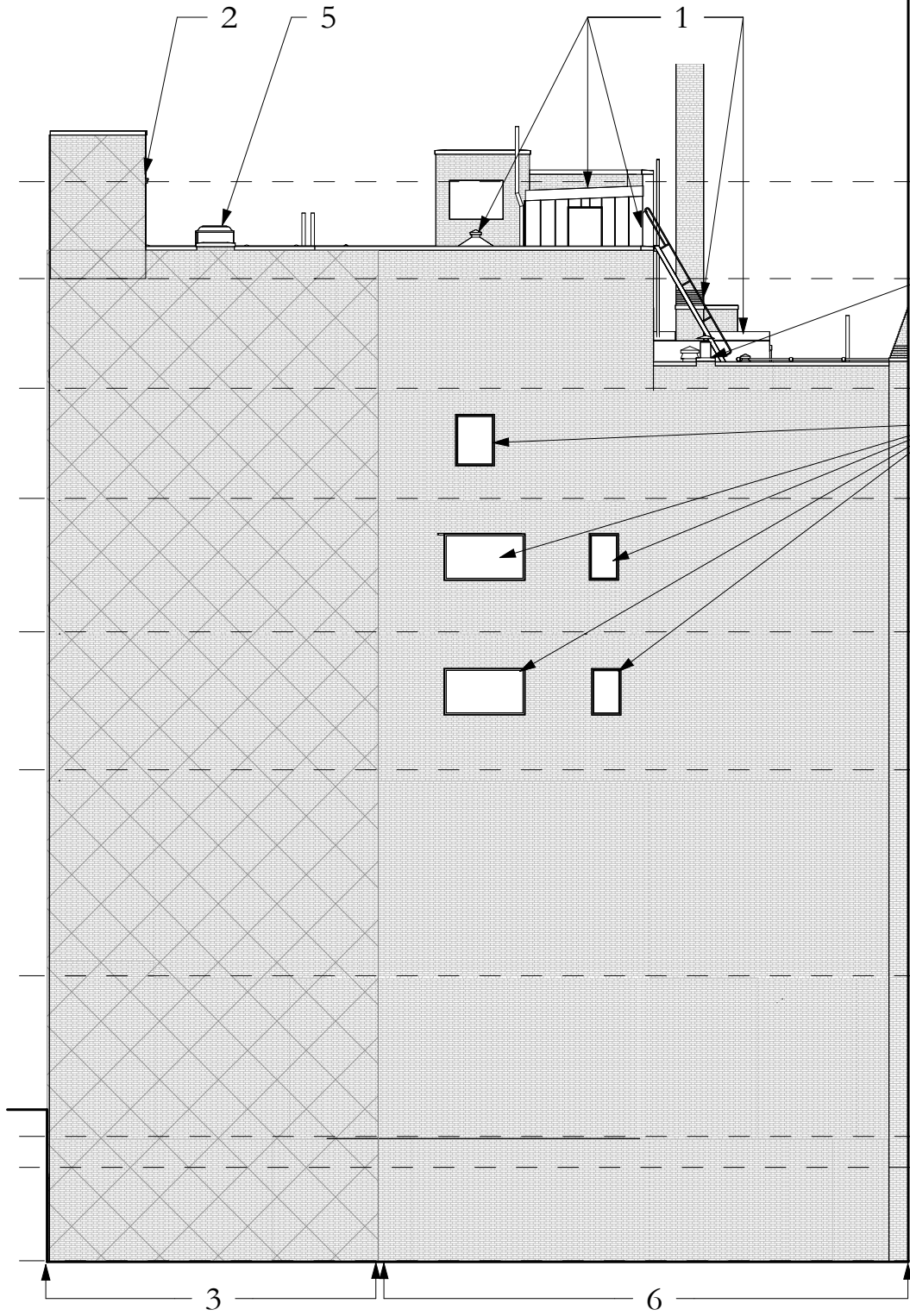
Project No.

3760

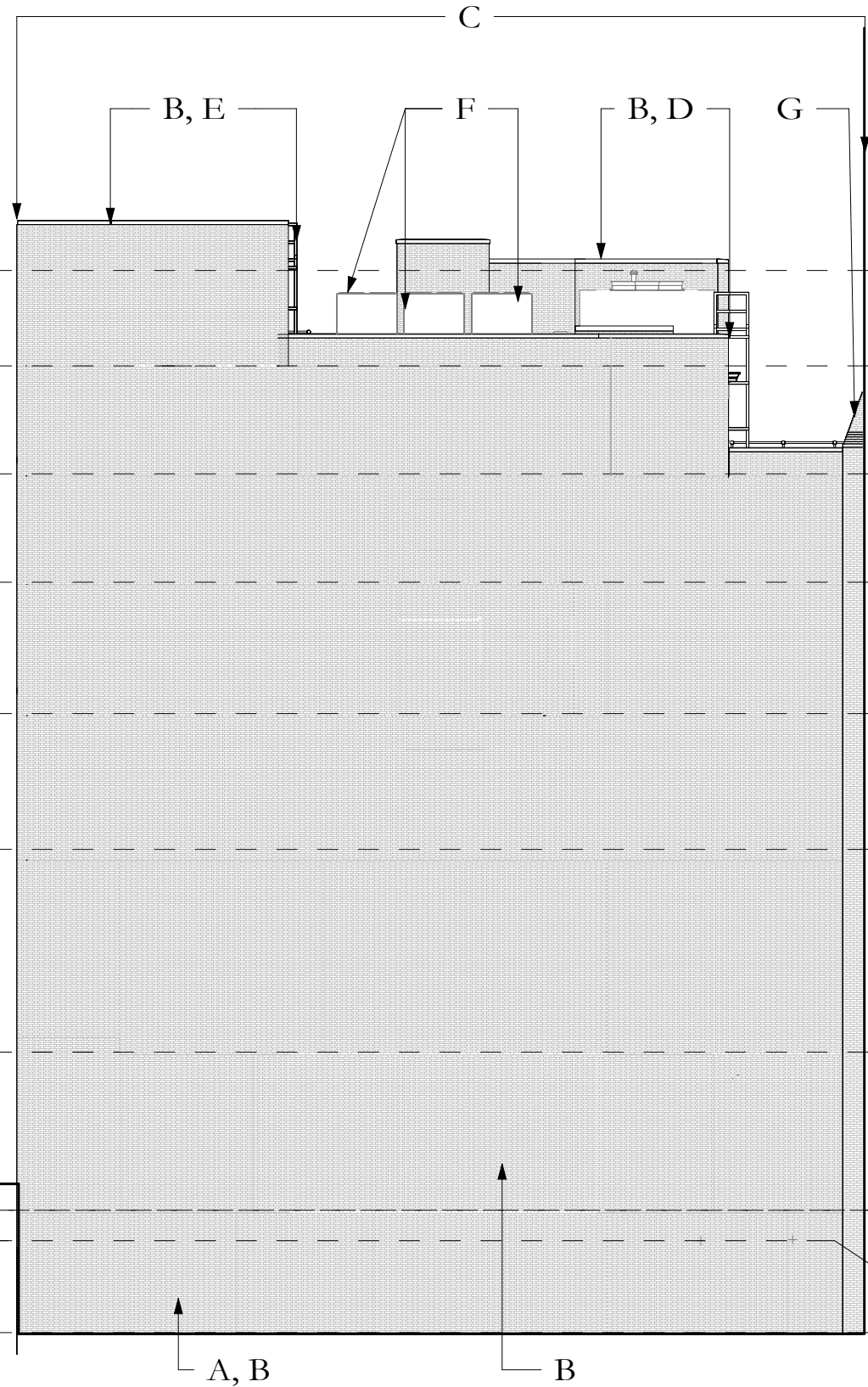
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BRICK TO BE
REMOVED AND
REPLACED



1 EXISTING NORTH ELEVATION
LPC-18 1/16" = 1'-0"



2 PROPOSED NORTH ELEVATION
LPC-18 1/16" = 1'-0"

- ROOF
EL: +92' - 1 1/2"
- ROOF BULKHEAD
EL: +82' - 9 1/4"
- 6TH FLOOR F.F.
EL: +72' - 2 1/4"
- 5TH FLOOR F.F.
EL: +61' - 6 3/4"
- 4TH FLOOR F.F.
EL: +48' - 8 1/4"
- 3RD FLOOR F.F.
EL: +35' - 4 1/2"
- 2ND FLOOR F.F.
EL: +15' - 6"
- 1ST FLOOR F.F.
EL: +0' - 0"
- T.O. CURB
EL: -2' - 11 7/8"
- CELLAR F.F.
EL: -12' - 0"

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- DEMOLITION:**
1. Remove & discard existing access stair, water tank and service elevator bulkheads, safety railings, elevator shaft bulkhead, HVAC equipment, skylight monitor & roofing
 2. Remove & salvage for replication existing stair tower standing seam copper cladding.
 3. Remove & salvage areas of cracked/displaced brick & limestone masonry to expose structural steel issues (Allow 33% North Facade.)
 4. Remove & discard existing lotline windows.
 5. Remove & discard abandoned chimney & cap.
 6. Rake brick/limestone mortar joints in preparation for repointing.

- CONSTRUCTION:**
- A. Provide remedial repairs to concealed structural steel and concrete assemblies per PE recommendations.
 - B. Provide new brick and limestone masonry assemblies and repoint all elements to match originals exactly.
 - C. Provide new flashing & roofing.
 - D. 6th Floor:
 - Provide new roof & wall structure, sheathing, waterproofing, brick masonry façade, limestone copings, copper gutter, access ladder, & flashing to extend 6th floor façade to align with east interior court 5th floor façade.
 - E. 7th Floor/Bulkhead:
 - Provide new brick clad passenger elevator bulkhead including flashing & waterproofing.
 - Provide new structure, sheathing, waterproofing, copper cladding, pipe railing, copper gutter, access ladder & flashing to extend existing service stair/elevator tower bulkhead west to align with existing setback east façade.
 - F. Provide new HVAC & MEP installations atop new dunnage at locations shown.
 - G. Reconstruct or line existing chimney flues.

Refer to L.C.-51 for detailed elevation of the 7th floor bulkhead addition.

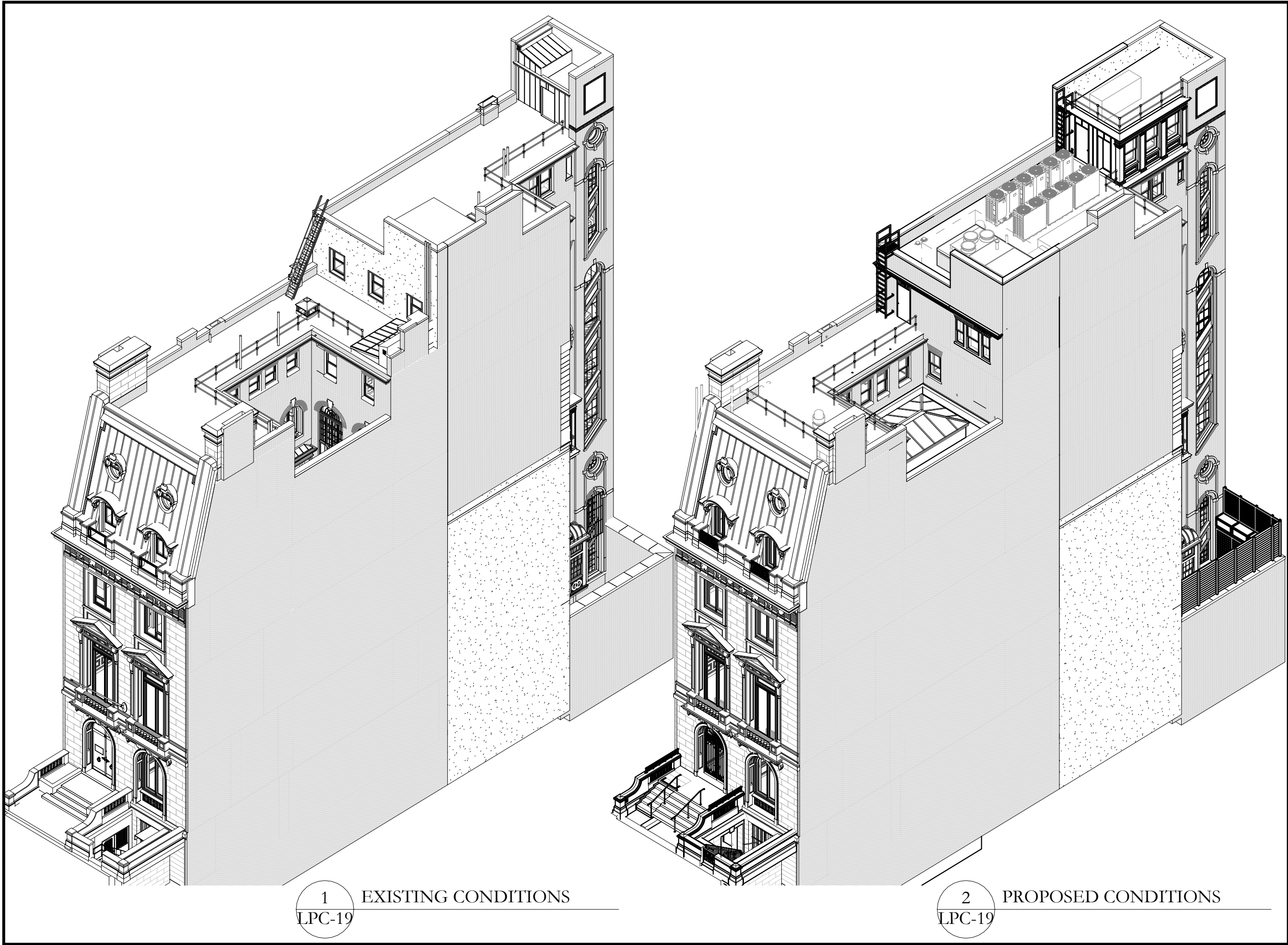
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EXISTING & PROPOSED NORTH
ELEVATIONS

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EXISTING AND PROPOSED
ROOFTOP

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	Author
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EXISTING WEST FACADE (WITH REPAIRS & CLEANING
COMPLETE)

WEST FACADE WITH PROPOSED ALTERATIONS

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RENDERINGS PAGE 1

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EXISTING VIEW FROM 66TH STREET



PROPOSED VIEW FROM 66TH STREET

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EXISTING REAR UTILITY COURTYARD VIEW



PROPOSED REAR UTILITY COURTYARD VIEW

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EXISTING VIEW FROM 67TH STREET



PROPOSED VIEW FROM 67TH STREET

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ENTRY STAIR & AREAWAY DEMOLITION/SALVAGE

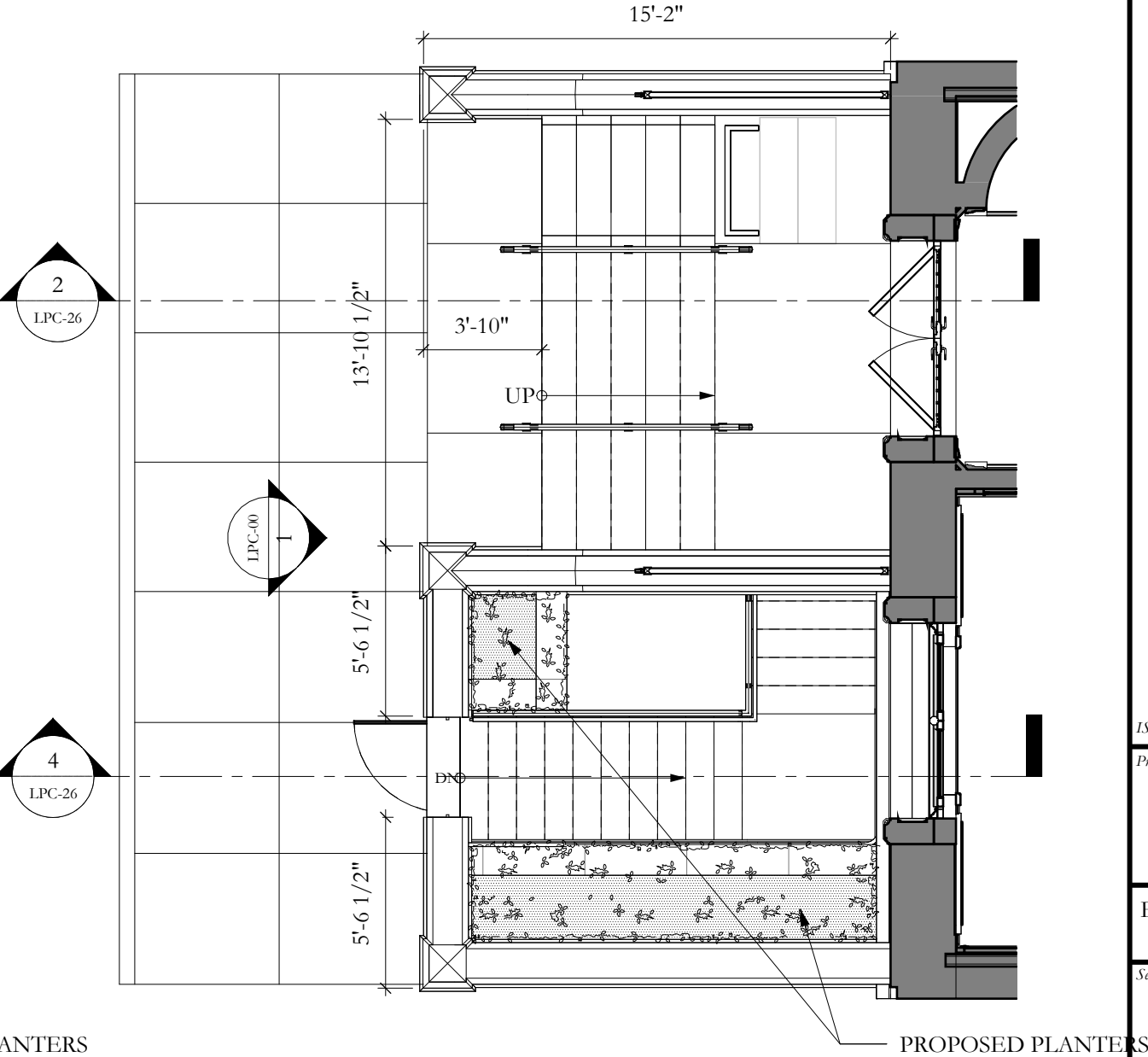
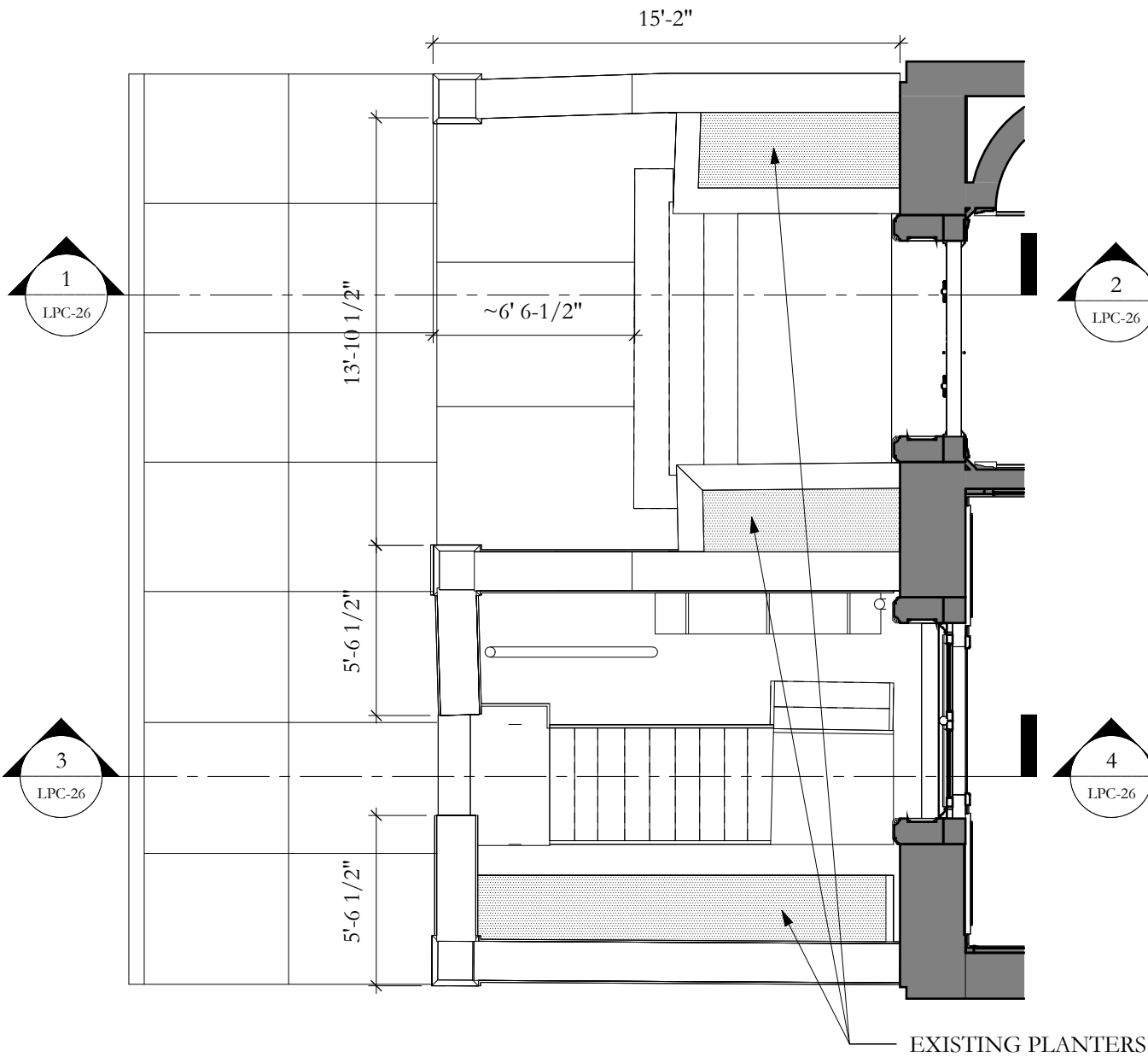
- ENTRY STAIR:
- PROTECT EXISTING 1st FLOOR FACADE WALLS
 - SHORE & BRACE AS REQUIRED
 - REMOVE & SALVAGE ALL LIMESTONE BALUSTRADE, TREAD, PLANTER ELEMENTS FOR REINSTALLATION OR REPLACEMENT AS REQUIRED
 - REMOVE & DISCARD EXISTING STAIR STRUCTURE DOWN TO CELLAR LEVEL
- AREAWAY:
- PROTECT EXISTING CELLAR FACADE WALLS
 - SHORE & BRACE AS REQUIRED
 - REMOVE & DISCARD NON-COMPLIANT METAL SERVICE STAIR
 - REMOVE & SALVAGE ALL LIMESTONE ASHLAR CHEEKWALL AND DOOR OPENING ELEMENTS FOR REINSTALLATION OR REPLACEMENT AS REQUIRED.
 - REMOVE & DISCARD NON-ORIGINAL STUCCO FINISH AT SOUTH AREAWAY WALL TO EXPOSE MASONRY SUBSTRATE(S)
 - REMOVE & DISCARD EXISTING NORTH CHEEKWALL STRUCTURE DOWN TO CELLAR LEVEL
 - REMOVE & DISCARD EXISTING AREAWAY FLOOR FINISH TO STRUCTURAL SLAB

ENTRY STAIR & AREAWAY PROPOSED CONSTRUCTION

- ENTRY STAIR:
- LOWER BOTTOM LANDING TO ALIGN WITH SIDEWALK, ADD TWO TREADS, & RAISE UPPER LANDING TO ALIGN WITH FIRST FLOOR
 - PROVIDE NEW & RESTORED BALUSTRADE RAILS, PIERS, & POSTS TO REPLACE DAMAGED ELEMENTS.
 - EXTEND UPPER STONE RAIL SEGMENT WEST TO CREATE CODE COMPLIANT RAIL HEIGHT - RESET EXISTING RESTORED GUILLOCHE PANELS
 - PROVIDE NEW BRONZE INTERMEDIATE HANDRAILS & RAIL EXTENSIONS AT STONE BALUSTRADES.
 - PROVIDE CONCEALED ADA ACCESS LIFT & CONTROL PADS MOUNTED AT RAILING AND ENTRY SURROUND
- AREAWAY:
- PROVIDE NEW BRONZE GATE AT SERVICE STAIR UPPER LANDING
 - PROVIDE NEW CODE-COMPLIANT METAL SERVICE STAIR
 - PROVIDE SALVAGED & NEW AREAWAY LIMESTONE UNITS WITH REVISED CELLAR OPENING TO ACCOMMODATE NEW CODE COMPLIANT SERVICE STAIR
 - PROVIDE NEW LIMESTONE-CLAD PLANTER IN NW CORNER OF AREAWAY
 - CLEAN & RESTORE ALL LOWER FACADE & AREAWAY STONE TO REMOVE PAINT, COATINGS, & SEALANT
 - PROVIDE NEW AREAWAY FINISHED FLOOR

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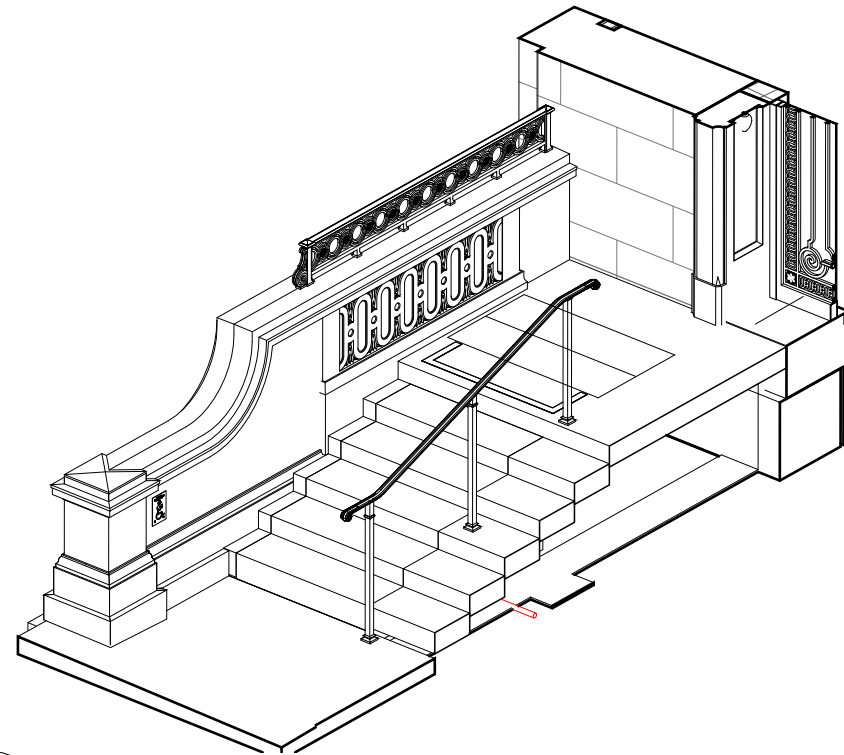
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EXISTING & PROPOSED ENTRY
STAIR & AREAWAY

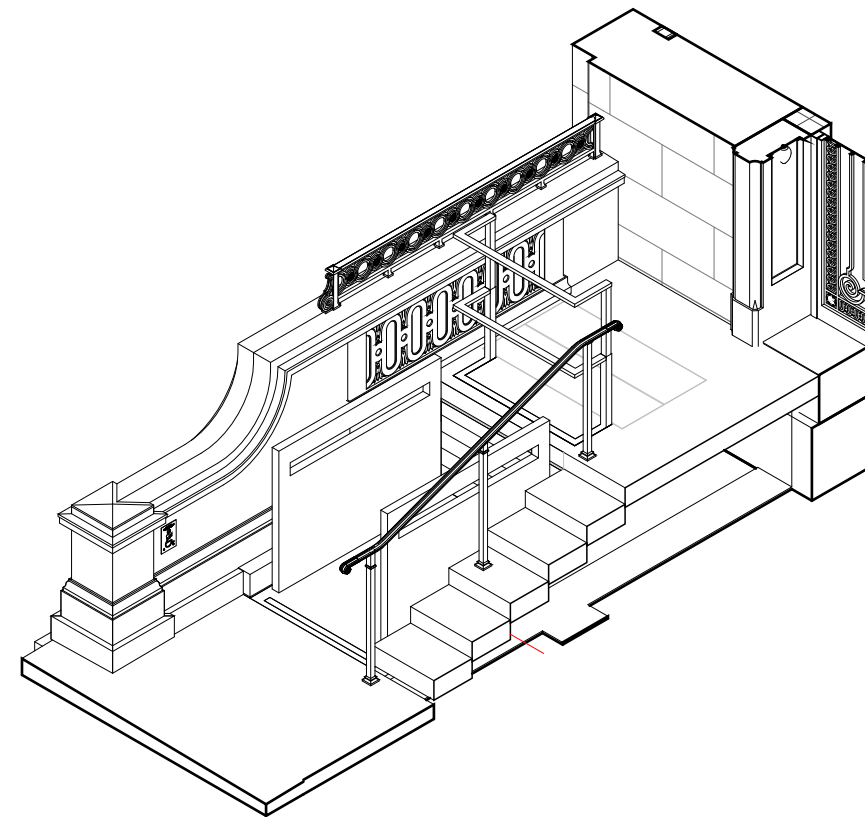
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	3/16" = 1'-0"
	Drawn By:
Project No.	PPA
	Drawing No.
	LPC-24
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1 EXISTING AREAWAY & STOOP PLAN
LPC-24 3/16" = 1'-0"

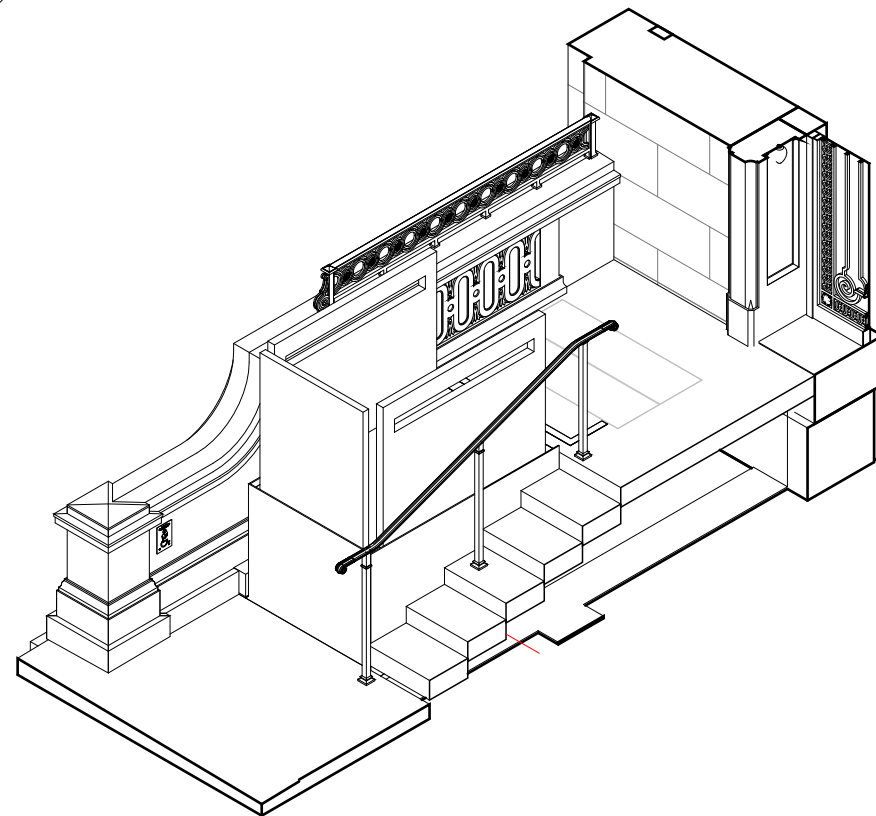
2 PROPOSED AREAWAY & STOOP PLAN
LPC-24 3/16" = 1'-0"



1 ADA LIFT - STAIR POSITION
LPC-25



2 ADA LIFT - LOWERED POSITION
LPC-25



3 ADA LIFT - RAISED POSITION
LPC-25

TO VIEW A DEMONSTRATION
OF THE SESAME LIFT:

<https://www.sesameaccess.com/videos/sesame-access-lift-in-action>

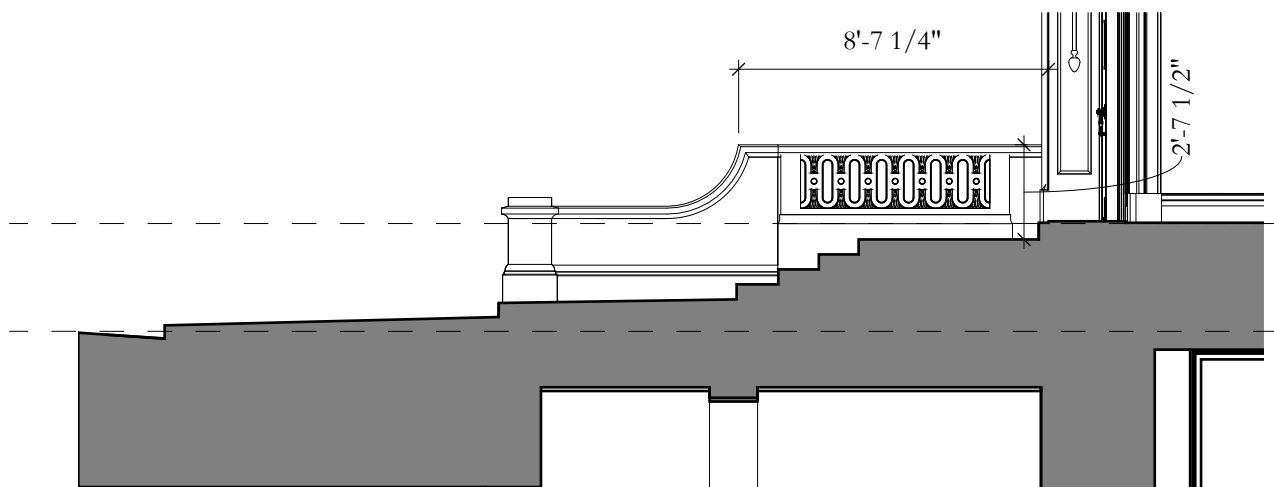
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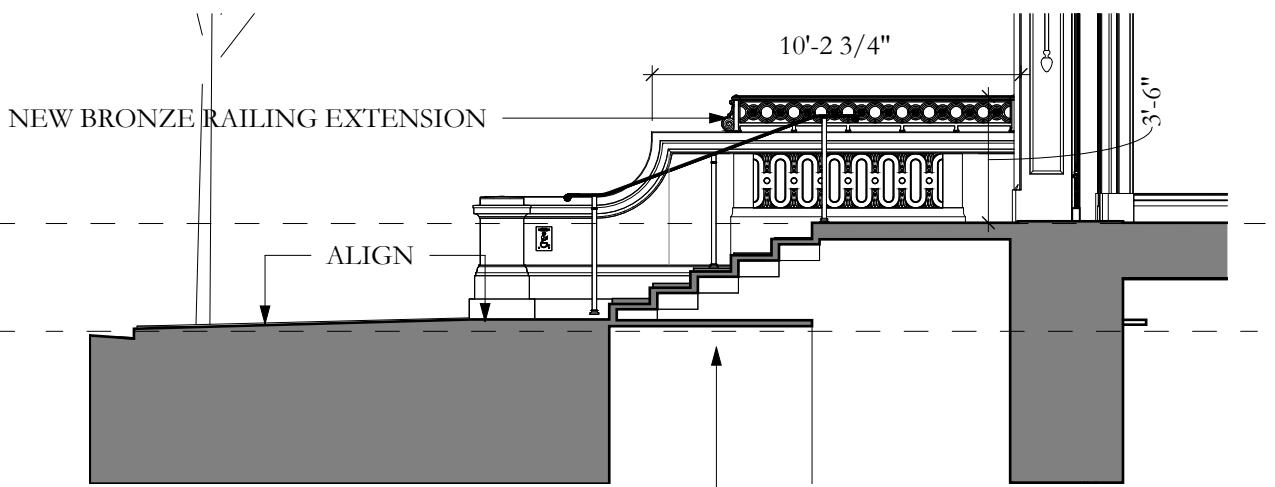
CONCEALED ADA LIFT

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	Drawn By:	Author
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1 EXISTING SECTION AT ENTRY STAIR FACING NORTH
LPC-26 3/16" = 1'-0"

- PROPOSED ENTRY STAIR:
- LOWER BOTTOM LANDING TO ALIGN WITH SIDEWALK, ADD TWO TREADS, & RAISE UPPER LANDING TO ALIGN WITH FIRST FLOOR
 - EXTEND UPPER STONE RAIL SEGMENT WEST TO CREATE CODE COMPLIANT RAIL HEIGHT - RESET EXISTING RESTORED GUILLOCHE PANELS
 - PROVIDE NEW BRONZE INTERMEDIATE HANDRAILS & RAIL EXTENSIONS AT STONE BALUSTRADES.
 - PROVIDE CONCEALED ADA ACCESS LIFT & CONTROL PADS MOUNTED AT RAILING AND ENTRY SURROUND

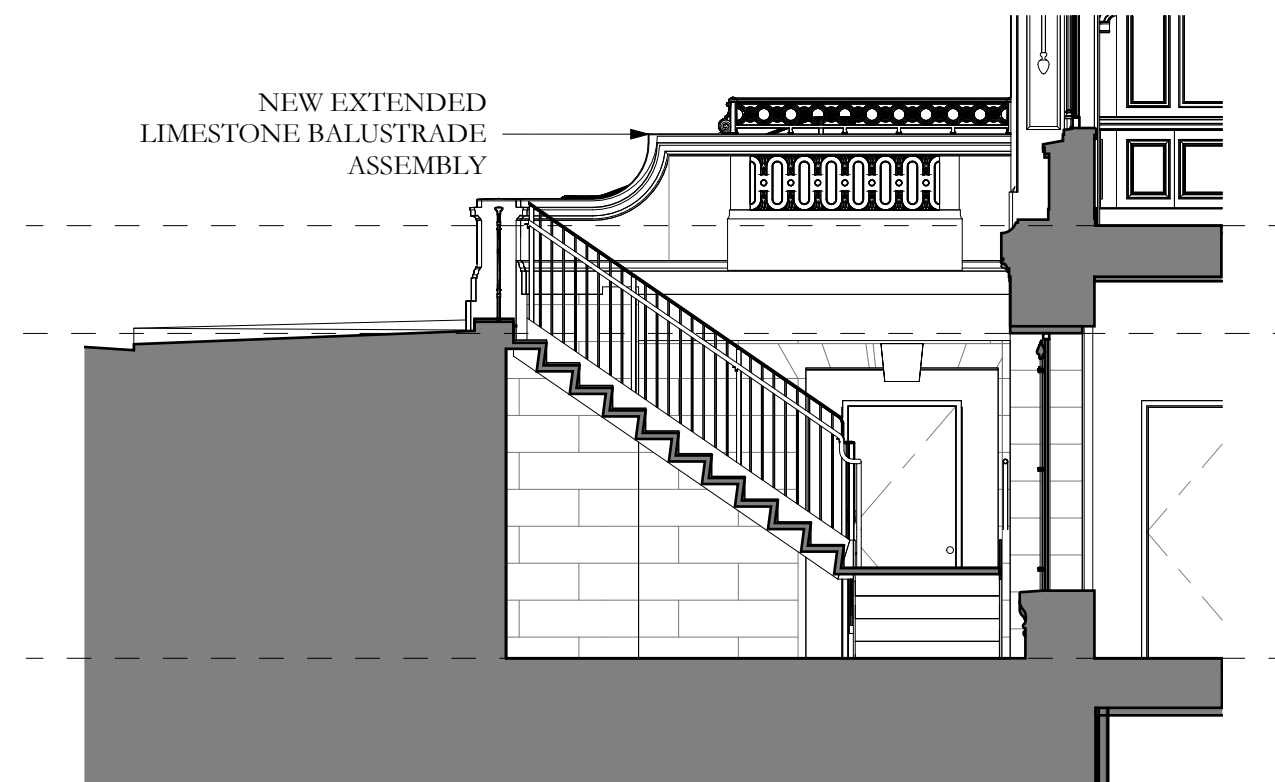


2 PROPOSED SECTION AT ENTRY STAIR FACING NORTH
LPC-26 3/16" = 1'-0"

- PROPOSED AREAWAY:
- PROVIDE NEW BRONZE GATE AT SERVICE STAIR UPPER LANDING
 - PROVIDE NEW CODE-COMPLIANT METAL SERVICE STAIR
 - PROVIDE SALVAGED & NEW AREAWAY LIMESTONE UNITS WITH REVISED CELLAR OPENING TO ACCOMMODATE NEW CODE COMPLIANT SERVICE STAIR
 - PROVIDE NEW LIMESTONE-CLAD PLANTER IN NW CORNER OF AREAWAY
 - CLEAN & RESTORE ALL LOWER FACADE & AREAWAY STONE TO REMOVE PAINT, COATINGS, & SEALANT
 - PROVIDE NEW AREAWAY FINISHED FLOOR



3 EXISTING SECTION AT AREAWAY FACING NORTH
LPC-26 3/16" = 1'-0"



4 PROPOSED SECTION AT AREAWAY FACING NORTH
LPC-26 3/16" = 1'-0"

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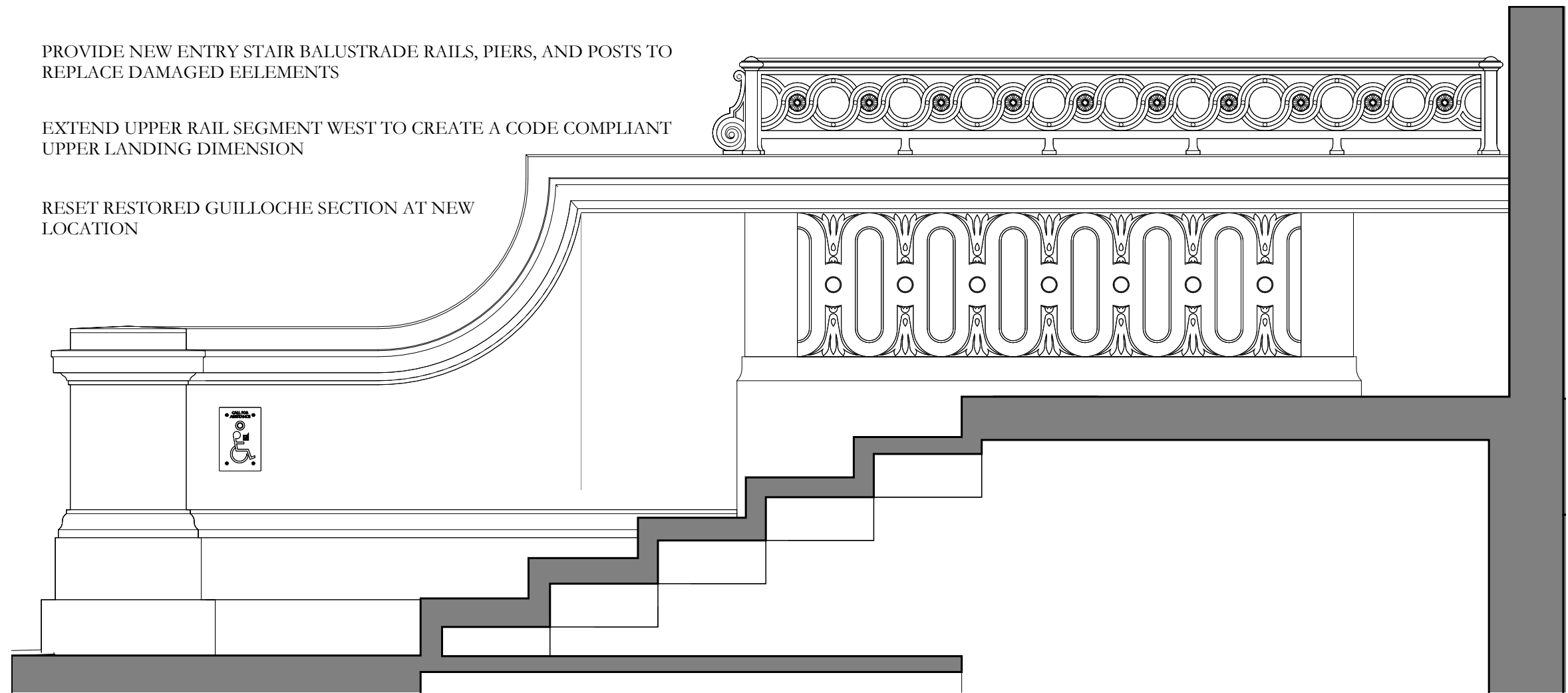
EXISTING & PROPOSED ENTRY
STAIR & AREAWAY

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	Scale:	3/16" = 1'-0"
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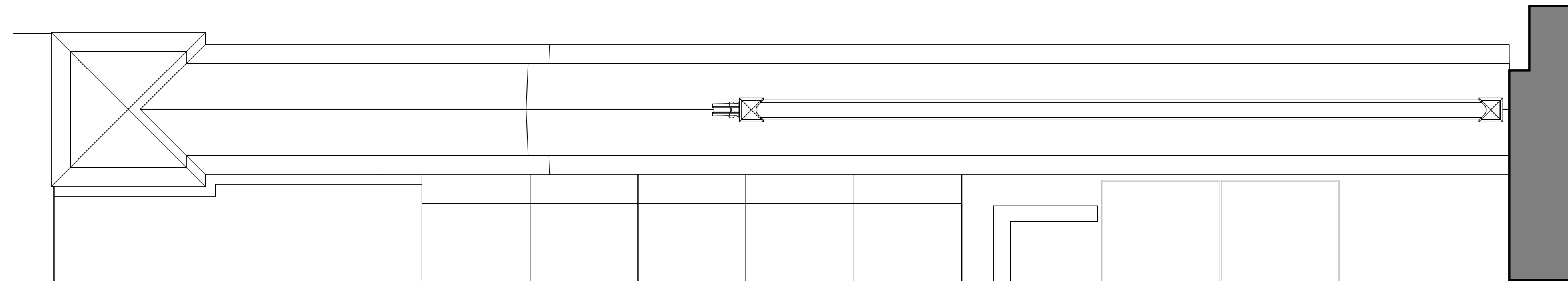
PROVIDE NEW ENTRY STAIR BALUSTRADE RAILS, PIERS, AND POSTS TO
REPLACE DAMAGED EEMENTS

EXTEND UPPER RAIL SEGMENT WEST TO CREATE A CODE COMPLIANT
UPPER LANDING DIMENSION

RESET RESTORED GUILLOCHE SECTION AT NEW
LOCATION



2 PROPOSED RAILING EXTENSION AT STOOP - ENLARGED ELEVATION
LPC-27 3/4" = 1'-0"



1 PROPOSED RAILING EXTENSION AT STOOP - ENLARGED PLAN
LPC-27 3/4" = 1'-0"

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PROPOSED METAL STOOP
RAILING EXTENSION

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	Scale:	3/4" = 1'-0"
	Drawn By:	PPA
	Drawing No.	LPC-27
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9-11 East 84th St
Warren & Wetmore
1901



115 East 73rd St
Buchman & Fox
1908



115 East 70th St
P.J. Murray
1922



103 East 73rd St
Grosvenor Atterbury
1903

PETER PENNOYER
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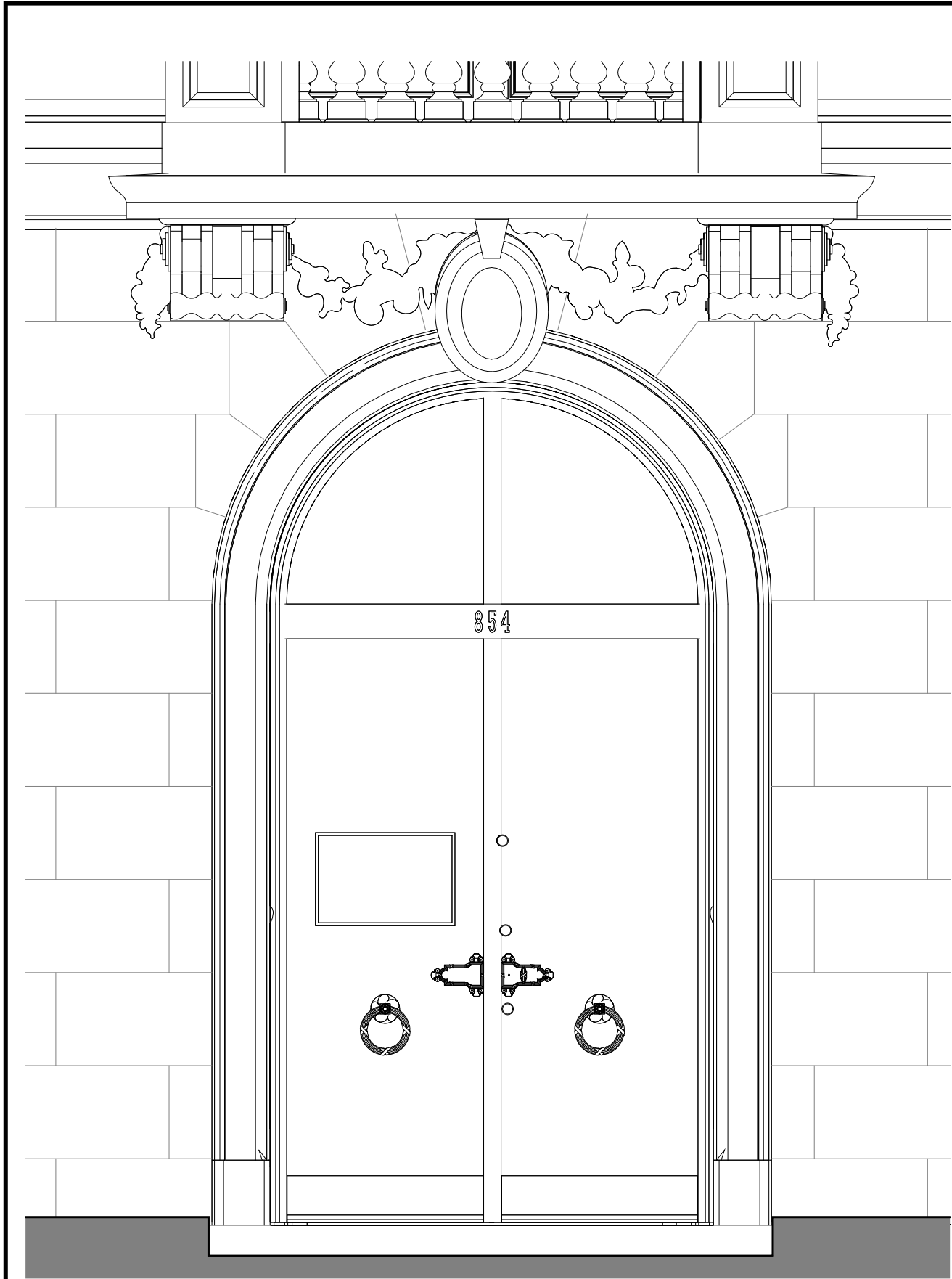
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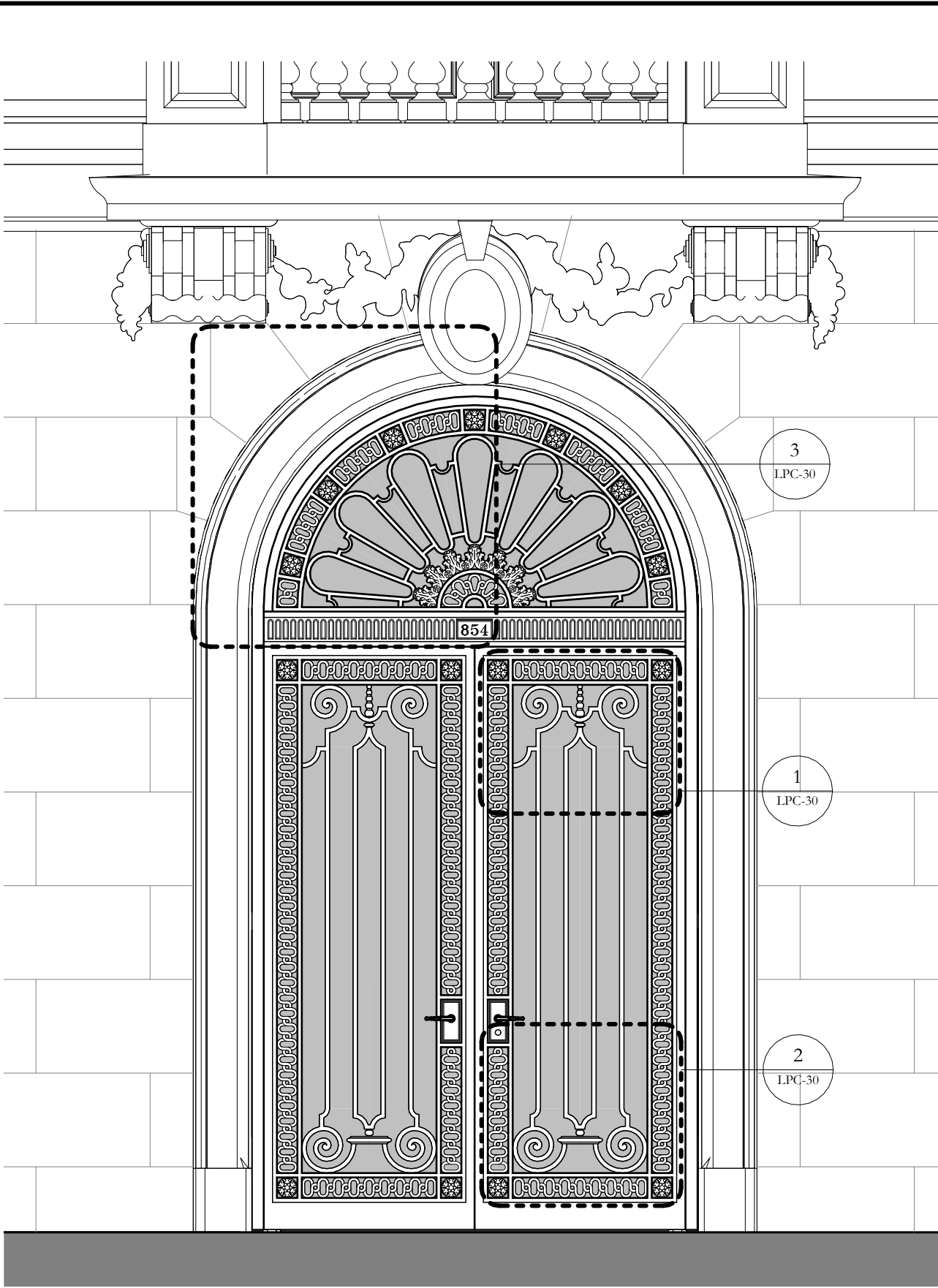
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METAL STOOP RAILING
EXTENSION - PRECEDENTS

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1 EXISTING MAIN ENTRY DOOR ELEVATION
LPC-29 1/2" = 1'-0"



2 PROPOSED MAIN ENTRY DOOR ELEVATION
LPC-29 1/2" = 1'-0"

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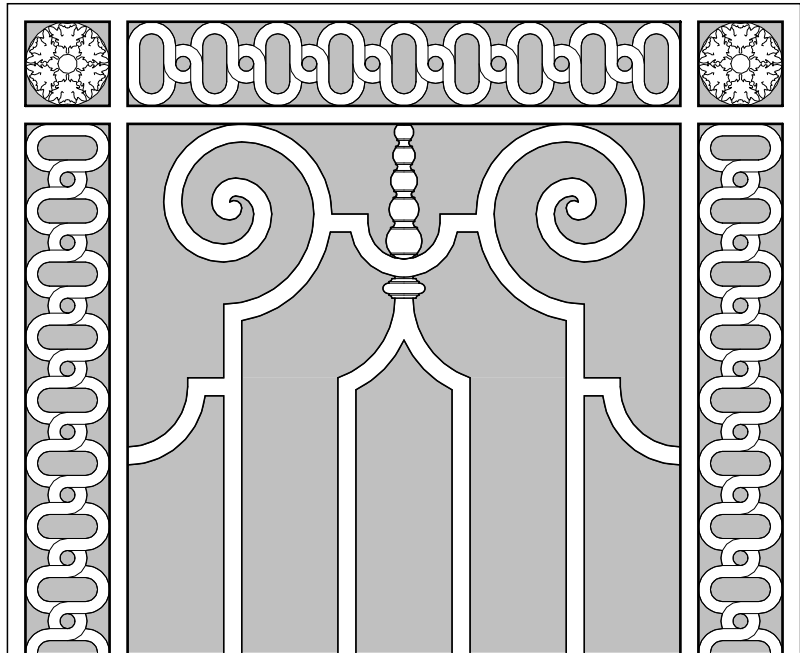
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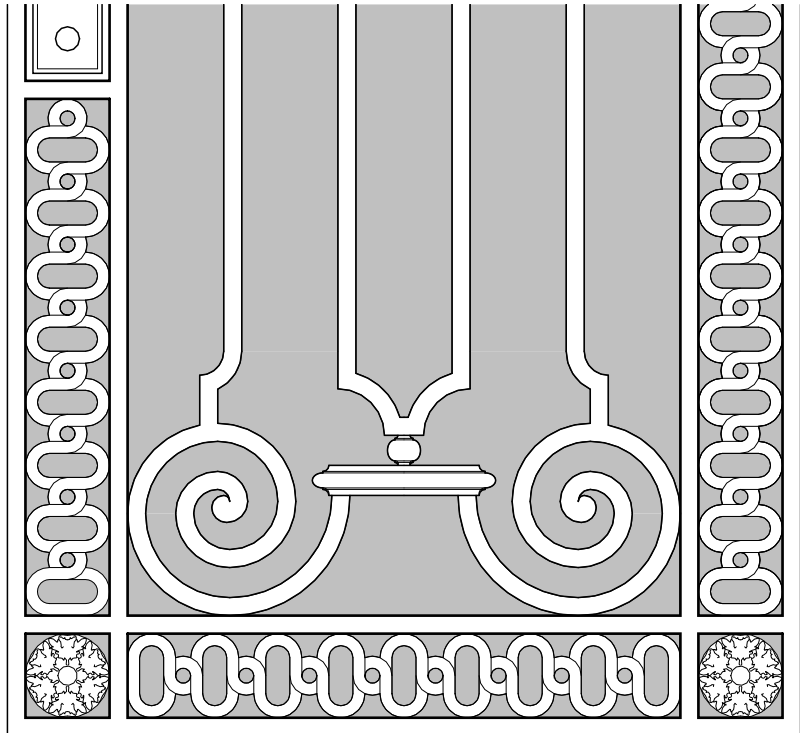
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EXISTING & PROPOSED ENTRY
DOOR

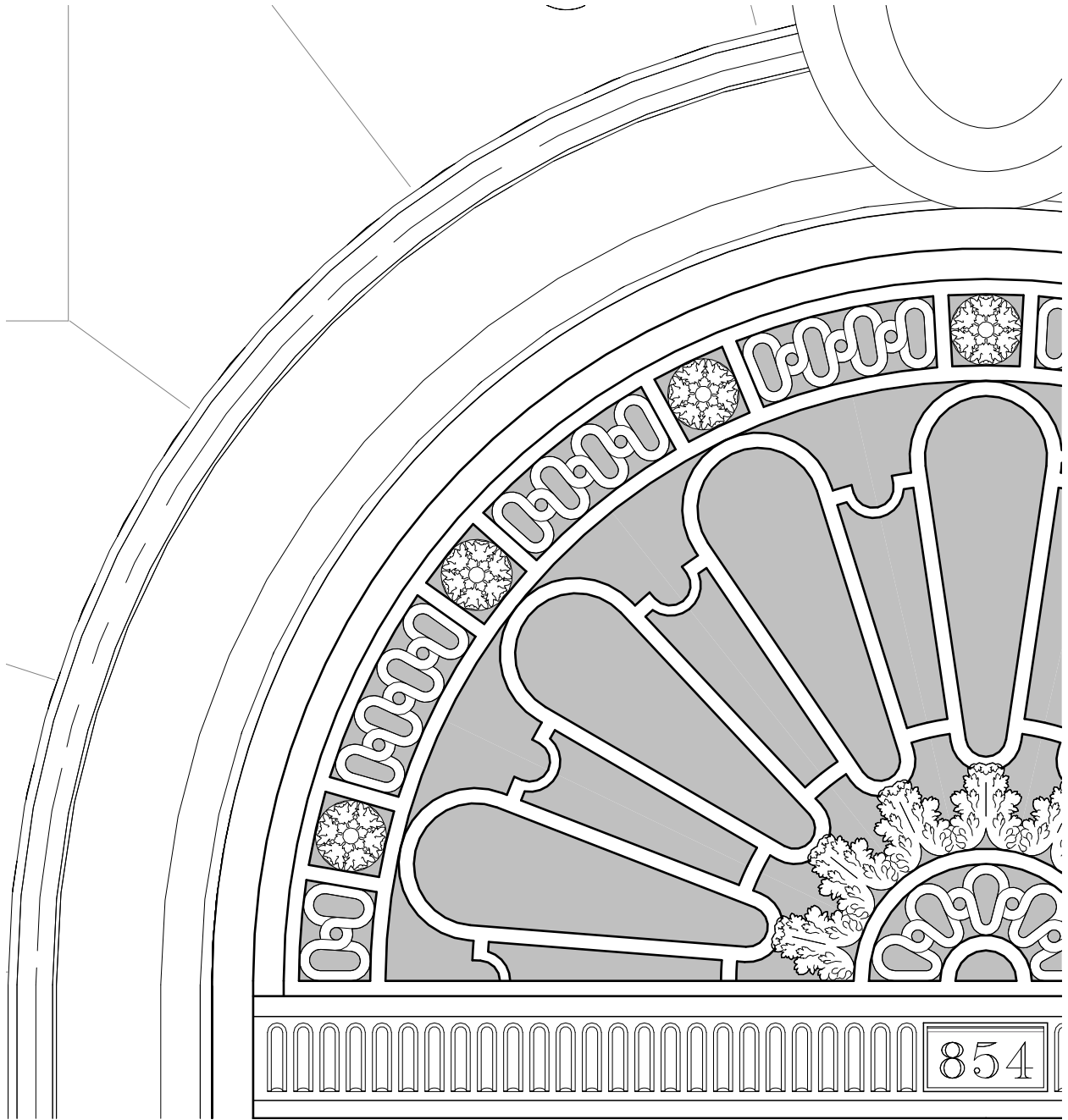
Seal and Signature:	Date:	05/11/23
	Scale:	1/2" = 1'-0"
	Drawn By:	PPA
	Drawing No.	LPC-29
	Project No.	3760



1 TOP OF ENTRY DOOR LEAF
LPC-30 1 1/2" = 1'-0"



2 BOTTOM OF ENTRY DOOR LEAF
LPC-30 1 1/2" = 1'-0"



3 LUNETTE DETAIL
LPC-30 1 1/2" = 1'-0"

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EXISTING & PROPOSED ENTRY
DOOR DETAILS

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	Scale:	1 1/2" = 1'-0"
	Drawn By:	PPA
	Drawing No.	LPC-30
	Project No.	3760

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11 E. 70th St
John Duncan
1910



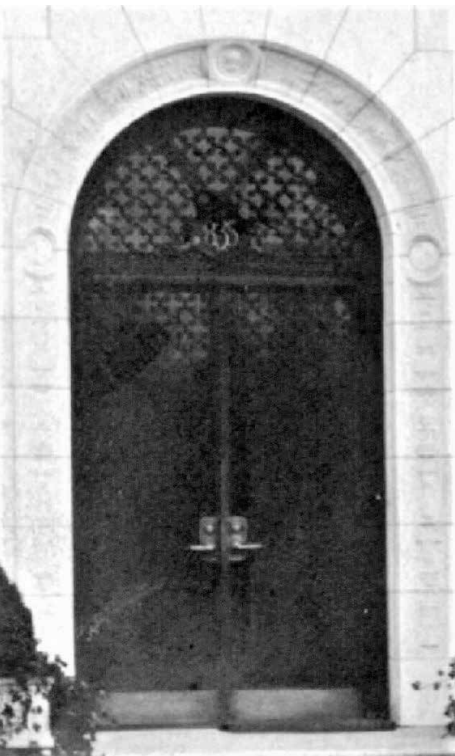
13 E. 67th St
H.A. Jacobs
1920



15 E. 70th St
C. I. Berg
1910



47 E. 68th St
Adams and Warrent
1907



835 5th Ave
H.A. Jacobs
1910

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ENTRY DOOR PRECEDENTS

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	Scale:
	Drawn By:
	PPA
Project No.	Drawing No.
	LPC-31
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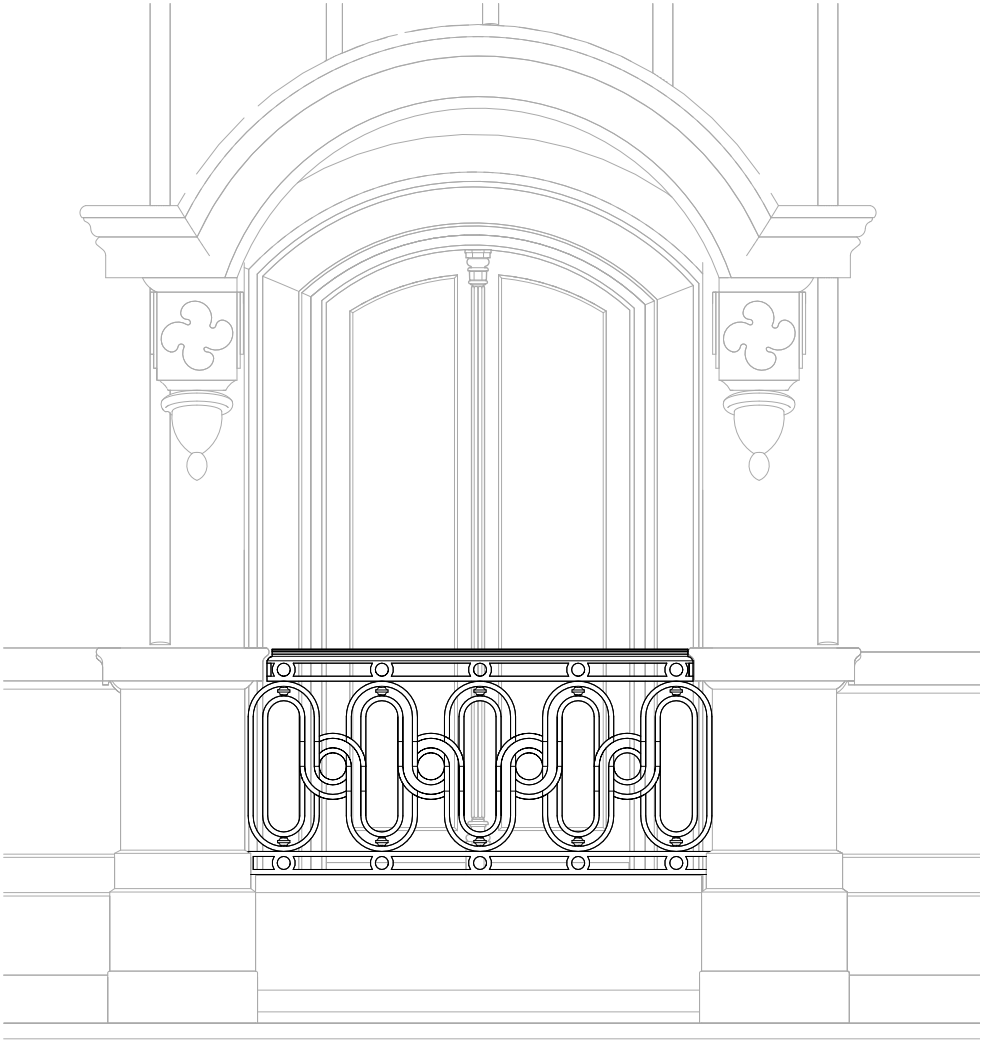
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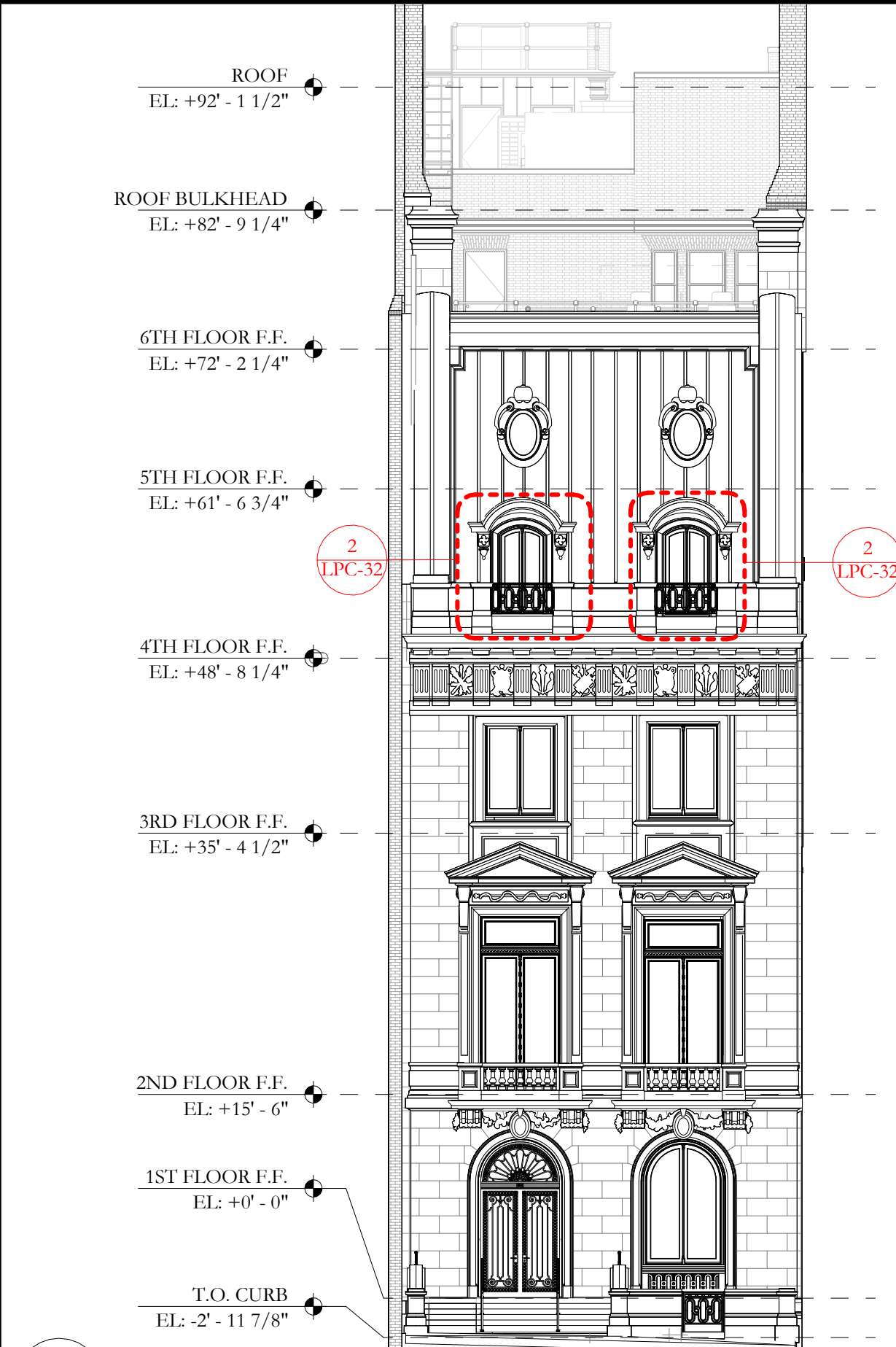
**WEST FACADE - 4TH FLOOR
RAILING**

Seal and Signature:	Date: 05/11/23
	Scale: As indicated
	Drawn By: PPA
	Drawing No. LPC-32
	Project No. 3760

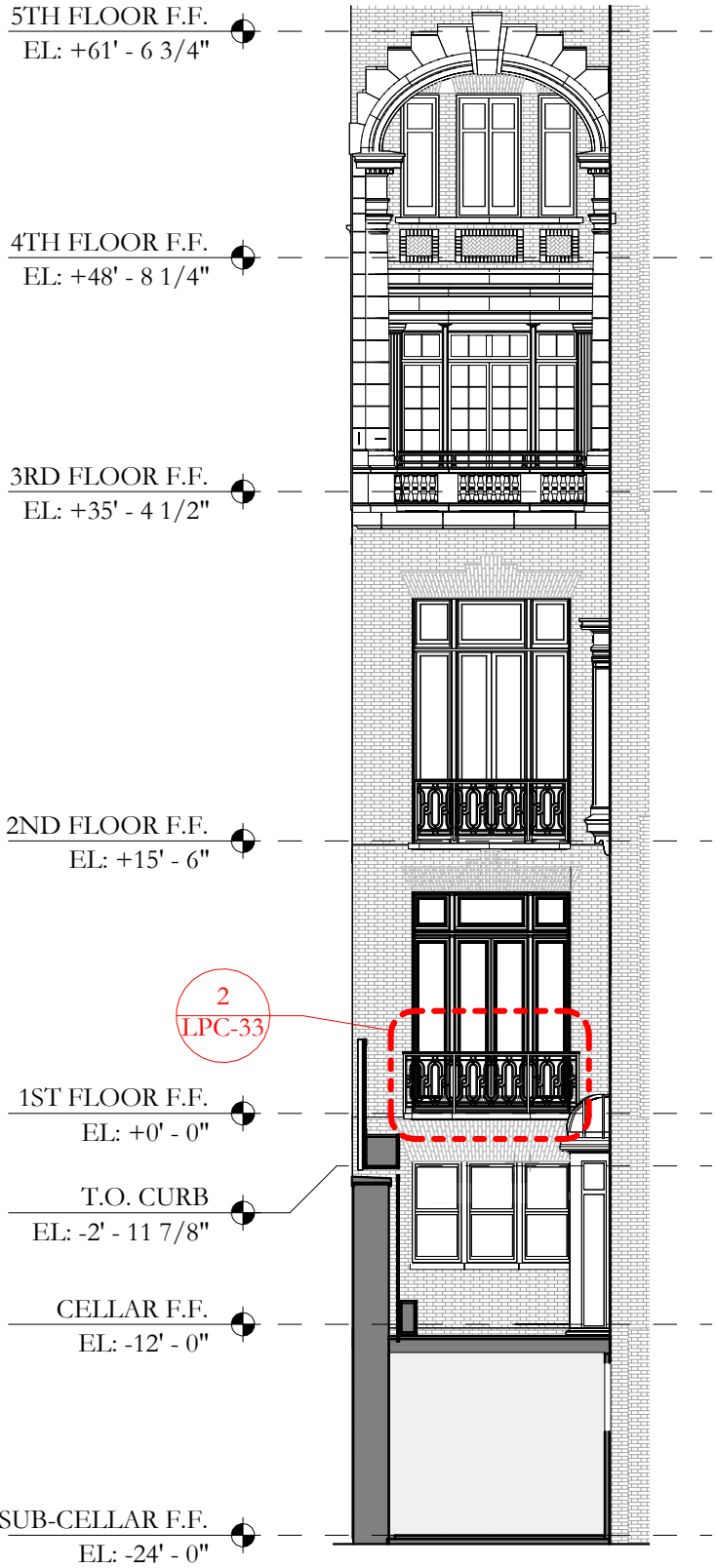
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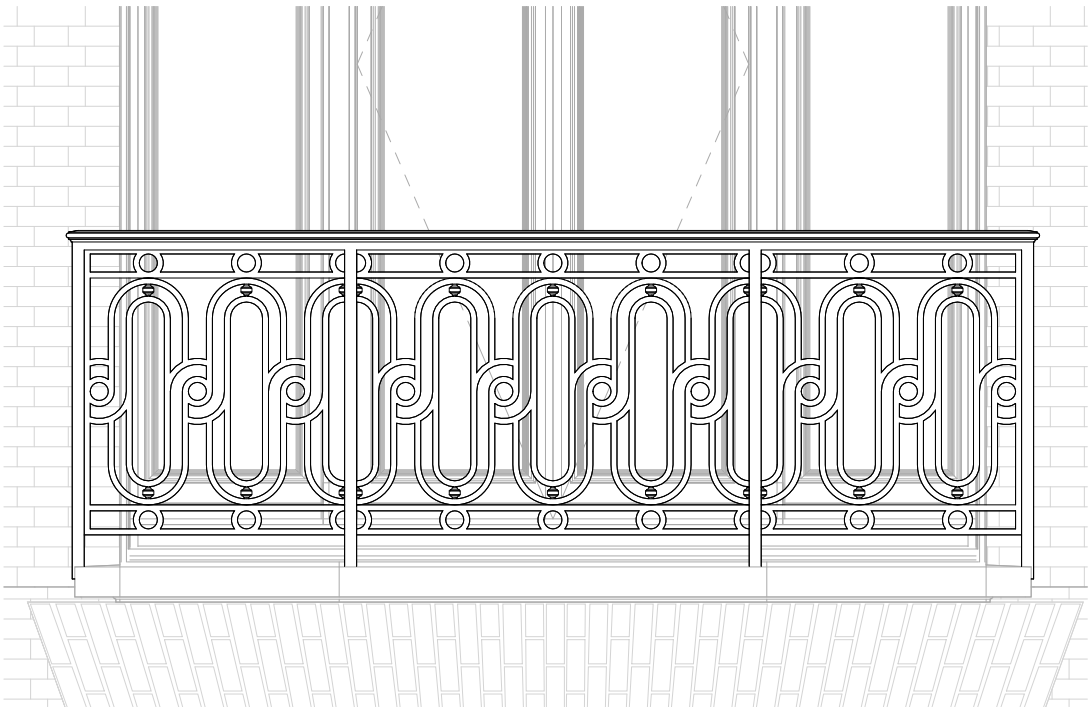
2 4TH FLOOR - PROPOSED RAILING ELEVATION
LPC-32 1/2" = 1'-0"



1 PROPOSED WEST ELEVATION
LPC-32 3/32" = 1'-0"



1 PROPOSED REAR ELEVATION
LPC-33 3/32\"/>



2 1ST FLOOR - PROPOSED RAILING ELEVATION
LPC-33 1/2\"/>

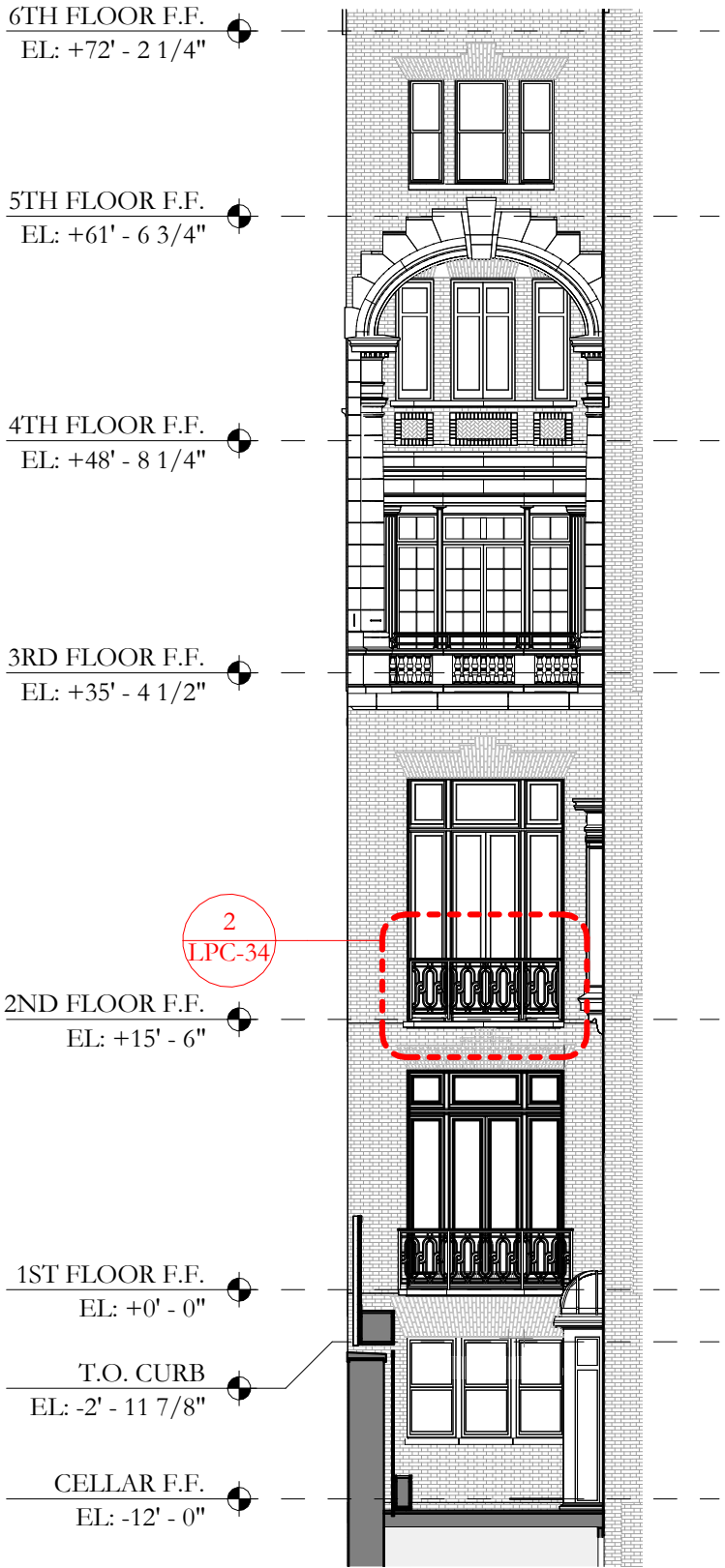
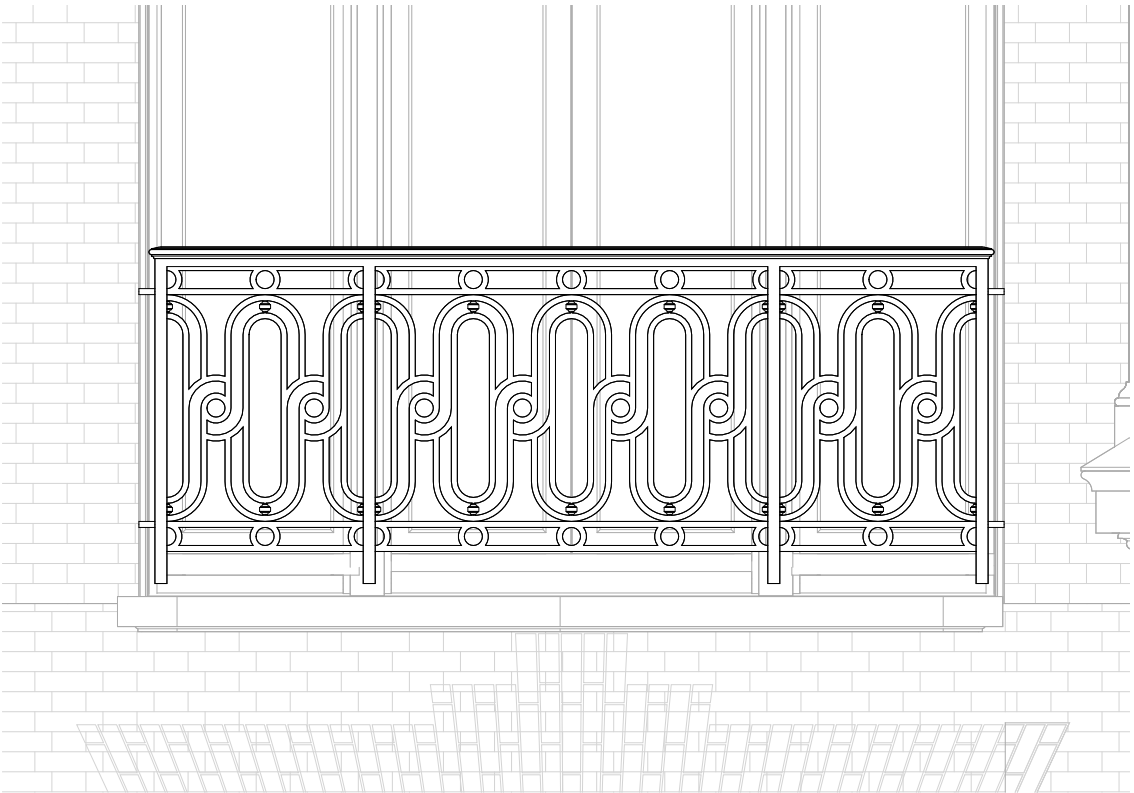
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EAST FACADE - 2ND FLOOR
RAILING

Seal and Signature:	Date:	05/11/23
	Scale:	As indicated
	Drawn By:	PPA
	Drawing No.	LPC-34
	Project No.	3760
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1 PROPOSED REAR ELEVATION
LPC-34 3/32" = 1'-0"

2 2ND FLOOR - PROPOSED RAILING ELEVATION
LPC-34 1/2" = 1'-0"

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**EAST FACADE - 3RD FLOOR
RAILING**

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	Scale:	As indicated
	Drawn By:	PPA
	Drawing No.	LPC-35
	Project No.	3760
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ROOF BULKHEAD
EL: +82' - 9 1/4"

6TH FLOOR F.F.
EL: +72' - 2 1/4"

5TH FLOOR F.F.
EL: +61' - 6 3/4"

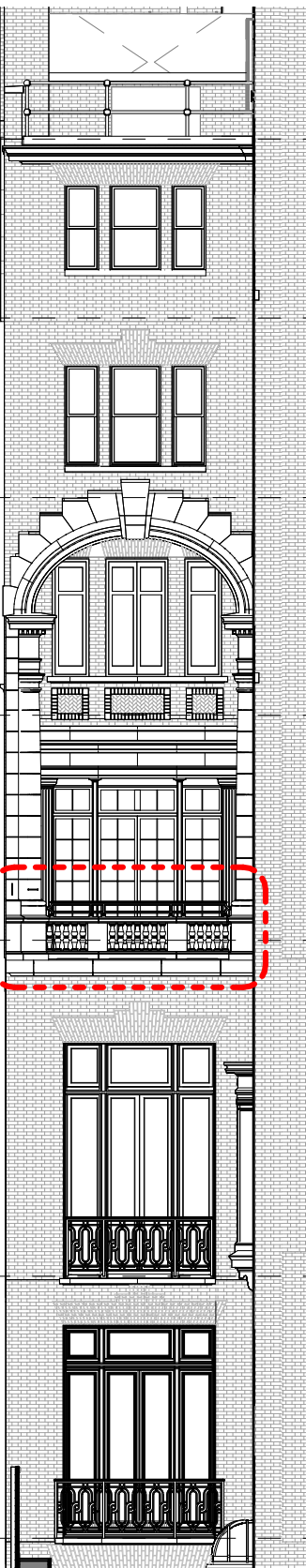
4TH FLOOR F.F.
EL: +48' - 8 1/4"

3RD FLOOR F.F.
EL: +35' - 4 1/2"

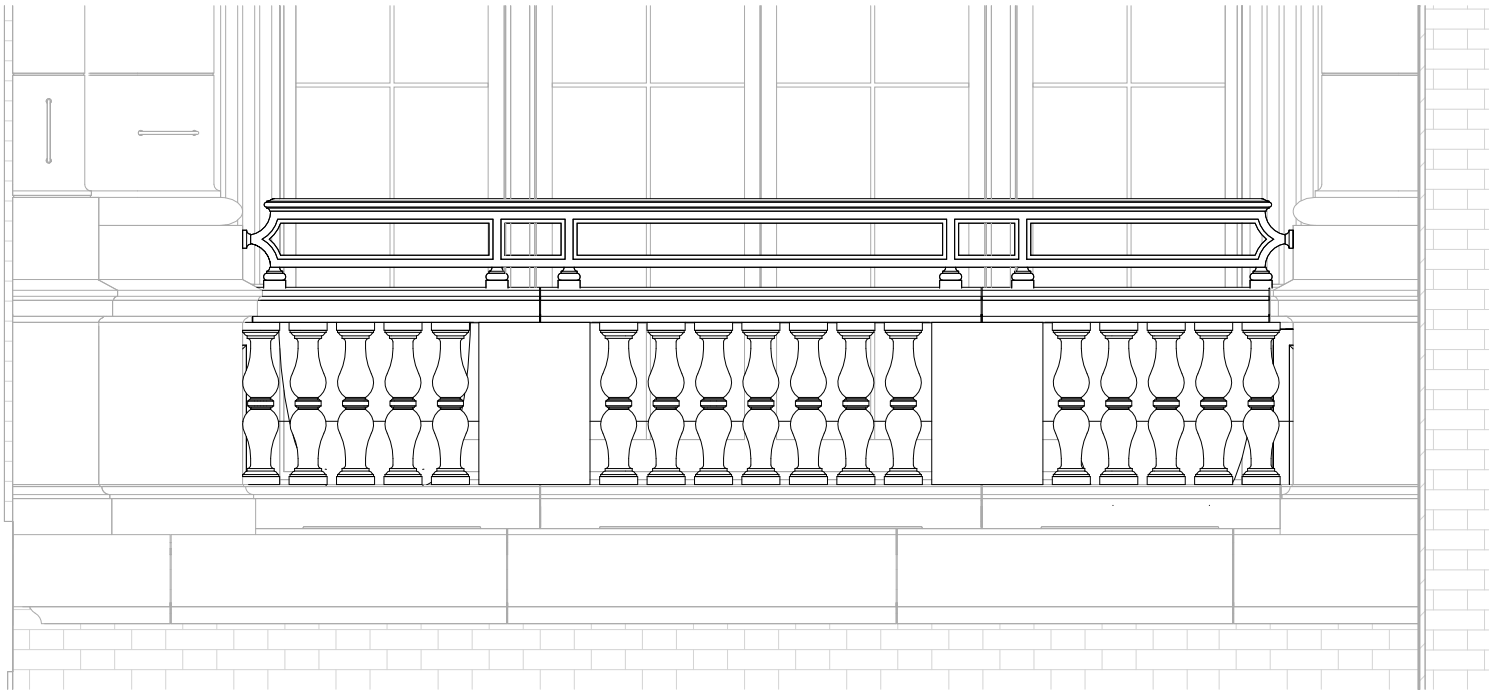
2ND FLOOR F.F.
EL: +15' - 6"

1ST FLOOR F.F.
EL: +0' - 0"

2
LPC-35



1 PROPOSED REAR ELEVATION
LPC-35 3/32" = 1'-0"



2 3RD FLOOR - PROPOSED RAILING ELEVATION
LPC-35 1/2" = 1'-0"

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EAST FACADE - WINDOW
REPLACEMENT

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	Scale: As indicated
	Drawn By: PPA
	Drawing No. LPC-36
	Project No. 3760

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ROOF BULKHEAD
EL: +82' - 9 1/4"

6TH FLOOR F.F.
EL: +72' - 2 1/4"

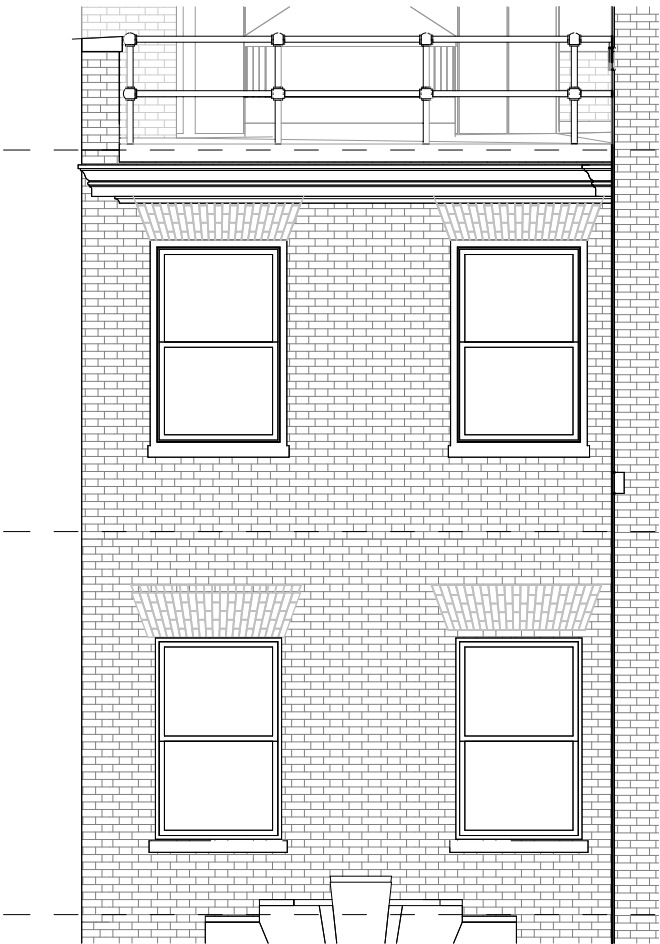
5TH FLOOR F.F.
EL: +61' - 6 3/4"

4TH FLOOR F.F.
EL: +48' - 8 1/4"

3RD FLOOR F.F.
EL: +35' - 4 1/2"

2ND FLOOR F.F.
EL: +15' - 6"

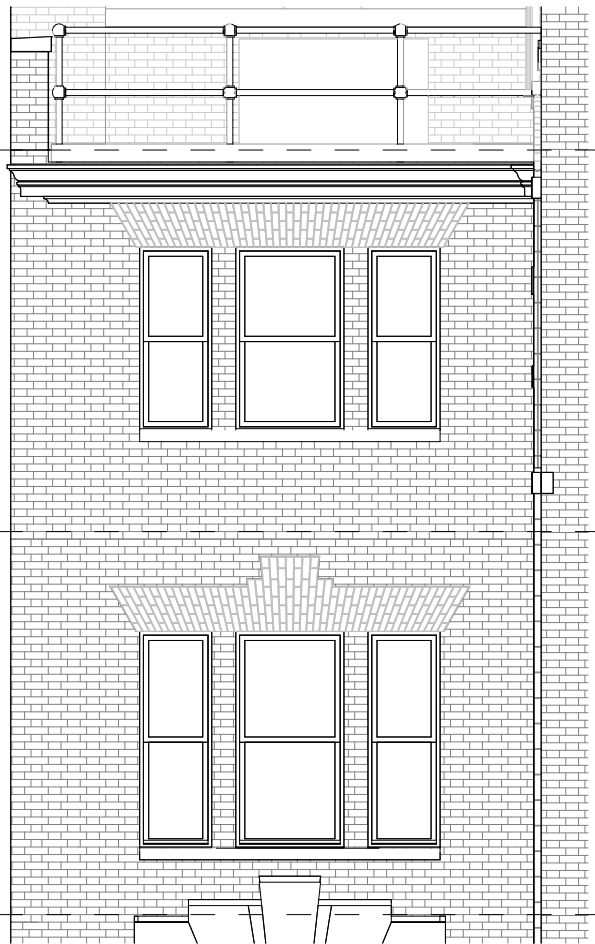
1ST FLOOR F.F.
EL: +0' - 0"



ROOF BULKHEAD
EL: +82' - 9 1/4"

6TH FLOOR F.F.
EL: +72' - 2 1/4"

5TH FLOOR F.F.
EL: +61' - 6 3/4"



3 PROPOSED REAR ELEVATION
LPC-36 3/32" = 1'-0"

1 EXISTING PARTIAL EAST ELEVATION
LPC-36 3/16" = 1'-0"

2 PROPOSED PARTIAL EAST ELEVATION
LPC-36 3/16" = 1'-0"

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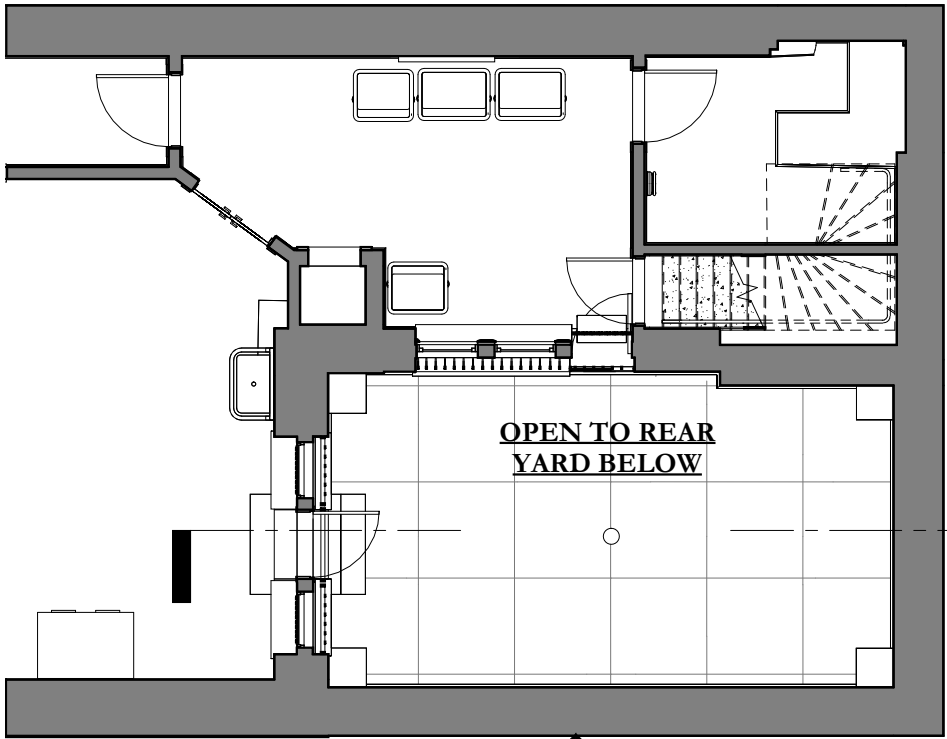
ISSUED TO LPC 11/29/23
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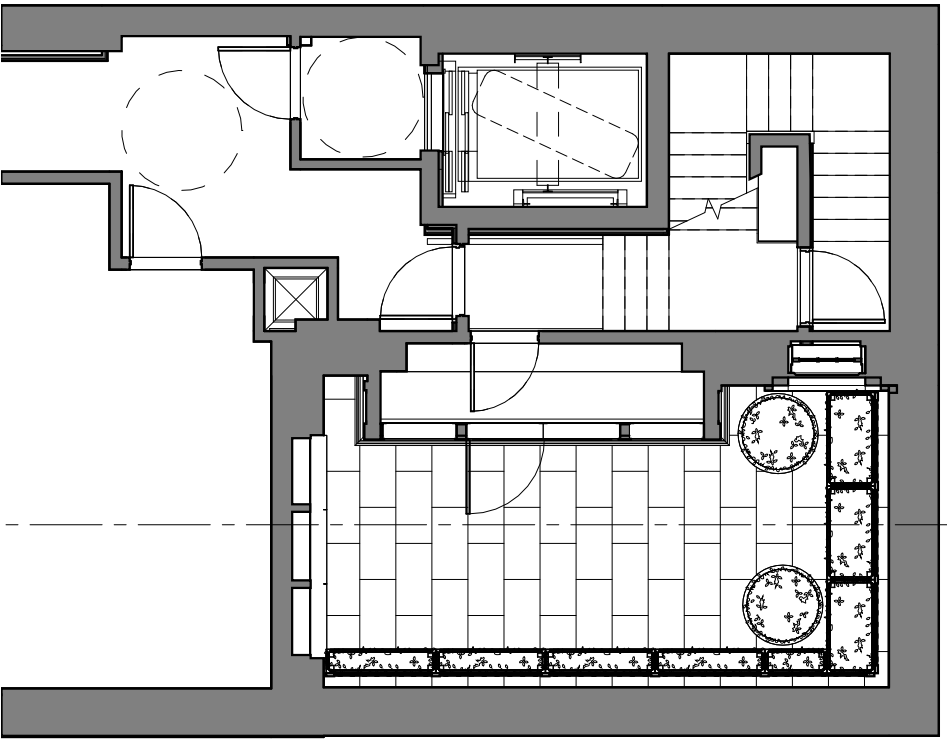
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SUB-CELLAR EXTENSION

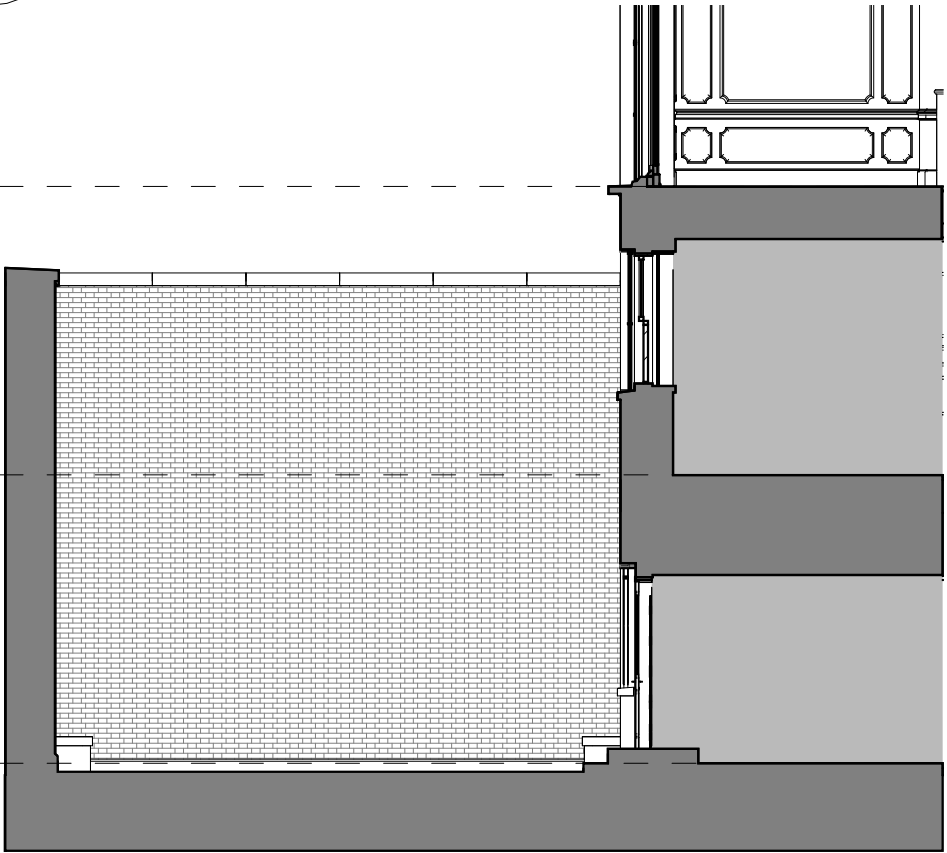
Seal and Signature:	Date:	05/11/23
	Scale:	1/8" = 1'-0"
	Drawn By:	PPA
	Drawing No.	LPC-37
	Project No.	3760
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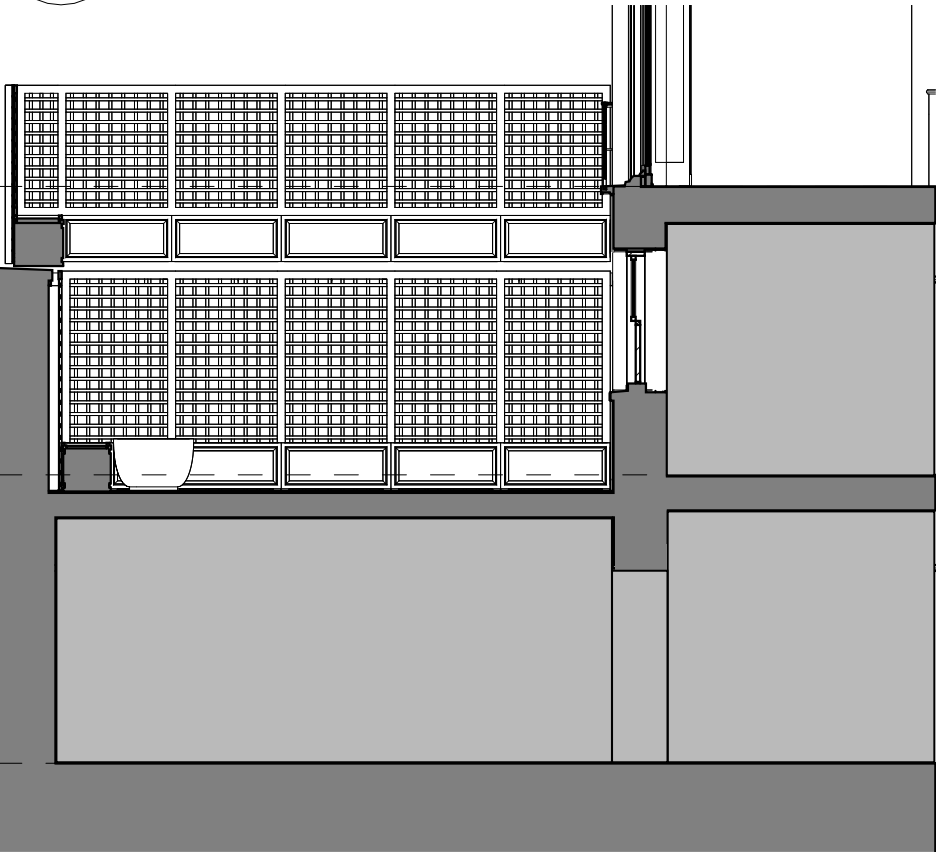
1 SUB-CELLAR LEVEL - EXISTING
LPC-37 1/8" = 1'-0"



2 CELLAR LEVEL PROPOSED
LPC-37 1/8" = 1'-0"



3 SECTION - EXISTING REAR YARD
LPC-37 1/8" = 1'-0"



4 SECTION - PROPOSED REAR YARD
LPC-37 1/8" = 1'-0"

1ST FLOOR F.F.
EL: +0' - 0"

CELLAR F.F.
EL: -12' - 0"

SUB-CELLAR F.F.
EL: -24' - 0"

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- DEMOLITION:**
1. Remove & discard existing safety railings, plumbing vents, service stair bulkhead, & roofing.
 2. Remove & salvage for replication existing stair tower standing seam copper cladding at west elevation.
 3. Rake brick/limestone mortar joints in preparation for repointing.

- CONSTRUCTION:**
- A. Provide remedial repairs to concealed structural steel and concrete assemblies per PE recommendations.
- B. Provide new brick facade and limestone trim masonry assemblies and repoint all elements to match originals exactly.
- C. Provide new flashing & roofing.
- 7th Floor/Bulkhead:
- D. Provide new structure, sheathing, waterproofing, copper cladding, pipe railing, roof access ladder, copper gutter, windows, entry doors, & flashing to extend existing service stair/elevator tower bulkhead west to align with existing setback east façade.

Refer to LC-31 and LC-33 for full north & south elevations scopes of work.

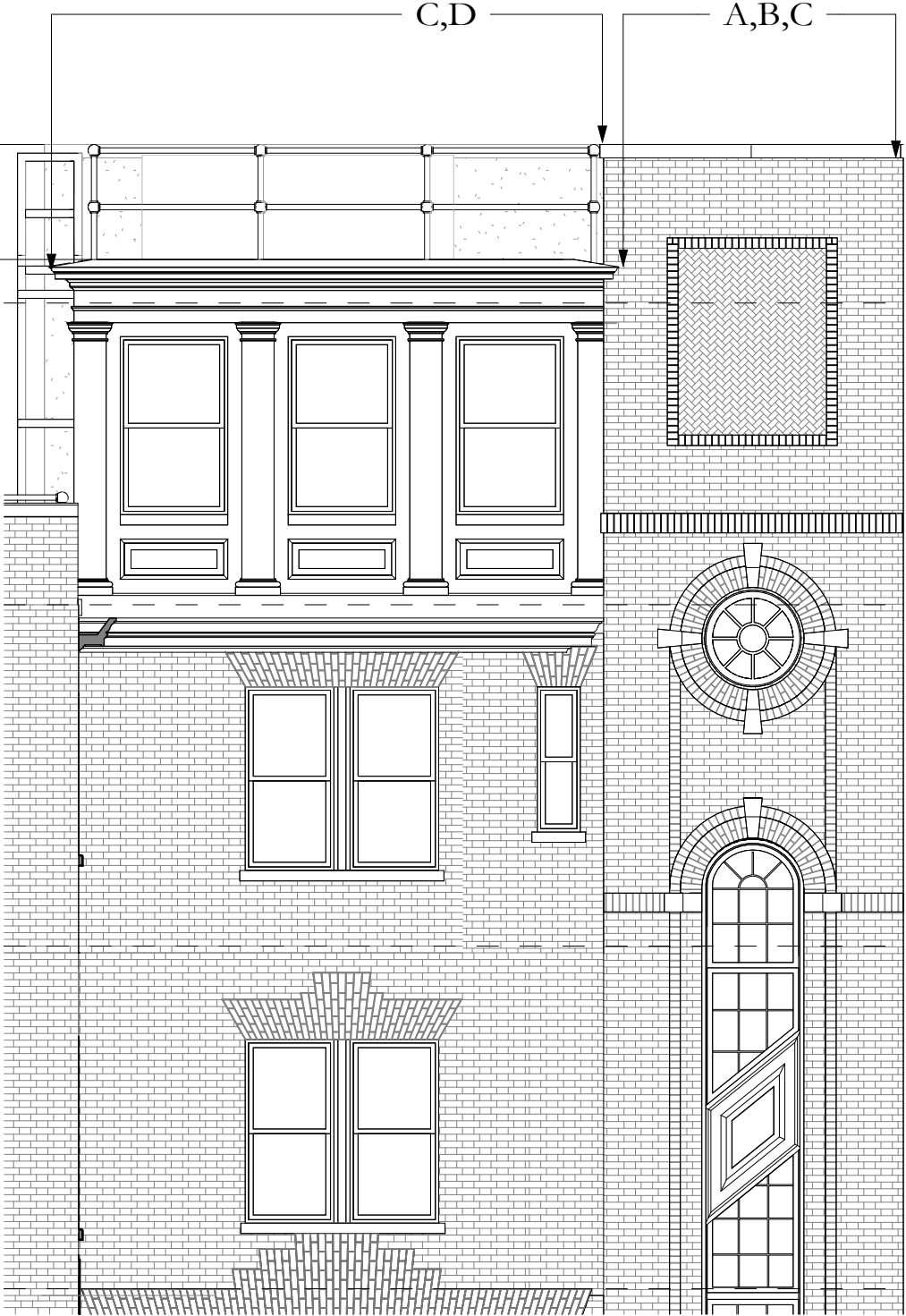
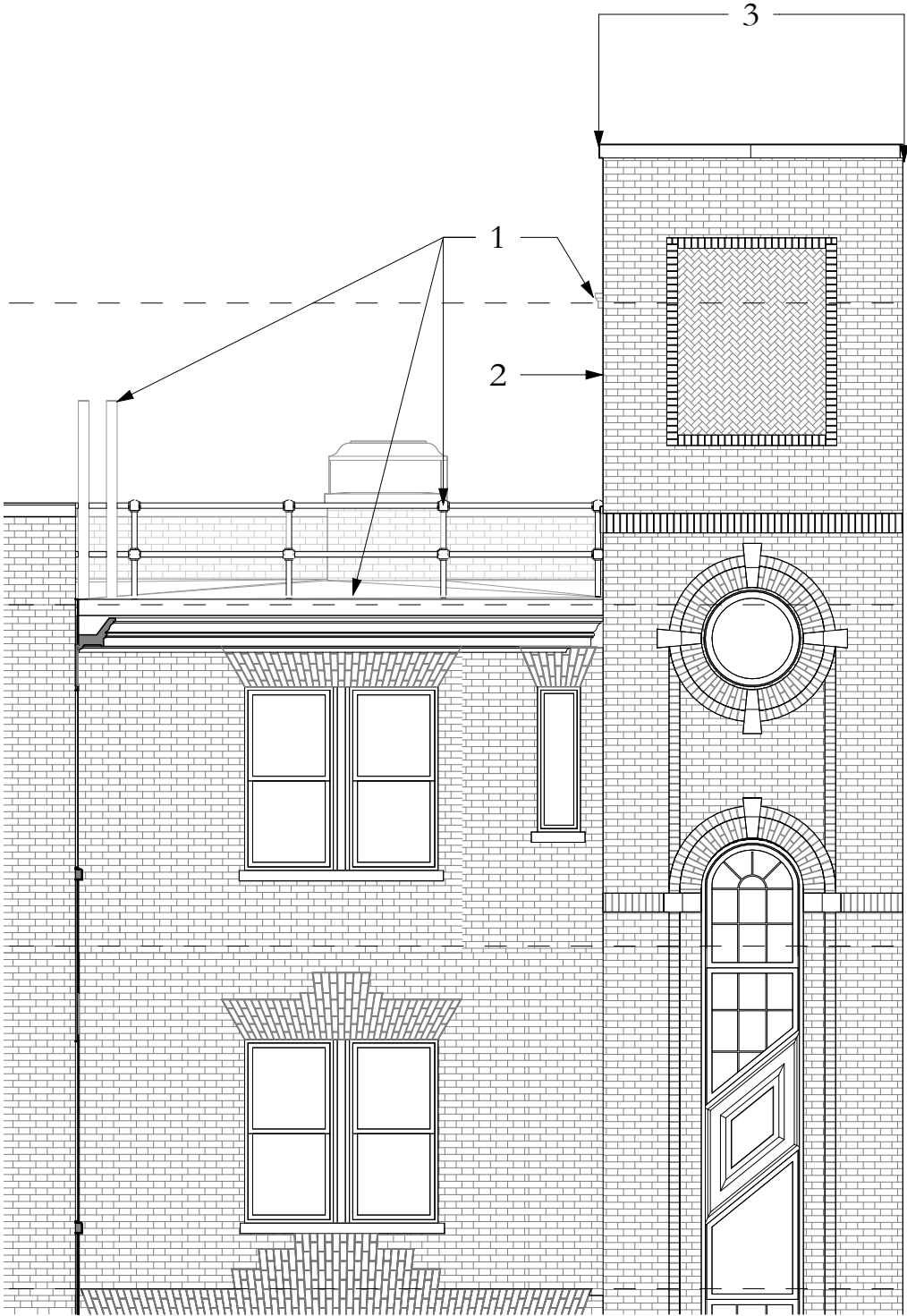
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**SOUTH ELEVATION - ROOF
BULKHEAD ADDITION**

Seal and Signature:	Date:
	05/11/23
	Scale:
	3/16" = 1'-0"
	Drawn By:
Drawing No.	PPA
	LPC-38
	Project No.
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ROOF
EL: +92' - 1 1/2"

ROOF BULKHEAD
EL: +82' - 9 1/4"

6TH FLOOR F.F.
EL: +72' - 2 1/4"

5TH FLOOR F.F.
EL: +61' - 6 3/4"

1 EXISTING SOUTH ELEVATION - ROOF BULKHEAD
LPC-38 3/16" = 1'-0"

2 PROPOSED SOUTH ELEVATION - ROOF BULKHEAD ADDITION
LPC-38 3/16" = 1'-0"

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- DEMOLITION:**
1. Remove & discard existing safety railings, service stair bulkhead, & roofing.
 2. Remove & salvage for replication existing stair tower standing seam copper cladding.
 3. Remove & discard existing chimney & copper cap.
 4. Remove & salvage areas of cracked/displaced brick & limestone masonry to expose structural steel issues (Allow 33% North Facade.)
 5. Rake brick/limestone mortar joints in preparation for repointing.

- CONSTRUCTION:**
- A. Provide remedial repairs to concealed structural steel and concrete assemblies per PE recommendations.
- B. Provide new brick facade and limestone trim masonry assemblies and repoint all elements to match originals exactly.
- C. Provide new flashing & roofing.
- D. 7th Floor/ Bulkhead:
- Provide new structure, sheathing, waterproofing, copper cladding, pipe railing, copper gutter, & flashing to extend existing service stair/elevator tower bulkhead west to align with existing setback east facade.
- E. Provide new MEP installation atop new dunnage at location shown.
- Refer to L.C.-33 for full north elevation scope of work.

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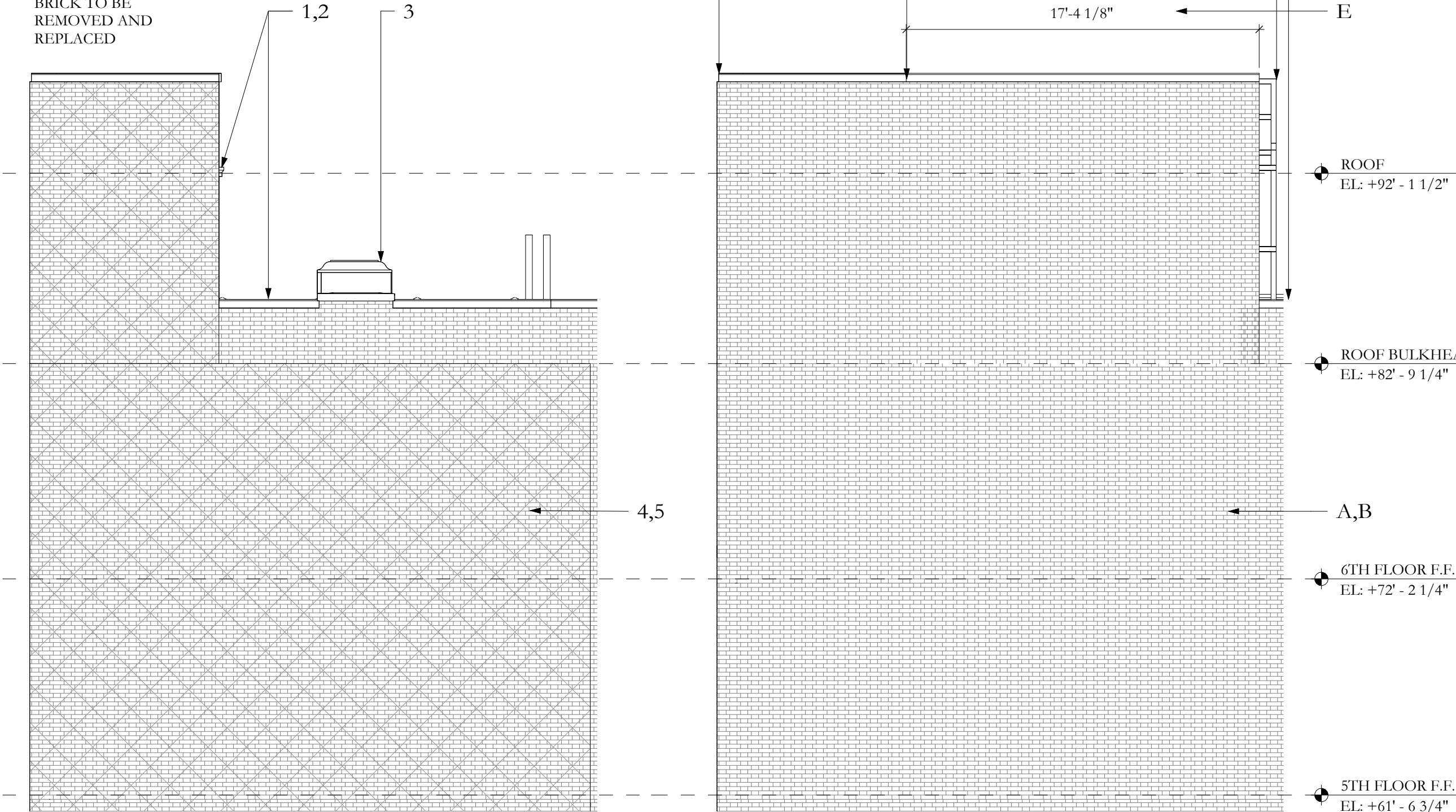
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NORTH ELEVATION - ROOF
BULKHEAD ADDITION

Seal and Signature:	Date:
	05/11/23
	Scale:
	As indicated
	Drawn By:
Drawing No.	PPA
	LPC-39
	Project No.
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BRICK TO BE
REMOVED AND
REPLACED



1 EXISTING NORTH ELEVATION
LPC-39 3/16" = 1'-0"

2 PROPOSED NORTH ELEVATION
LPC-39 3/16" = 1'-0"



1 EXISTING LIGHTWELL SECTION FACING SOUTH
LPC-40 1/8" = 1'-0"

2 PROPOSED LIGHTWELL SECTION FACING SOUTH
LPC-40 1/8" = 1'-0"

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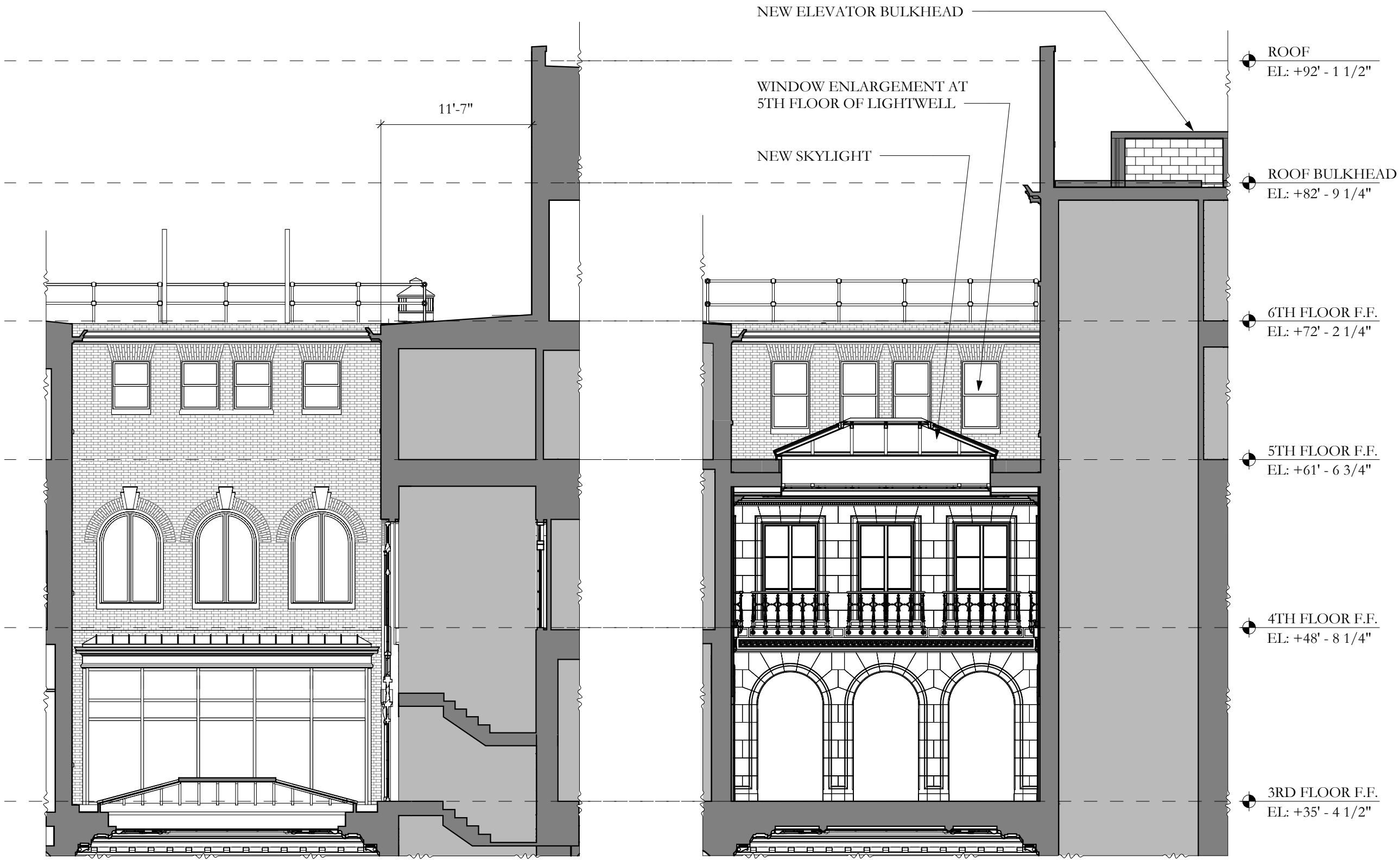
INTERIOR LIGHTWELL - EAST &
WEST WALLS

Seal and Signature:	Date: 05/11/23
	Scale: 1/8" = 1'-0"
	Drawn By: PPA
	Drawing No. LPC-41
	Project No. 3760

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1	EXIST. LIGHTWELL WEST	2	PROP. LIGHTWELL WEST	3	EXIST. LIGHTWELL EAST	4	PROP. LIGHTWELL EAST
LPC-41	1/8" = 1'-0"	LPC-41	1/8" = 1'-0"	LPC-41	1/8" = 1'-0"	LPC-41	1/8" = 1'-0"



1 EXISTING LIGHTWELL SECTION FACING NORTH
LPC-42 1/8" = 1'-0"

2 PROPOSED LIGHTWELL SECTION FACING NORTH
LPC-42 1/8" = 1'-0"

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INTERIOR LIGHTWELL -
NORTH WALL

Seal and Signature:	Date:
	05/11/23
	Scale:
	1/8" = 1'-0"
	Drawn By:
LPC-42	PPA
	Drawing No.
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EXISTING



PROPOSED

EAST ELEVATION



EXISTING



PROPOSED

SOUTH ELEVATION



EXISTING



PROPOSED

WEST ELEVATION



EXISTING



PROPOSED

NORTH ELEVATION

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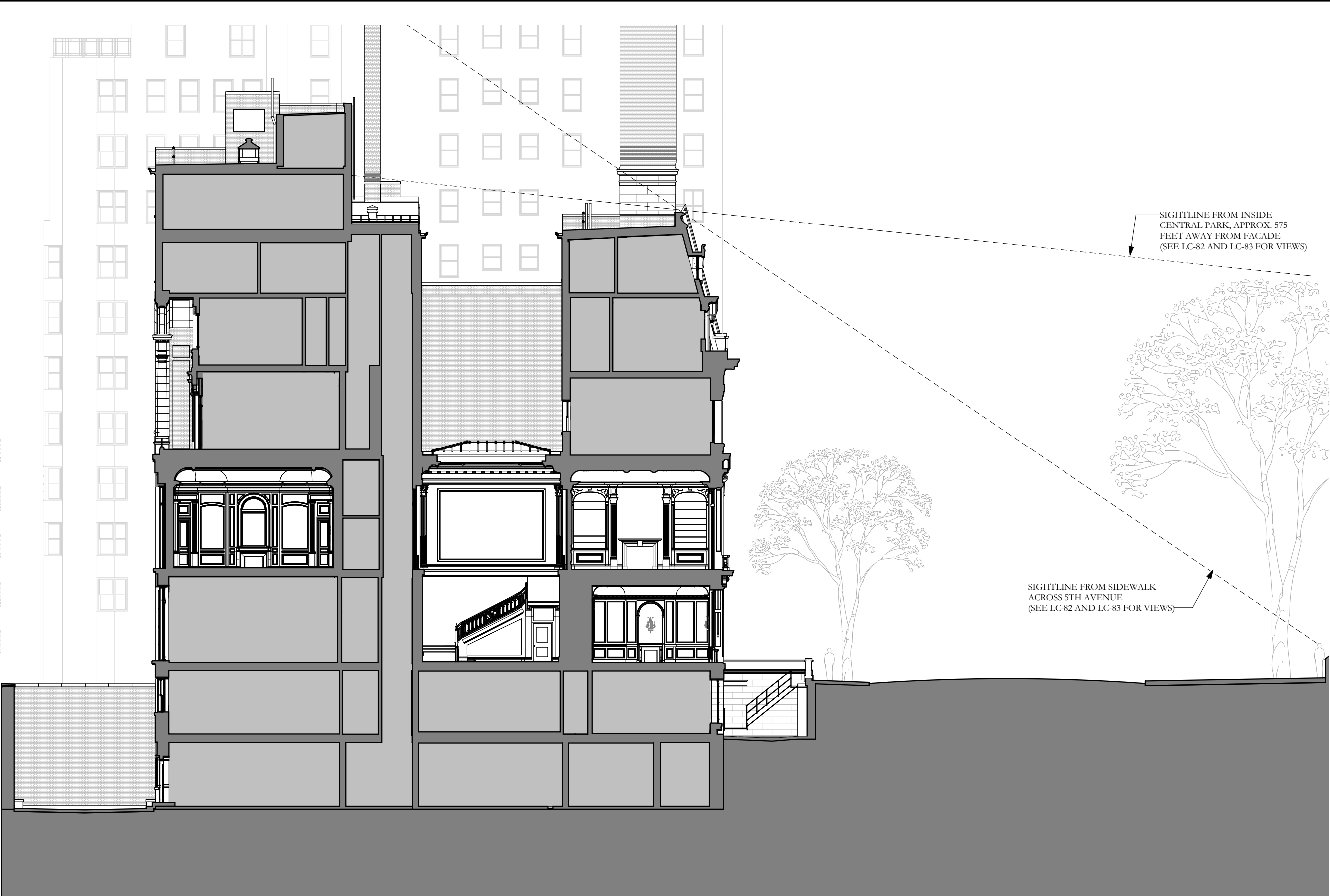
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EXISTING & PROPOSED
WINTER GARDEN

Seal and Signature:	Date: 06/28/23
	Scale:
	Drawn By: Author
	Drawing No. LPC-43
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SIGHTLINE FROM INSIDE
CENTRAL PARK, APPROX. 575
FEET AWAY FROM FACADE
(SEE LC-82 AND LC-83 FOR VIEWS)

SIGHTLINE FROM SIDEWALK
ACROSS 5TH AVENUE
(SEE LC-82 AND LC-83 FOR VIEWS)

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EXISTING LONGITUDINAL
SECTION A

Seal and Signature:	Date:
	05/11/23
	Scale:
	1/16" = 1'-0"
	Drawn By:
LPC-44	PPA
	Drawing No.
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1 EXISTING LONGITUDINAL SECTION A
LPC-44 1/16" = 1'-0"



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PROPOSED LONGITUDINAL
SECTION A

Seal and Signature:	Date: 05/11/23
	Scale: 1/16" = 1'-0"
	Drawn By: PPA
	Drawing No. LPC-45
	Project No. 3760

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1
LPC-45

PROPOSED LONGITUDINAL SECTION A
1/16" = 1'-0"



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SIGHTLINE VIEWS 1



Position 1A

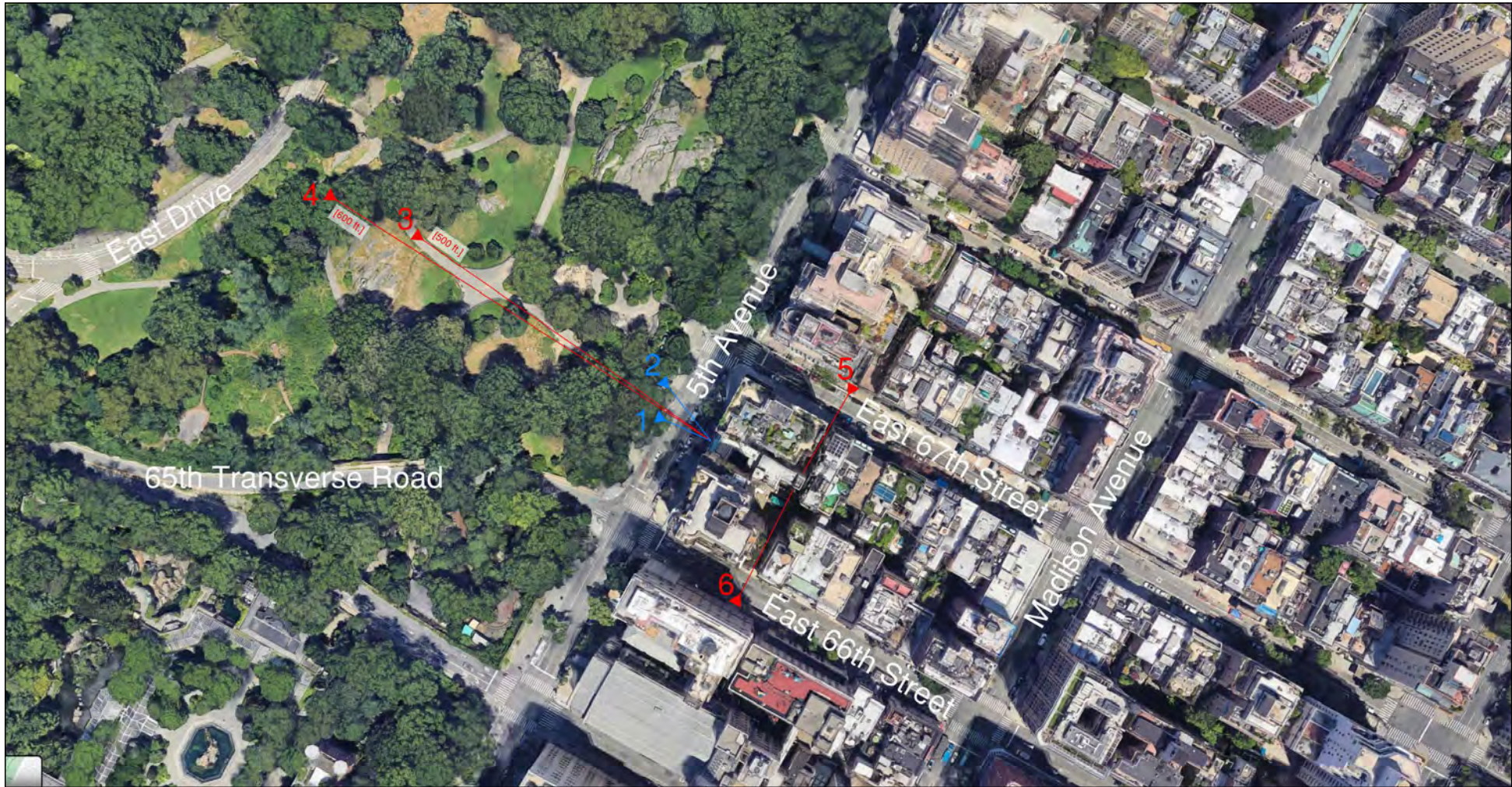


Position 1B



Position 1C

Seal and Signature:	Date:	05/11/23
	Scale:	
	Drawn By:	PPA
	Drawing No.	LPC-46
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SIGHTLINE VIEWS 2

Seal and Signature:	Date:	05/11/23
	Scale:	
	Drawn By:	PPA
	Drawing No.	LPC-47
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Position 2A



Position 2B



Position 2C



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SIGHTLINE VIEWS 3

Seal and Signature:	Date:	
	05/11/23	
	Scale:	
	Drawn By:	
	PPA	
	Drawing No.	
	LPC-48	
	Project No.	
	3760	49 of 71



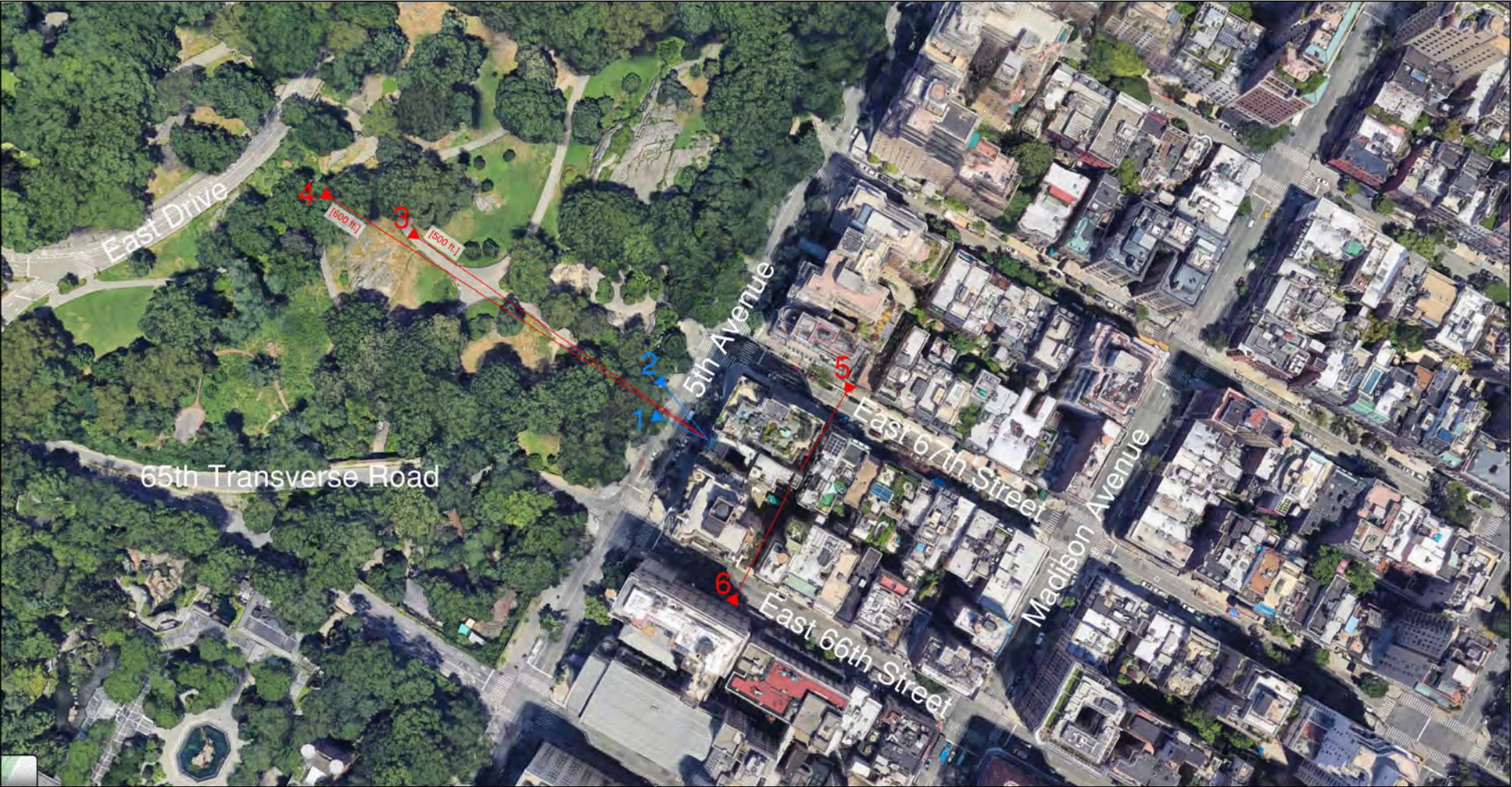
Position 3A



Position 3B



Position 3C



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Position 4A



Position 4B



Position 4C

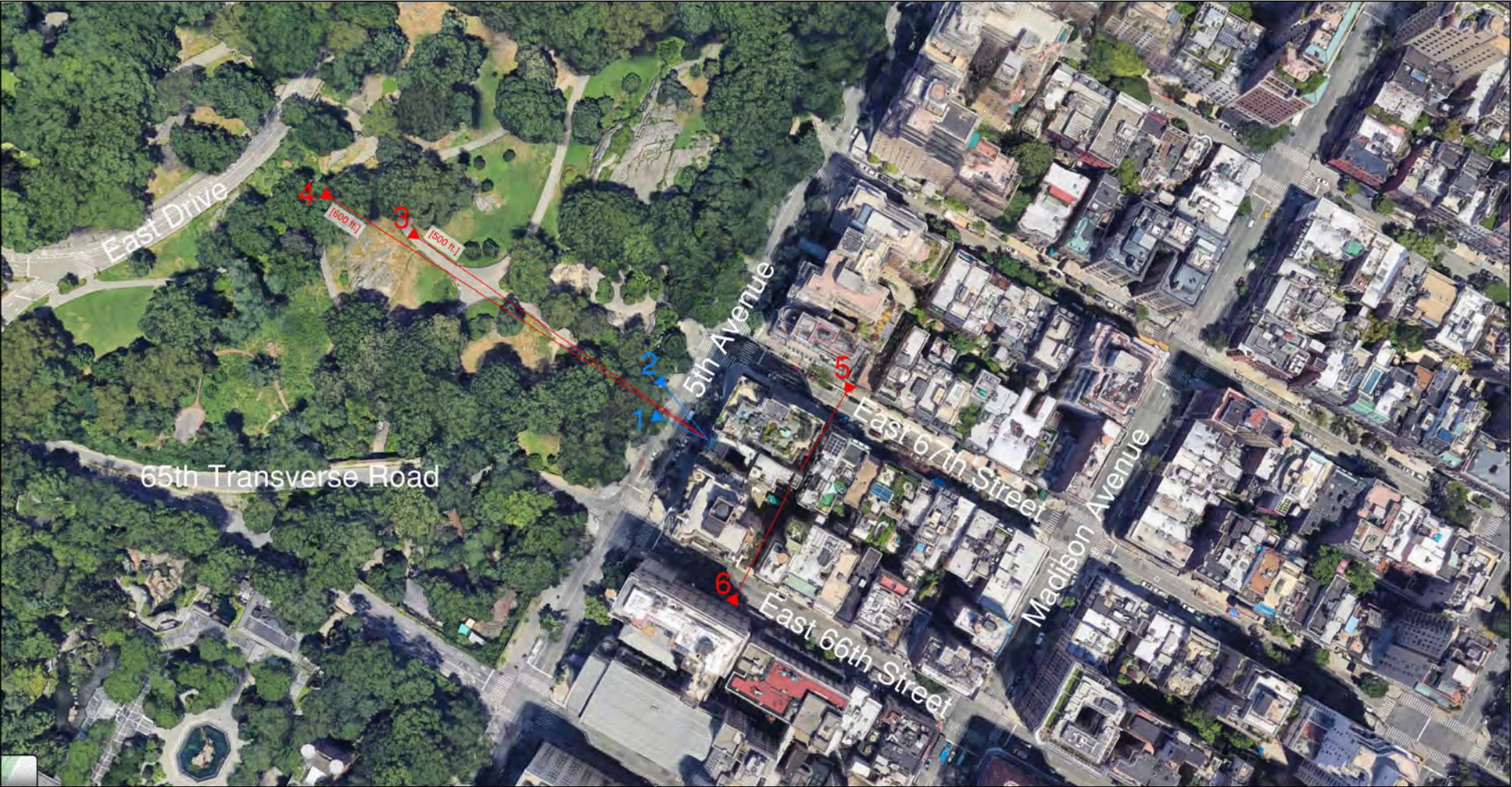
ISSUED TO LPC	11/29/23
ISSUED TO LPC	9/27/23
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SIGHTLINE VIEWS 4

Seal and Signature:	Date:
	05/11/23
	Scale:
	Drawn By:
	PPA
Drawing No.	
LPC-49	
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SIGHTLINE VIEWS 5

<i>Seal and Signature:</i>	<i>Date:</i> 10/12/23	
	<i>Scale:</i>	
	<i>Drawn By:</i> PPA	
	<i>Drawing No.</i> LPC-50	
	<i>Project No.</i> 3760	51 of 71



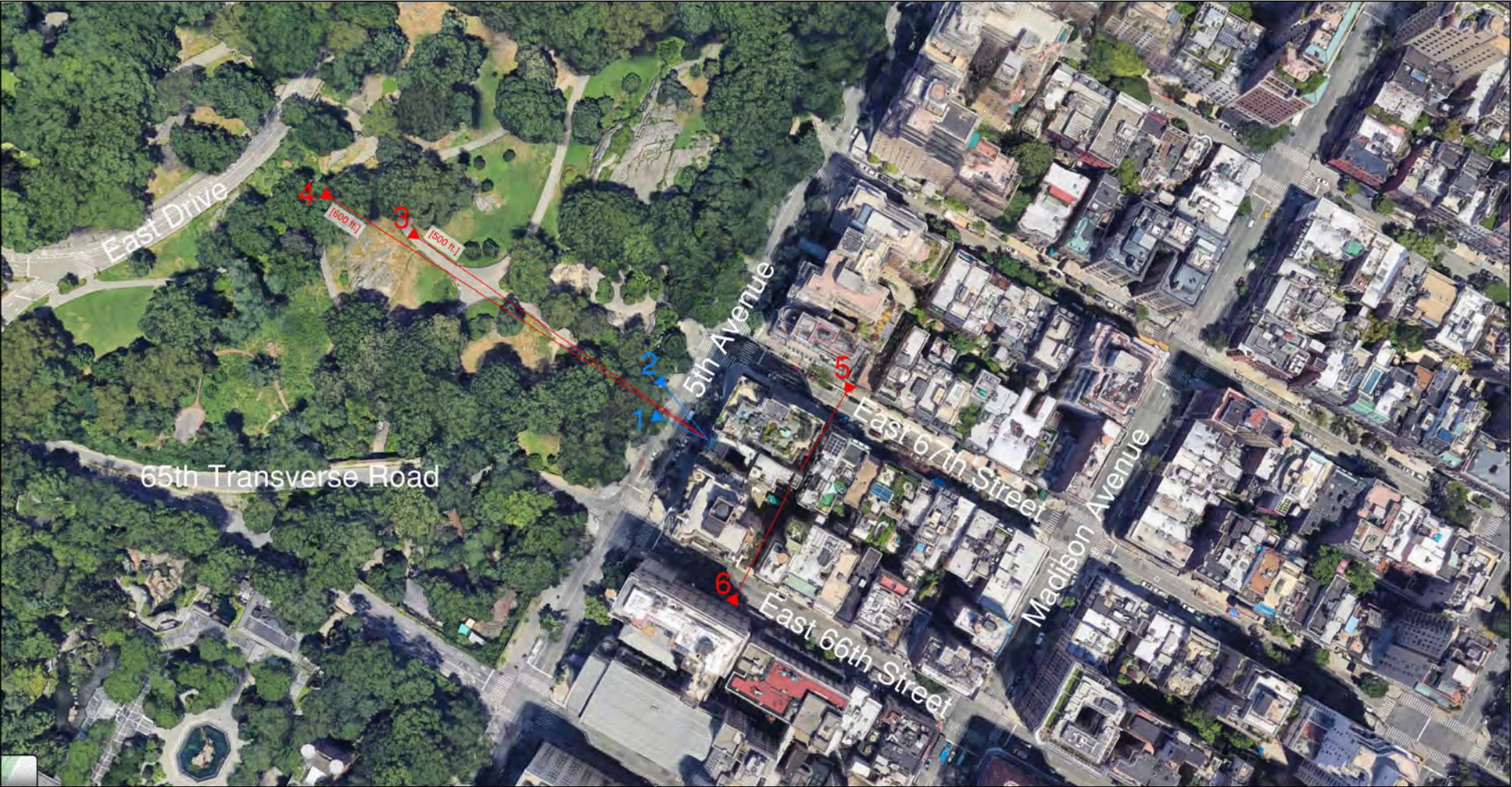
Position 5A



Position 5B



Position 5C



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SIGHTLINE VIEWS 6

Seal and Signature:	Date:	10/12/23
	Scale:	
	Drawn By:	PPA
	Drawing No.	LPC-51
	Project No.	3760
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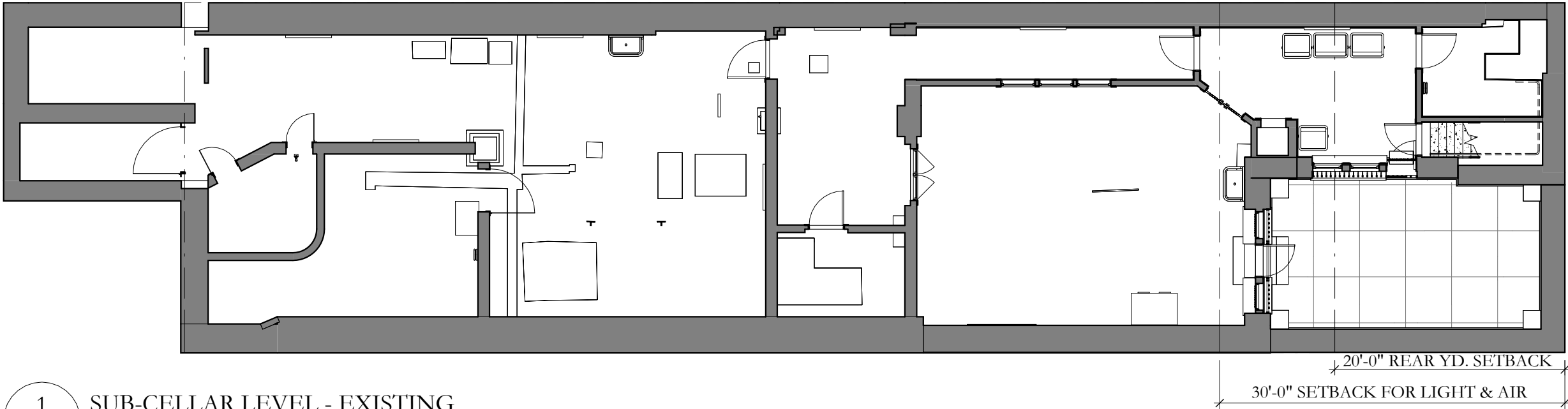
Position 6A



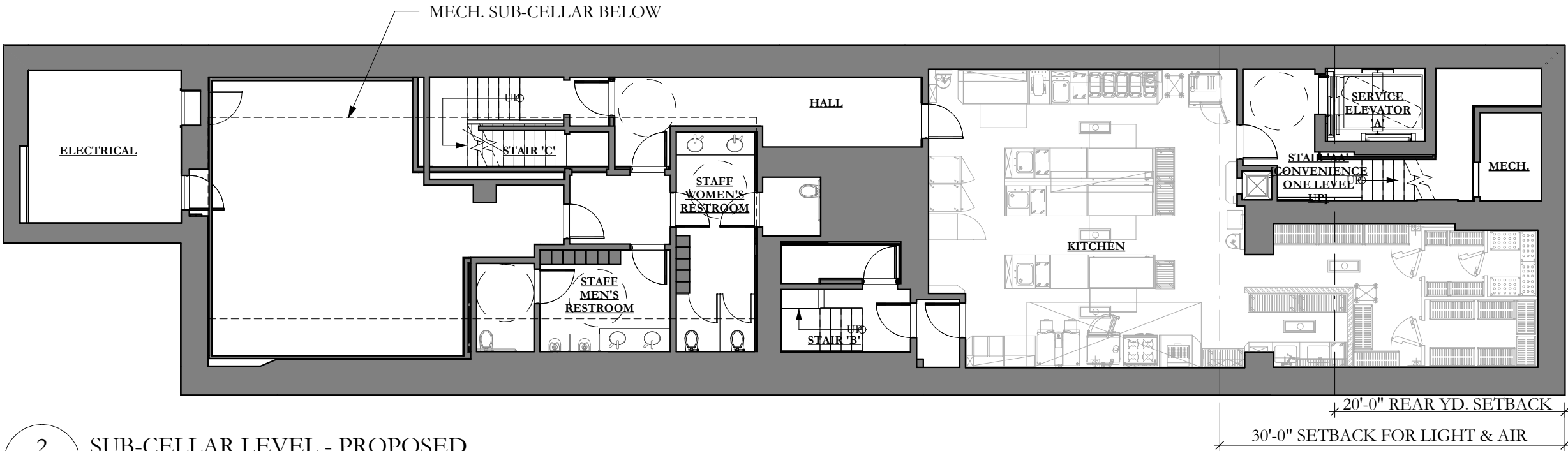
Position 6B



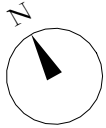
Position 6C



1 SUB-CELLAR LEVEL - EXISTING
LPC-52 3/32" = 1'-0"



2 SUB-CELLAR LEVEL - PROPOSED
LPC-52 3/32" = 1'-0"



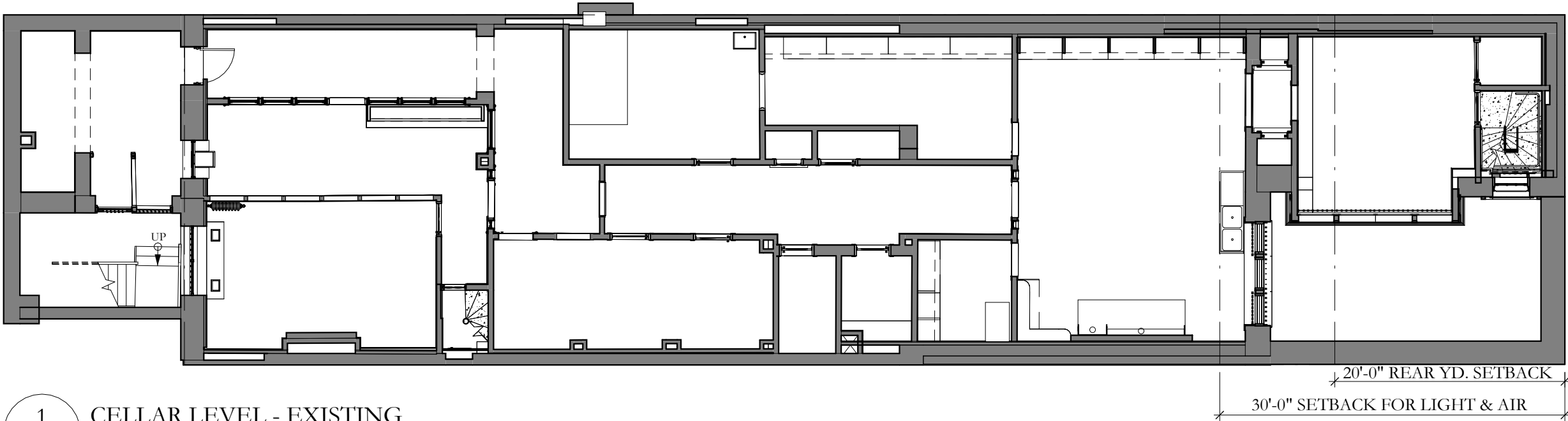
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ISSUED TO LPC 9/27/23
LPC & DCP PRE-APP. MTGS. 7/27/23

ISSUE: DATE:

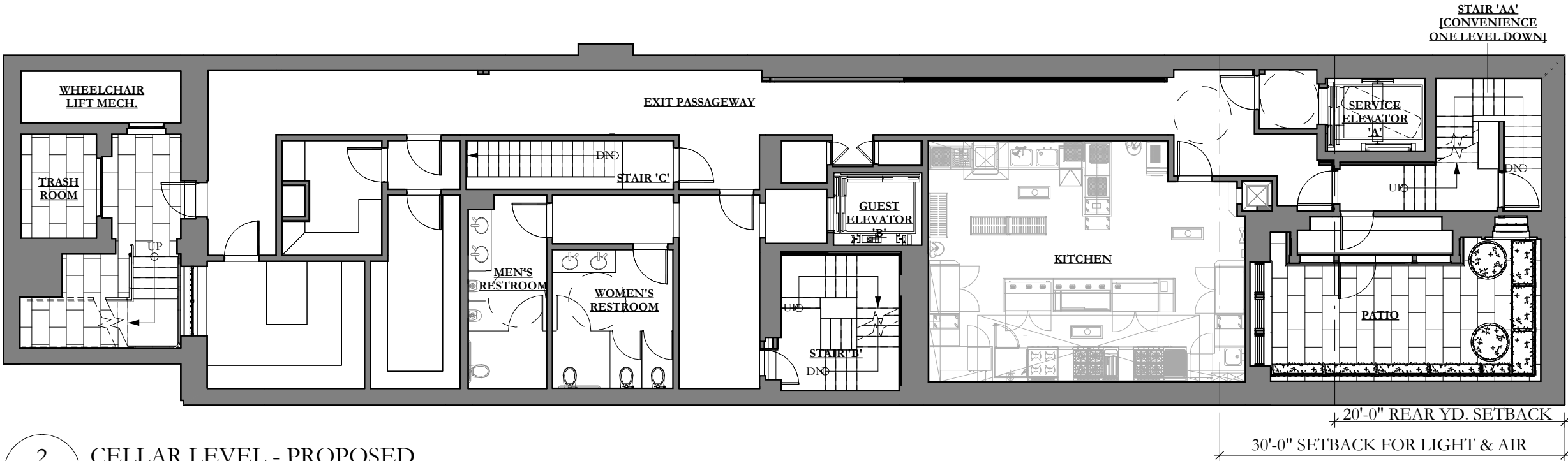
Project: 854 FIFTH AVE
NEW YORK, NY 10065

EXISTING & PROPOSED
SUB-CELLAR PLANS

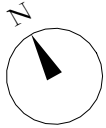
Seal and Signature:	Date:
	05/11/23
	Scale:
	3/32" = 1'-0"
	Drawn By:
LPC-52	PPA
	Drawing No.
	3760
Project No.	53 of 71



1 CELLAR LEVEL - EXISTING
LPC-53 3/32" = 1'-0"



2 CELLAR LEVEL - PROPOSED
LPC-53 3/32" = 1'-0"



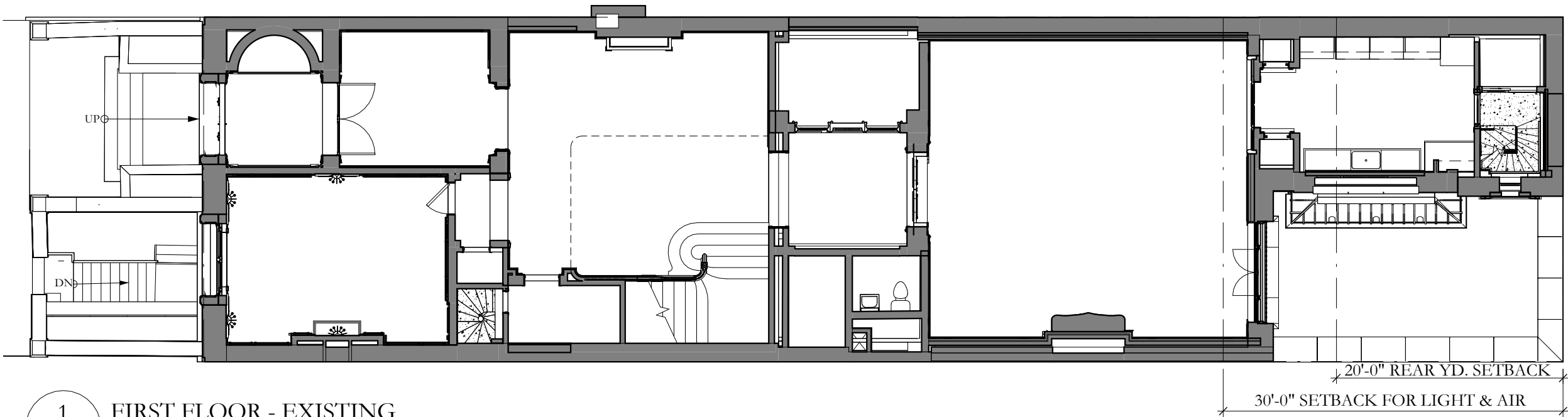
ISSUED TO LPC 11/29/23
ISSUED TO LPC 9/27/23
LPC & DCP PRE-APP. MTGS. 7/27/23

ISSUE: DATE:

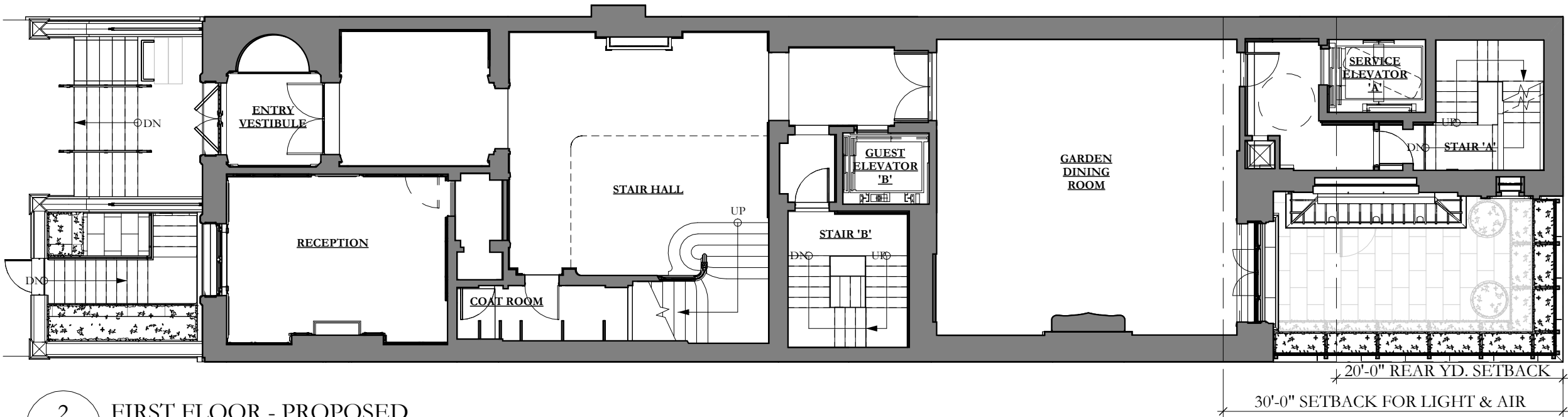
Project: 854 FIFTH AVE
NEW YORK, NY 10065

EXISTING & PROPOSED CELLAR
PLANS

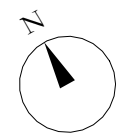
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	05/11/23
	Scale:
	3/32" = 1'-0"
	Drawn By:
LPC-53	PPA
	Drawing No.
	3760
Project No.	54 of 71



1 FIRST FLOOR - EXISTING
LPC-54 3/32" = 1'-0"



2 FIRST FLOOR - PROPOSED
LPC-54 3/32" = 1'-0"



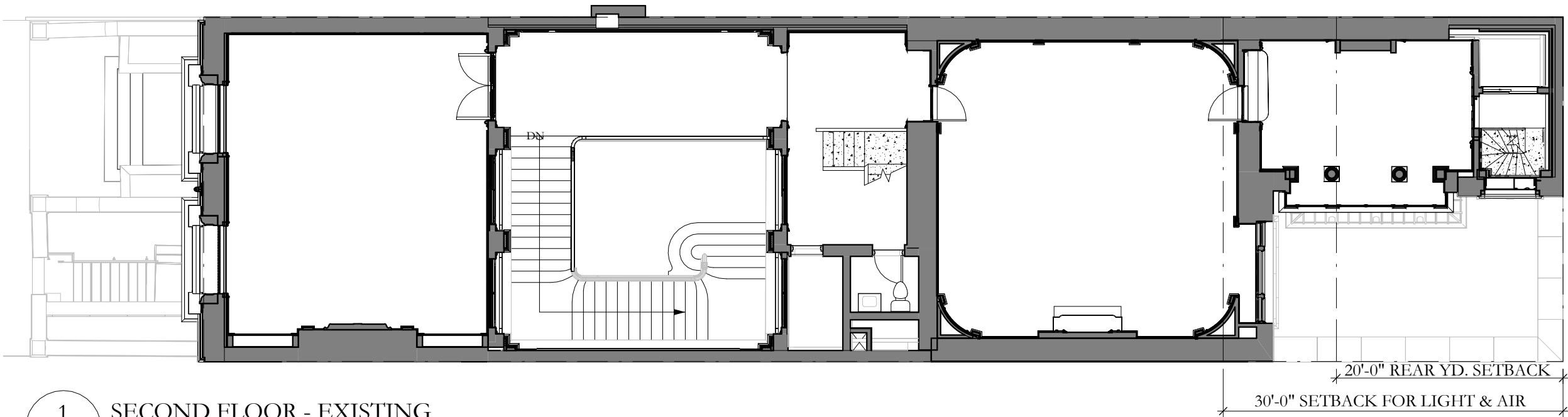
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LPC & DCP PRE-APP. MTGS. 7/27/23

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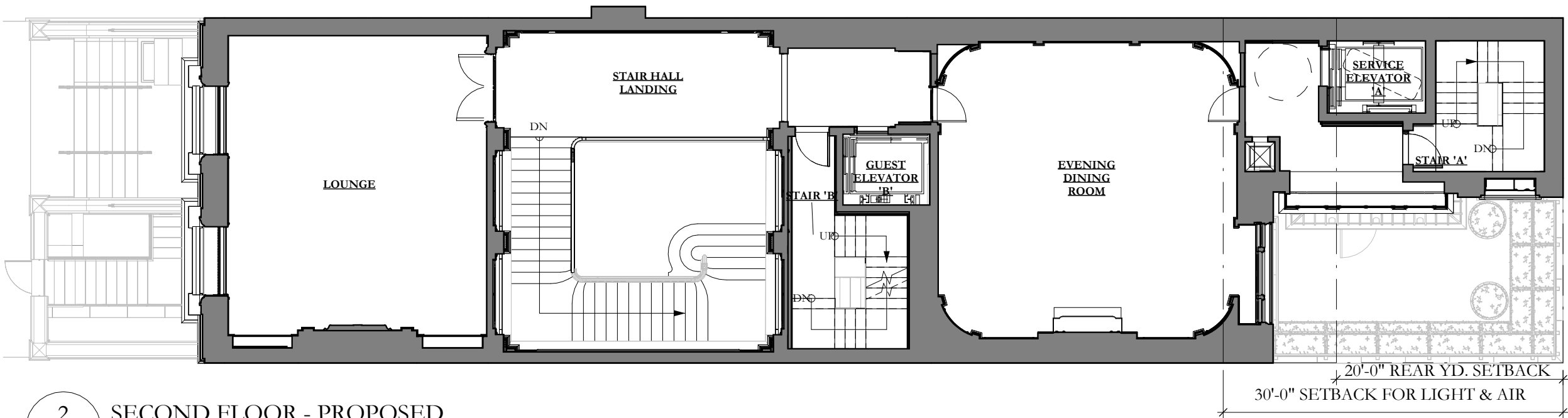
Project: 854 FIFTH AVE
NEW YORK, NY 10065

EXISTING & PROPOSED FIRST
FLOOR PLANS

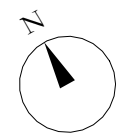
Seal and Signature:	Date:
	05/11/23
	Scale:
	3/32" = 1'-0"
	Drawn By:
LPC-54	PPA
	Drawing No.
	3760
Project No.	55 of 71



1 SECOND FLOOR - EXISTING
LPC-55 3/32" = 1'-0"



2 SECOND FLOOR - PROPOSED
LPC-55 3/32" = 1'-0"



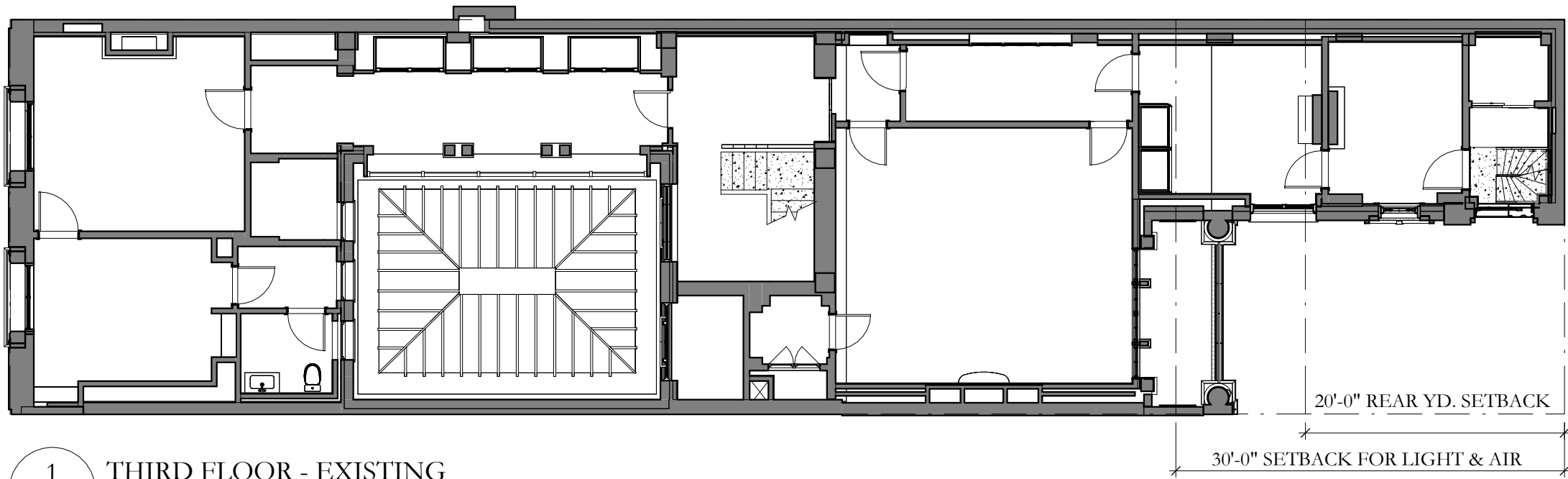
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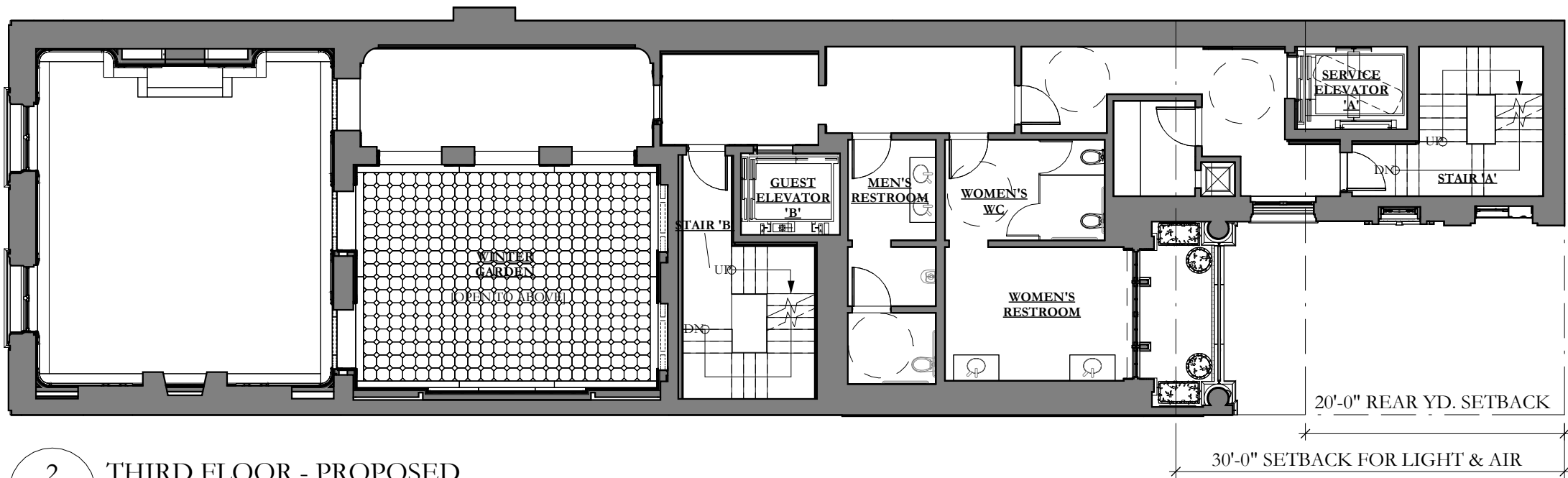
Project: 854 FIFTH AVE
NEW YORK, NY 10065

EXISTING & PROPOSED
SECOND FLOOR PLANS

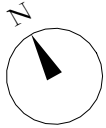
Seal and Signature:	Date:
	05/11/23
	Scale:
	3/32" = 1'-0"
	Drawn By:
LPC-55	PPA
	Drawing No.
	3760
Project No.	56 of 71



1 THIRD FLOOR - EXISTING
LPC-56 3/32" = 1'-0"



2 THIRD FLOOR - PROPOSED
LPC-56 3/32" = 1'-0"



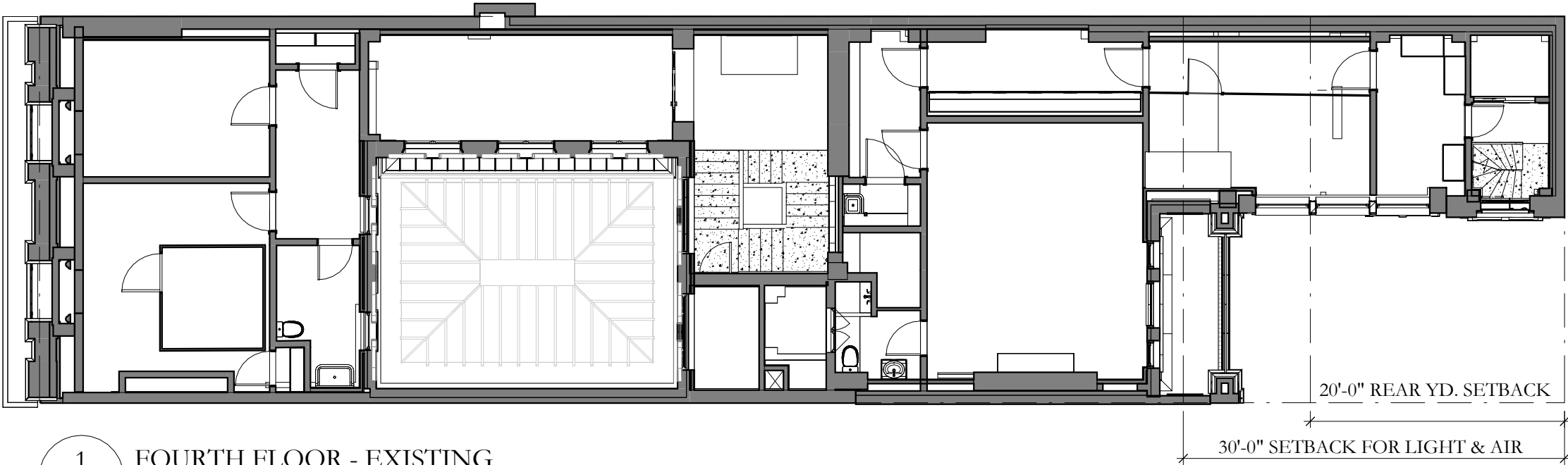
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LPC & DCP PRE-APP. MTGS. 7/27/23

ISSUE: DATE:

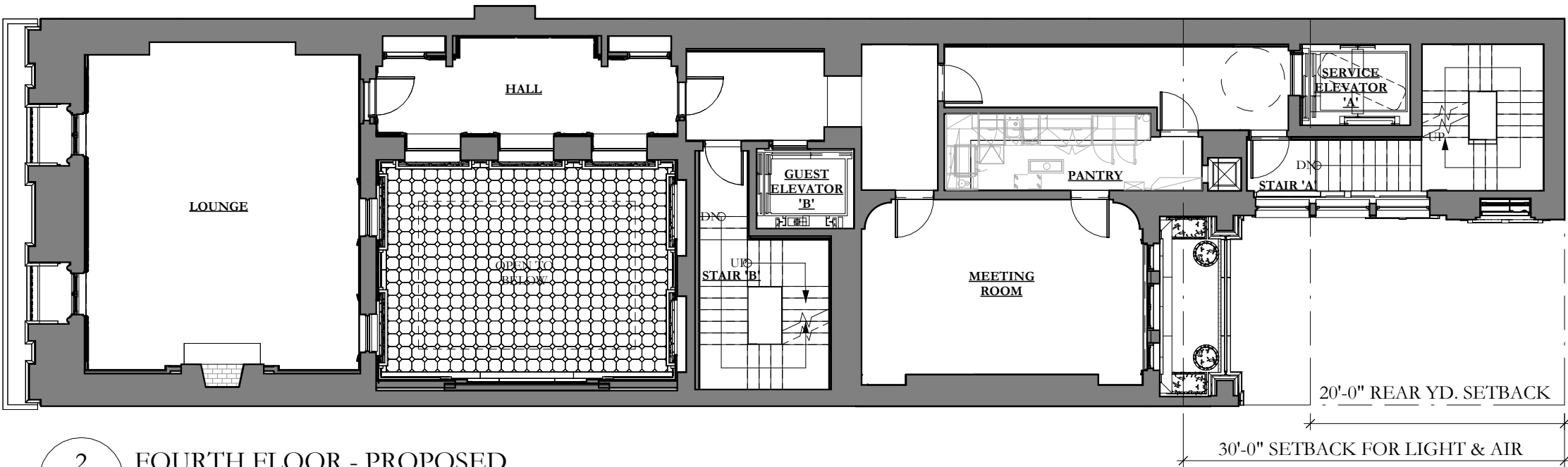
Project: **854 FIFTH AVE**
NEW YORK, NY 10065

EXISTING & PROPOSED THIRD
FLOOR PLANS

Seal and Signature:	Date:
	05/11/23
	Scale:
	3/32" = 1'-0"
	Drawn By:
LPC-56	PPA
	Drawing No.
	3760
Project No.	
57 of 71	



1 FOURTH FLOOR - EXISTING
LPC-57 3/32" = 1'-0"



2 FOURTH FLOOR - PROPOSED
LPC-57 3/32" = 1'-0"



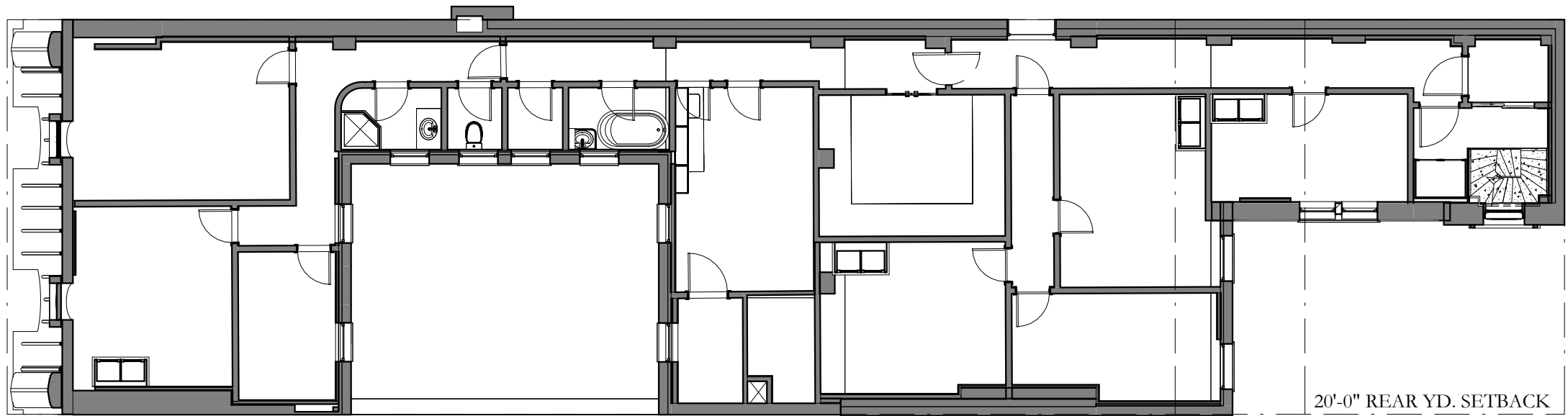
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ISSUED TO LPC 9/27/23
LPC & DCP PRE-APP. MTGS. 7/27/23

ISSUE: DATE:

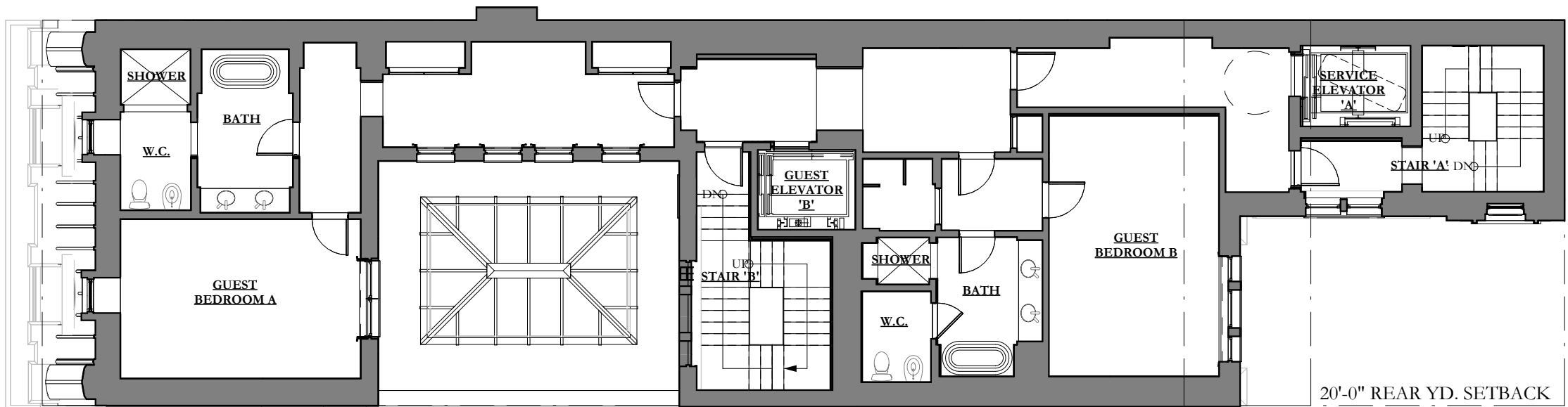
Project: 854 FIFTH AVE
NEW YORK, NY 10065

EXISTING & PROPOSED
FOURTH FLOOR PLANS

Seal and Signature:	Date:
	05/11/23
	Scale:
	3/32" = 1'-0"
	Drawn By:
LPC-57	PPA
	Drawing No.
	3760
Project No.	58 of 71

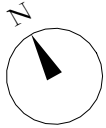


1 FIFTH FLOOR - EXISTING
LPC-58 3/32" = 1'-0"



2 FIFTH FLOOR - PROPOSED
LPC-58 3/32" = 1'-0"

0' 5' 10' feet 3/32" = 1'-0"



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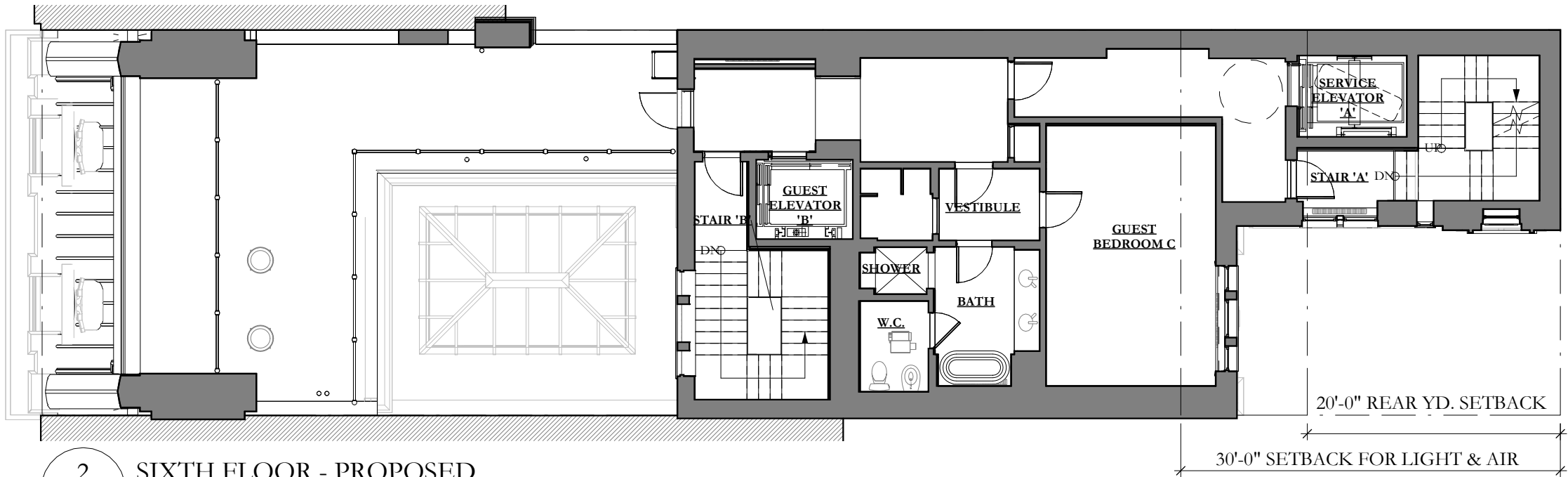
Project: 854 FIFTH AVE
NEW YORK, NY 10065

EXISTING & PROPOSED FIFTH
FLOOR PLANS

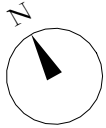
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	Scale:	3/32" = 1'-0"
	Drawn By:	PPA
	Drawing No.	LPC-58
	Project No.	3760
		59 of 71



1 SIXTH FLOOR - EXISTING
LPC-59 3/32" = 1'-0"



2 SIXTH FLOOR - PROPOSED
LPC-59 3/32" = 1'-0"



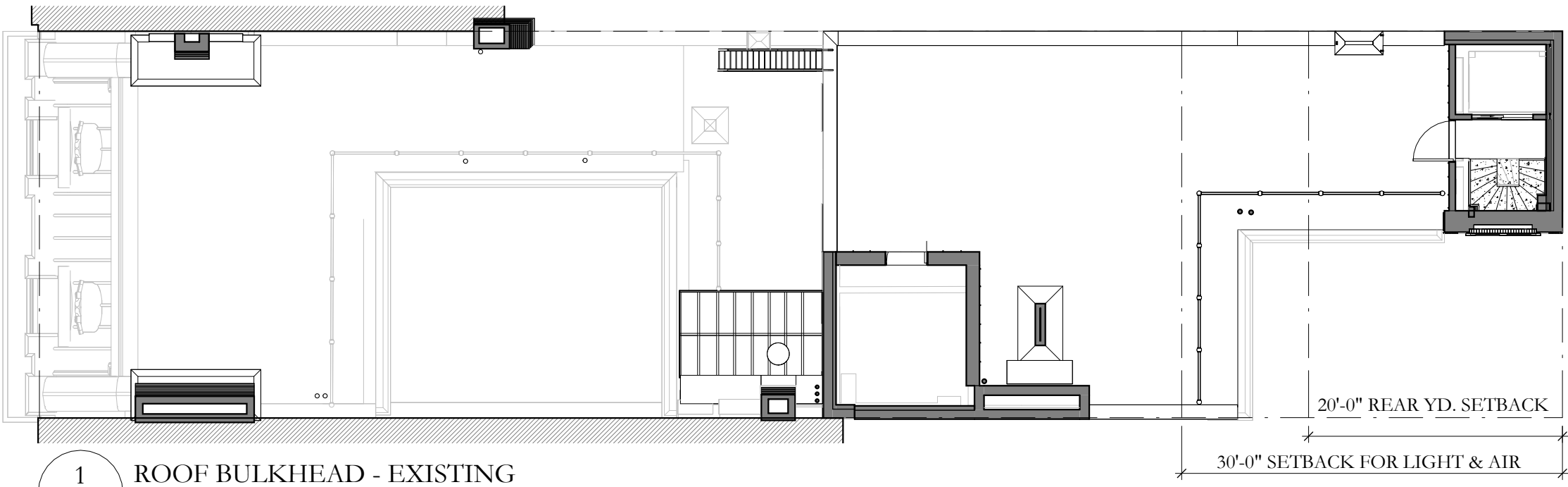
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ISSUED TO LPC 9/27/23
LPC & DCP PRE-APP. MTGS. 7/27/23

ISSUE: DATE:

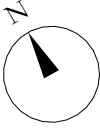
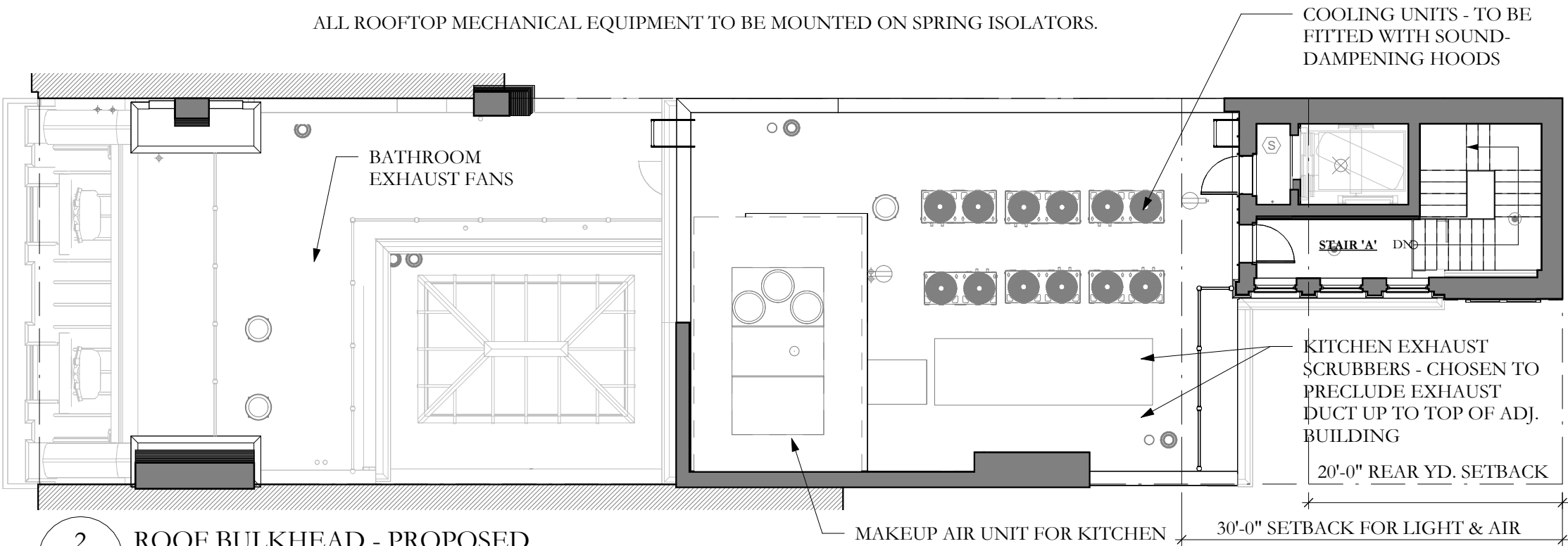
Project: 854 FIFTH AVE
NEW YORK, NY 10065

EXISTING & PROPOSED SIXTH
FLOOR PLANS

Seal and Signature:	Date:
	05/11/23
	Scale:
	3/32" = 1'-0"
	Drawn By:
LPC-59	PPA
	Drawing No.
	3760
Project No.	60 of 71



ALL ROOFTOP MECHANICAL EQUIPMENT TO BE MOUNTED ON SPRING ISOLATORS.



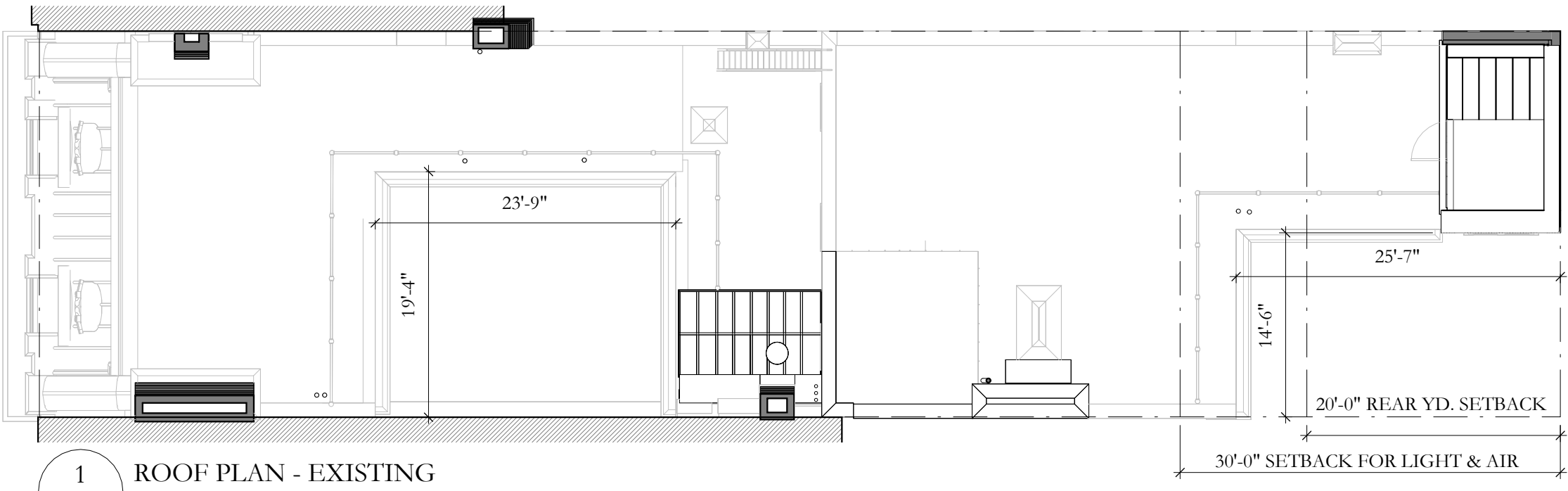
ISSUED TO LPC 11/29/23
ISSUED TO LPC 9/27/23
LPC & DCP PRE-APP. MTGS. 7/27/23

ISSUE: DATE:

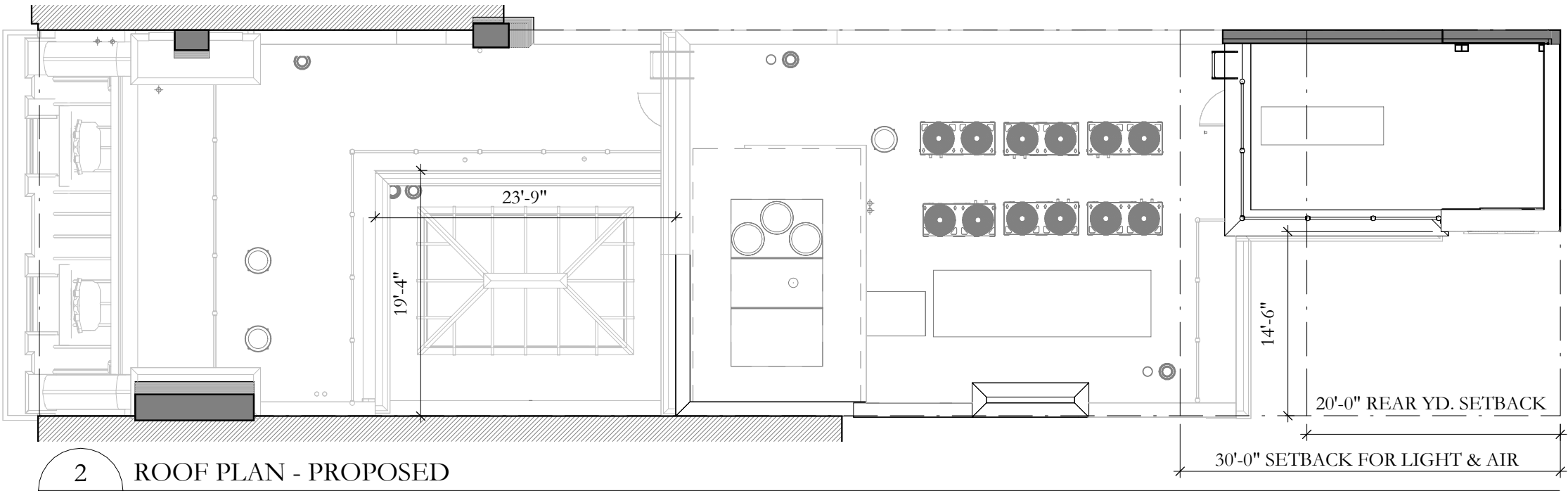
Project: 854 FIFTH AVE
NEW YORK, NY 10065

EXISTING & PROPOSED ROOF
BULKHEAD PLANS

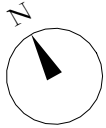
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	05/11/23
	Scale:
	3/32" = 1'-0"
	Drawn By:
LPC-60	PPA
	Drawing No.
	3760
Project No.	61 of 71



1 ROOF PLAN - EXISTING
LPC-61 3/32" = 1'-0"



2 ROOF PLAN - PROPOSED
LPC-61 3/32" = 1'-0"



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Project: 854 FIFTH AVE
NEW YORK, NY 10065

EXISTING & PROPOSED ROOF
PLANS

Seal and Signature:	Date:	05/11/23
	Scale:	3/32" = 1'-0"
	Drawn By:	PPA
	Drawing No.	LPC-61
	Project No.	3760
		62 of 71

PETER PENNOYER
ARCHITECTS

136 Madison Ave, 11th Flr, NYC 10016
Telephone 212 779 9765

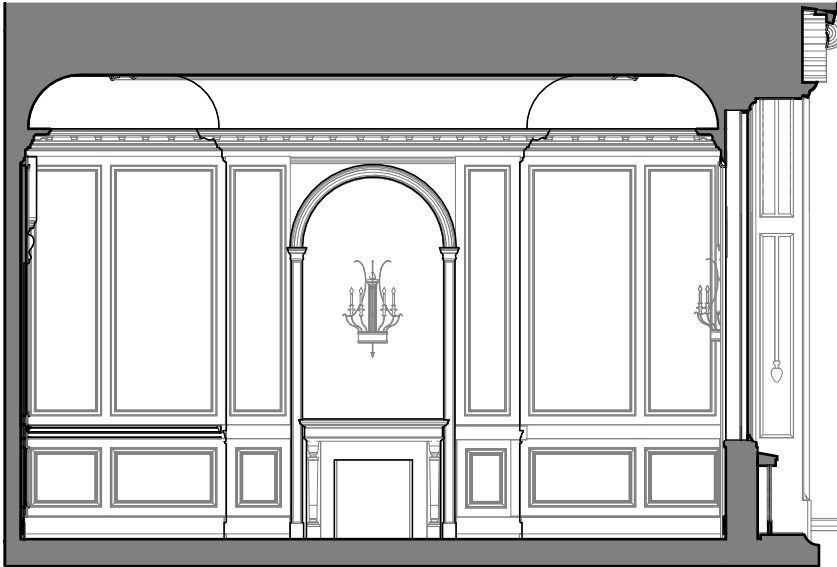
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ISSUE: DATE:

Project:
854 FIFTH AVE
NEW YORK, NY 10065

RECEPTION ROOM
PRESERVATION

Seal and Signature:	Date:
	06/28/23
	Scale:
	3/16" = 1'-0"
	Drawn By:
LPC-62	Author
	Drawing No.
	Project No.
3760	63 of 71



1 RECEPTION TO BE ROOM RESTORED
LPC-62 3/16" = 1'-0"

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Telephone 212 779 9765

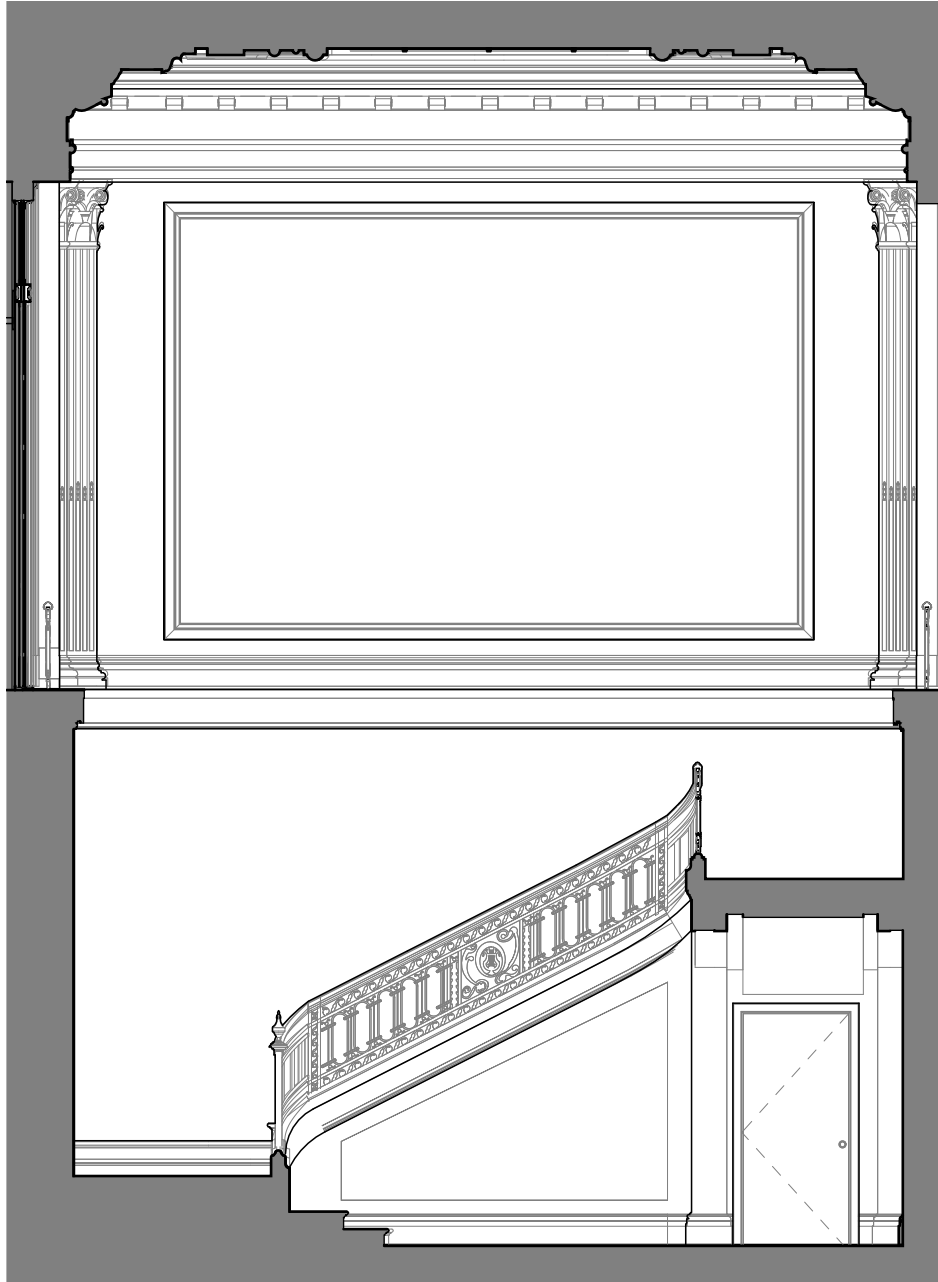
ISSUED TO LPC 11/29/23
ISSUED TO LPC 9/27/23
LPC & DCP PRE-APP. MTGS. 7/27/23

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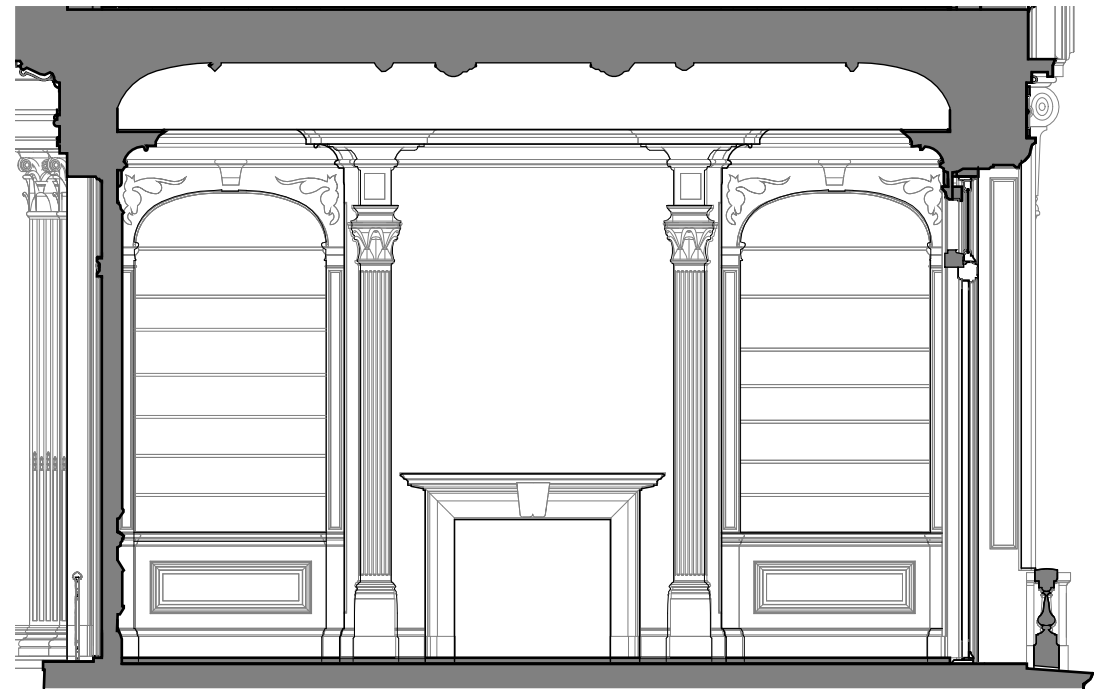
Project:
854 FIFTH AVE
NEW YORK, NY 10065

STAIR HALL PRESERVATION

Seal and Signature:	Date:	06/28/23
	Scale:	3/16" = 1'-0"
	Drawn By:	Author
	Drawing No.	LPC-63
	Project No.	3760
		64 of 71



1 STAIR HALL TO BE RESTORED
LPC-63 3/16" = 1'-0"



1 LIBRARY TO BE RESTORED AS LOUNGE
LPC-64 3/16" = 1'-0"



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ARCHITECTS

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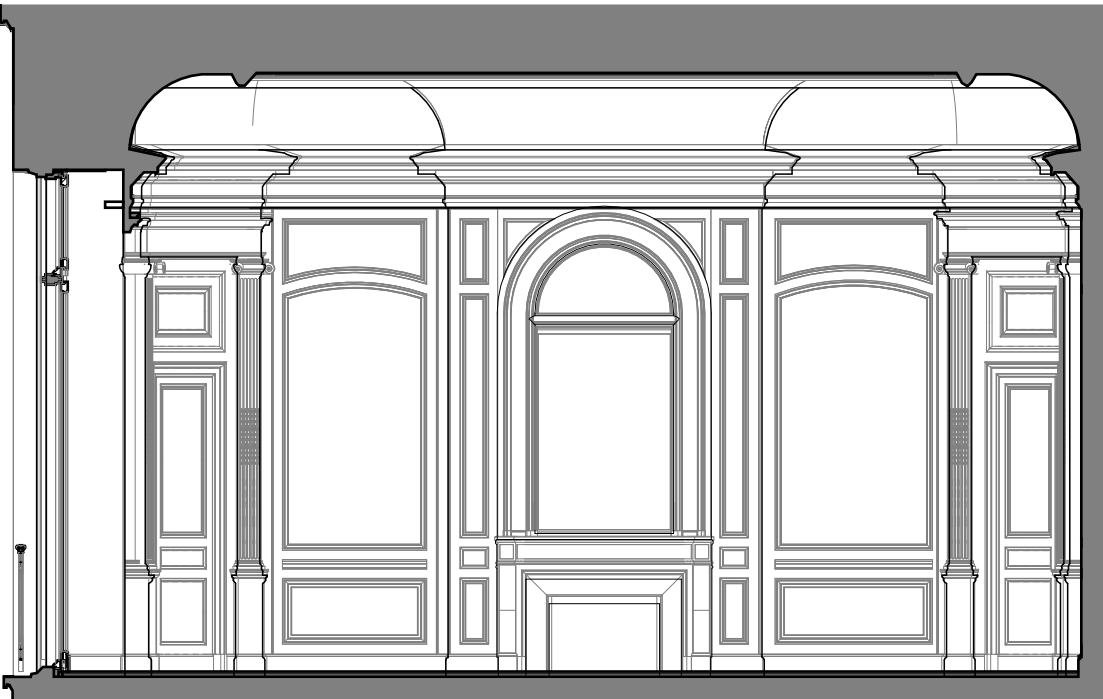
ISSUE: DATE:

Project:
854 FIFTH AVE
NEW YORK, NY 10065

LIBRARY PRESERVATION

Seal and Signature:	Date:	06/28/23
	Scale:	3/16" = 1'-0"
	Drawn By:	Author
	Drawing No.	LPC-64
	Project No.	3760

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Project:
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NEW YORK, NY 10065

PARLOR PRESERVATION

Seal and Signature:	Date:
	06/28/23
	Scale:
	3/16" = 1'-0"
	Drawn By:
LPC-65	Author
	Drawing No.
	Project No.
3760	66 of 71

1 PARLOR TO BE RESTORED AS DINING ROOM
LPC-65 3/16" = 1'-0"



854 5TH AVENUE

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NEW YORK, NY 10065

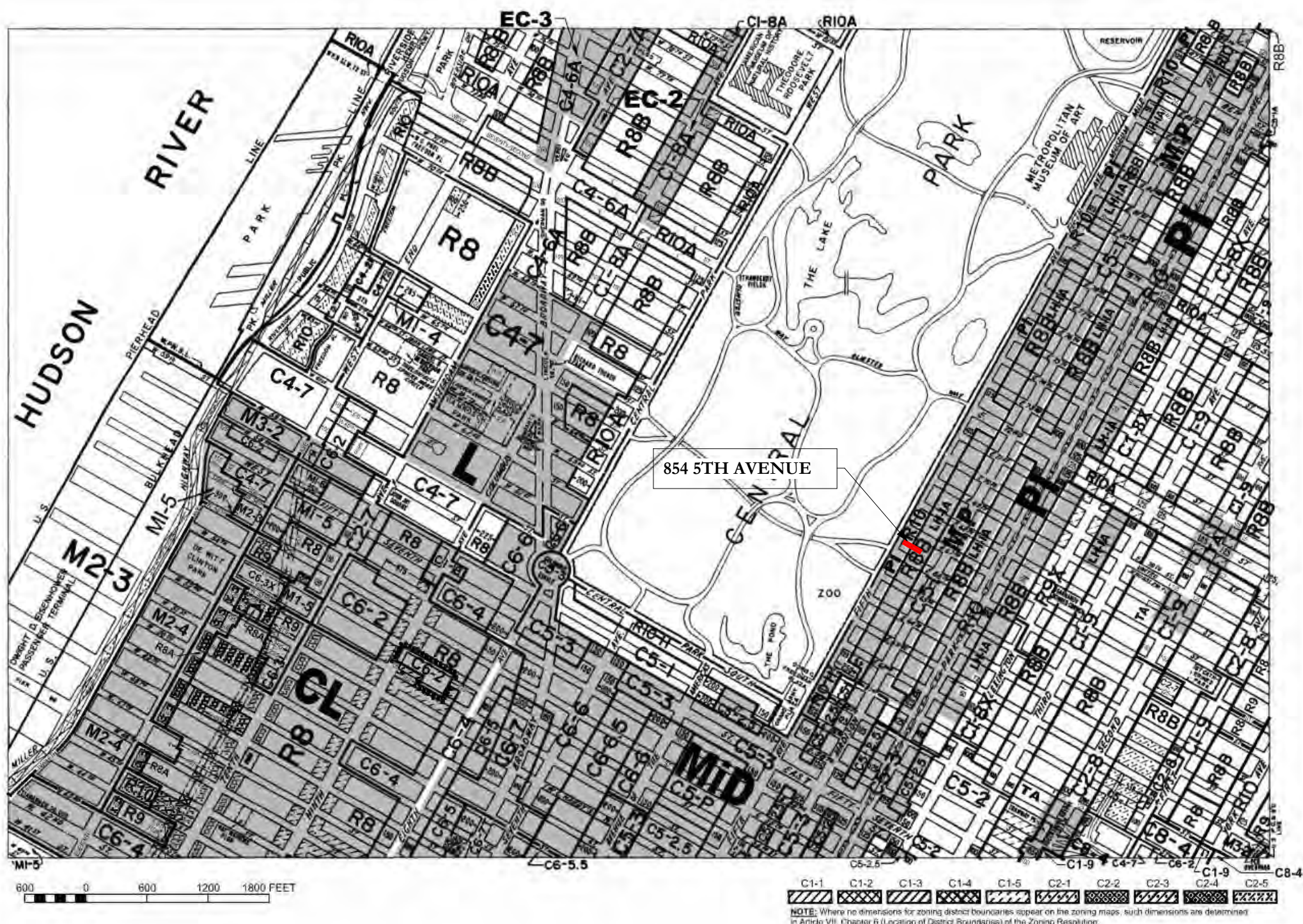
BLOCK PLAN

Seal and Signature:	Date:	05/11/23
	Scale:	1" = 50'-0"
	Drawn By:	PPA
	Drawing No.	LPC-66
	Project No.	3760
		67 of 71

PROPERTY: 854 FIFTH AVENUE
NEW YORK, NY 10065
BLOCK: 1381
LOT: 72
ZONING DISTRICT: R10/PI
MAP NUMBER: 8C
LOT AREA: 30'-5" x 120'-0" = 3,650 SF

PETER PENNOYER
ARCHITECTS

136 Madison Ave, 11th Flr, NYC 10016
Telephone 212 779 9765



ZONING MAP

THE NEW YORK CITY PLANNING COMMISSION

Major Zoning Classifications:
The number(s) and/or letter(s) that follows an R, C or M District designation indicates use, bulk and other controls as described in the text of the Zoning Resolution.

R – RESIDENTIAL DISTRICT

C – COMMERCIAL DISTRICT

M – MANUFACTURING DISTRICT

SPECIAL PURPOSE DISTRICT
The letter(s) within the shaded area designates the special purpose district as described in the text of the Zoning Resolution.

AREA(S) REZONED

Effective Date(s) of Rezoning:

08-11-2022 C 220220 ZMM

Special Requirements:

For a list of lots subject to CEQR environmental requirements, see APPENDIX C.

For a list of lots subject to "D" restrictive declarations, see APPENDIX D.

For Inclusionary Housing designated areas and Mandatory Inclusionary Housing areas on this map, see APPENDIX F.

MAP KEY

	5d	6b
8a	8c	9a
8b	8d	9b

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NOTE: Zoning information as shown on this map is subject to change. For the most up-to-date zoning information for this map, visit the Zoning section of the Department of City Planning website: www.nyc.gov/planning or contact the Zoning Information Desk at (212) 720-5281.

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ISSUE: DATE:

Project: 854 FIFTH AVE
NEW YORK, NY 10065

ZONING MAP

Seal and Signature: Date: 05/11/23
Scale:
Drawn By: PPA
Drawing No. LPC-67
Project No. 3760 68 of 71

BOROUGH:	MANHATTAN
BLOCK:	1381
LOT:	72
LOT TYPE:	INTERIOR LOT
ADRESS:	854 FIFTH AVENUE, NEW YORK, NY, 10065
EXISTING ZONING:	R10
SPECIAL DISTRICT:	SPECIAL PARK IMPROVEMENT DISTRICT (PI)
LANDMARK STATUS:	INDIVIDUAL LANDMARK/U.E.S. HIST. DISTRICT
FLOOD ZONE:	NO
STREET TYPE:	WIDE STREET
COMMUNITY DISTRICT:	8
ZONING SECTION MAP #:	8c
LOT DIMENSIONS:	30'-5" x 120'-0"
LOT AREA:	3,650 SQ. FT.

FLOOR LEVEL	USE		GROSS FLOOR AREA		ZONING FLOOR AREA	
	EXISTING	PROPOSED	EXISTING	PROPOSED	EXISTING	PROPOSED
MEP SUB-CELLAR	USE GROUP 3	USE GROUP 6	0 SQ. FT.	1,086 SQ. FT.	0 SQ. FT.	0 SQ. FT.
SUB-CELLAR	USE GROUP 3	USE GROUP 6	3,539 SQ. FT.	3,919 SQ. FT.	0 SQ. FT.	0 SQ. FT.
CELLAR	USE GROUP 3	USE GROUP 6	3,303 SQ. FT.	3,303 SQ. FT.	0 SQ. FT.	0 SQ. FT.
FIRST FLOOR	USE GROUP 3	USE GROUP 6	3,278 SQ. FT.	3,278 SQ. FT.	3,278 SQ. FT.	3,278 SQ. FT.
SECOND FLOOR	USE GROUP 3	USE GROUP 6	3,296 SQ. FT.	3,296 SQ. FT.	3,296 SQ. FT.	3,296 SQ. FT.
THIRD FLOOR	USE GROUP 3	USE GROUP 6	2,745 SQ. FT.	3,183 SQ. FT.	2,745 SQ. FT.	3,183 SQ. FT.
FOURTH FLOOR	USE GROUP 3	USE GROUP 6	2,670 SQ. FT.	2,670 SQ. FT.	2,670 SQ. FT.	2,670 SQ. FT.
FIFTH FLOOR	USE GROUP 3	USE GROUP 5	2,710 SQ. FT.	2,710 SQ. FT.	2,710 SQ. FT.	2,710 SQ. FT.
SIXTH FLOOR	USE GROUP 3	USE GROUP 5	1,404 SQ. FT.	1,759 SQ. FT.	1,404 SQ. FT.	1,759 SQ. FT.
BULKHEAD	N/A	N/A	303 SQ. FT.	512 SQ. FT.	0 SQ. FT.	0 SQ. FT.
TOTAL COMMERCIAL			18,831 SQ. FT.	20,735 SQ. FT.	11,989 SQ. FT.	12,427 SQ. FT.
TOTAL RESIDENTIAL			4,114 SQ. FT.	4,469 SQ. FT.	4,114 SQ. FT.	4,469 SQ. FT.
TOTAL FA			23,248 SQ. FT.	25,716 SQ. FT.	16,103 SQ. FT.	16,896 SQ. FT.
FAR					4.41	4.63

REQUEST SPECIAL PERMIT PURSUANT TO SECTION ZR 74-711 TO MODIFY	
ZR 22-10	USES PERMITTED AS-OF-RIGHT
ZR 24-36 & ZR 24-392	MINIMUM REQUIRED REAR YARD
ZR 23-861 & ZR 24-672	MINIMUM DISTANCE BETWEEN LEGALLY REQUIRED WINDOWS AND WALLS OR LOT LINES
ZR 24-641	MINIMUM DIMENSIONS OF INNER COURTS

ZR SECTIONS	ITEM DESCRIPTION	PERMITTED / REQUIRED	EXISTING	PROPOSED			COMPLIANCE/NOTES
				EXISTING TO REMAIN	PROPOSED	TOTAL	
USE							
ZR 22-10	USE REGULATIONS RESIDENTIAL COMMUNITY FACILITY	USE GROUP 1, 2 USE GROUP 3, 4	USE GROUP 3	N/A N/A	USE GROUP 5 USE GROUP 6	USE GROUP 5 USE GROUP 6	DOES NOT COMPLY. REQUEST SPECIAL PERMIT PURSUANT TO SECTION ZR 74-711 TO MODIFY ZR 22-10.
FLOOR AREA							
ZR 24-11 & ZR 92-041	BULK REGULATION FOR R10 DISTRICT FLOOR AREA RATIO FLOOR AREA	10.00 36,500 SQ. FT.	4.41 16,103 SQ. FT.	4.41 16,103 SQ. FT.	4.63 16,896 SQ. FT.	4.63 16,896 SQ. FT.	COMPLIES COMPLIES
FLOOR AREA AND LOT COVERAGE							
ZR 24-11	MAX. FLOOR AREA RATIO AND PERCENTAGE OF LOT COVERAGE RESIDENTIAL LOT COVERAGE	70.00%	91.95%	91.95%	91.95%	91.95%	EXISTING NON-COMPLIANCE
YARDS							
ZR 24-34	REQUIRED FRONT YARD	NONE REQUIRED	NONE	NONE	NONE	NONE	COMPLIES
ZR 24-35	REQUIRED SIDE YARD	NONE REQUIRED OR 8'-0" MIN. IF PROVIDED	NONE	NONE	NONE	NONE	COMPLIES
ZR 24-36 & ZR 24-392	REQUIRED REAR YARD ALONG SHORT DIMENSION OF BLOCK	NONE WITHIN 100' OF FRONT LOT LINE. 20'-0" REAR YARD REQUIRED BEYOND 100'-0" OF LOT LINE.	NONE	NONE	NONE	NONE	DOES NOT COMPLY. REQUEST SPECIAL PERMIT PURSUANT TO SECTION ZR 74-711 TO MODIFY ZR 24-36 & ZR 24-392.
HEIGHT AND SETBACK REGULATIONS							
ZR 24-592 & ZR 23-692	HEIGHT LIMITATIONS FOR NARROW BUILDINGS/ENLARGEMENTS BUILDING HEIGHT	100'-0"	74'-11"	74'-11"	74'-11"	74'-11"	COMPLIES
MINIMUM DISTANCE BETWEEN RESIDENTIAL WINDOWS AND WALLS OR LOT LINE							
ZR 23-861 & ZR 24-672	DISTANCE BETWEEN LEGALLY REQUIRED WINDOWS AND WALLS OR LOT LINE 5TH FLOOR REAR 6TH FLOOR REAR	30'-0" 30'-0"	26'-2" 26'-2"	26'-2" 26'-2"	26'-2" 26'-2"	26'-2" 26'-2"	DOES NOT COMPLY. REQUEST SPECIAL PERMIT PURSUANT TO SECTION ZR 74-711 TO MODIFY ZR 24-672 & 24-641.
ZR 24-641	MINIMUM DIMENSIONS OF INNER COURTS 5TH FLOOR FRONT	600 SQ. FT. MIN. DIMENSION NOT LESS THAN 20'-0"	432 SQ. FT. 19'-4"	432 SQ. FT. 19'-4"	432 SQ. FT. 19'-4"	432 SQ. FT. 19'-4"	DOES NOT COMPLY. REQUEST SPECIAL PERMIT PURSUANT TO SECTION ZR 74-711 TO MODIFY ZR 24-672 & 24-641.
ZR 24-651	DISTANCE BETWEEN LEGALLY REQUIRED WINDOWS AND WALLS OR LOT LINE 1ST AND 2ND FLOOR REAR 3RD AND 4TH FLOOR REAR	20'-0" 20'-0"	26'-2" 32'-7"	26'-2" 32'-7"	26'-2" 32'-7"	26'-2" 32'-7"	COMPLIES COMPLIES
OFF-STREET PARKING AND LOADING REGULATIONS IN MANHATTAN CORE							
ZR 13-10	PERMITTED OFF-STREET PARKING IN MANHATTAN CORE	NONE	NONE	NONE	NONE	NONE	COMPLIES
ZR 25-811a	ENCLOSED BICYCLE PARKING SPACES	REQUIREMENTS WAIVED FOR BUILDINGS CONTAINING < 10 DWELLING UNITS	NONE	NONE	NONE	NONE	COMPLIES
STREET TREES IN RESIDENTIAL DISTRICTS							
ZR 23-03	STREET TREE PLANTING IN RESIDENTIAL DISTRICTS	NONE FOR < 20% ENLARGEMENT	NONE	NONE	NONE	NONE	COMPLIES

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ISSUED TO LPC 9/27/23
LPC & DCP PRE-APP. MTGS. 7/27/23

ISSUE: DATE:

Project:
854 FIFTH AVE
NEW YORK, NY 10065

ZONING NOTES

Seal and Signature:	Date:
	07/21/23
	Scale:
	Drawn By:
	Author
Drawing No.	
LPC-68	
Project No.	69 of 71
3760	

Members Clubs in Manhattan

Last Updated: 07/17/2023

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Community District 8				
Name	Address	Zoning District	Use Group	Guest Rooms
Colette	767 Fifth Ave	C5-3, C5-2.5, MID	6	N/A
Doubles	783 Fifth Ave	R10H, PI	6, 30	
Harmonie Club	4 East 60th Street	C5-2.5, MID	no CO	N
Metropolitan Club	1 East 60th Street	R10H, C5-1, PI	4	44
Groiler Club	47 East 60th Street	C5-1	no CO	N
Casa Cruz	36 East 61st Street	C5-1	6	N
Knickerbocker Club	807 Fifth Avenue	R10, PI	4	24
Links Club	36 East 62nd Street	R8B	old CO	N
Colony Club	564 Park Avenue	R10, R8B, PI	old CO	25
Fasano Fifth Avenue	815 Fifth Avenue	R10, PI	2	5
Leash Club	41 East 63rd Street	R8B	4	N
The Cosmopolitan Club	122 East 66th Street	R8B	6E, E	24 (website), 28
Lotos Club	5 East 66th Street	R8B	4	14
Regency Whist Club	15 East 67th Street	R8B	old CO	N
Columbus Citizens Club	8 East 69th Street	R8B	4	N
Union Club	101 East 69th Street	R10, R8B, PI	old CO	21
Explorers Club	46 East 70th Street	R8B	4	N

Other Community Districts				
Name	Address	Zoning District	Use Group	Guest Rooms
Casa Cipriani	10 South Street	C4-6, LM	5, 12	47
Nexus Club	100 Church Street	C5-3, LM	6	N
Zero Bond	670 Broadway	M1-5/R9A, SNX	6	N
Salmagundi Club	47 Fifth Avenue	R10, C6-1	old CO	N
Soho House	29 9th Avenue	M1-5	5, 6	44
Norwood Club	241 West 14th Street	C2-2A	6	
National Arts Club	15 Gramercy Park South	R7B, R8B	no CO	Y (unspecified)
Players Club	16 Gramercy Park South	R7B, R8B	no CO	N
The Ned Nomad	1170 Broadway	M1-6	5, 6	167
The Union League Club	38 East 37th Street	R10, R8B	old CO	59
Columbia University Club	30 West 44th Street	C6-4.5, MID	4	39 (Penn Club)
Princeton Club	15 West 43rd Street	C6-4.5, MID	old CO	58
Century Club	7 West 43rd Street	C6-4.5, C5-3, MID	6	N
Cornell Club	6 East 44th Street	C5-2.5, MID	6	48
NY Yacht Club	37 West 44th Street	C6-4.5, MID	2	21
Harvard Club	27 West 44th Street	C6-4.5, MID	5	37
Yale Club	50 Vanderbilt Avenue	C5-3, MID	6	138
Lambs Club	3 West 51st Street	C5-2.5, MID	old CO	26
Racquet and Tennis Club	370 Park Avenue	C5-3	old CO	N
University Club	1 West 54th Street	C5-3, C-5P, MID	old CO	97
Brook Club	111 East 54th Street	C5-3, MID	5	10
CORE: Club	66 East 55th Street	C5-2.5, MID	6	74
Friars Club	57 East 55th Street	C5-2.5	9	N
NY Athletic Club	180 Central Park South	R10H, C5-1	6	187

Legend
<div></div> = Closed



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MEMBER'S CLUBS IN
COMMUNITY BOARD 8

Seal and Signature:	Date: 07/19/23
	Scale:
	Drawn By: PPA
	Drawing No. LPC-69
Project No. 3760	
70 of 71	



BLOCK ELEVATION ALONG 5TH AVENUE BETWEEN 66TH AND 67TH STREETS
VIEWPOINT IS APPROX. 220 FEET AWAY FROM FACADE

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RENDERING FINAL PAGE

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	Scale:	
	Drawn By:	PPA
	Drawing No.	LPC-70
	Project No.	3760
		71 of 71

December 12, 2023
Public Hearing

The current proposal is:

Preservation Department – Items 6 & 7, LPC-24-02994 & LPC-24-02995

**854 Fifth Avenue – R. Livingston and Eleanor T. Beekman House (former
Permanent Mission of Yugoslavia to the UN) – Individual Landmark
Borough of Manhattan**

To testify virtually, please join Zoom

Webinar ID: 858 5310 5698

Passcode: 501556

By Phone: 1 646-558-8656 US (New
York) 877-853-5257 (Toll free) US
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Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.