

September 10, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 1, LPC-24-09546

144 Lafayette Avenue – Fort Greene Historic District Borough of Brooklyn

To testify virtually, please join Zoom

Webinar ID: 863 0633 9476

Passcode: 077141

By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

888-475-4499 (Toll free)

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144 LAFAYETTE AVENUE BROOKLYN, NY 11238

GERAKARIS DESIGN STUDIO

144 Lafayette Avenue
Brooklyn, NY 11238

DRAWING INDEX

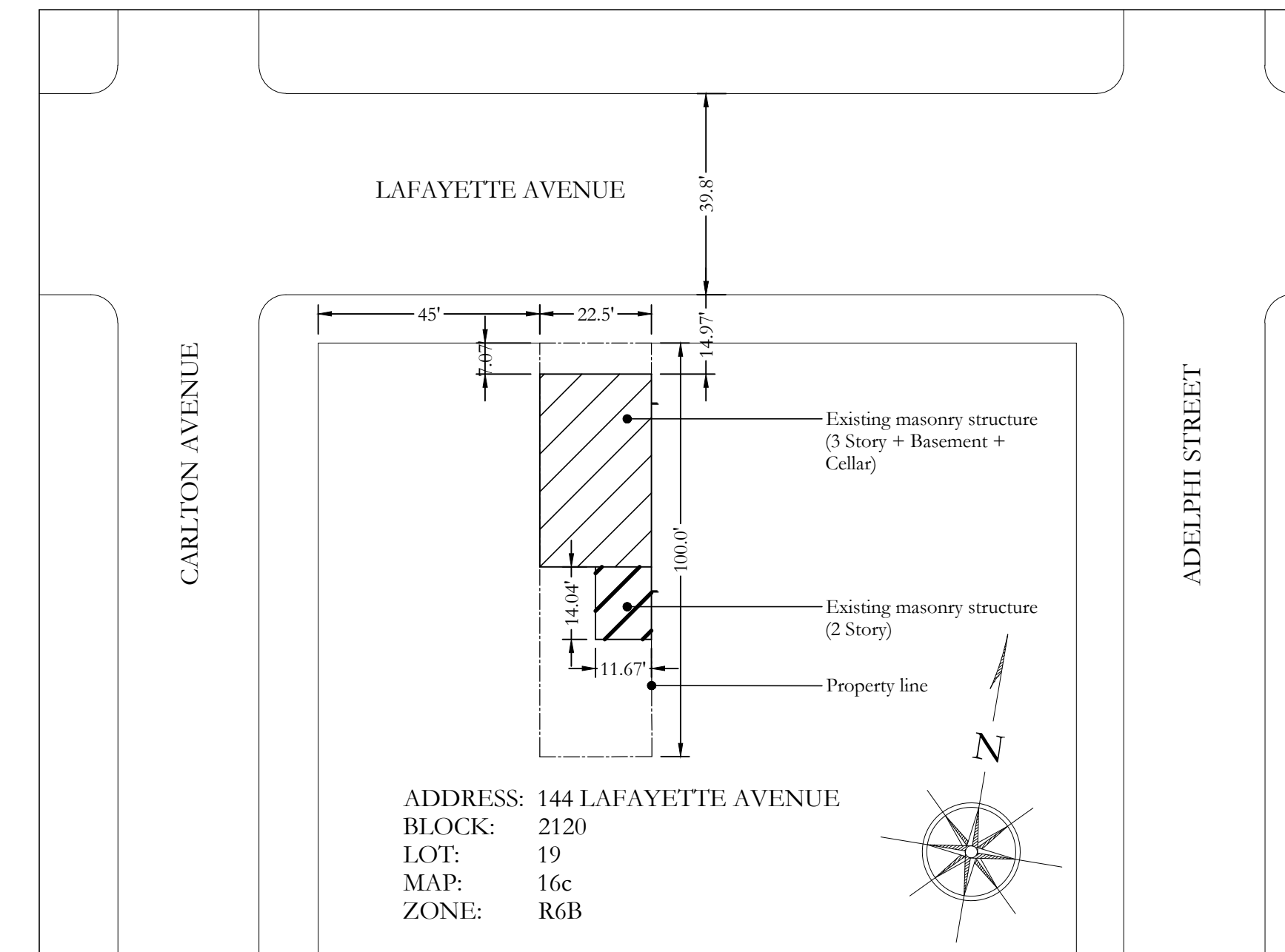
CS-100	COVER SHEET
A-100	SURVEY, EXTERIOR PHOTOS
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PROGRESS INSPECTIONS

FINAL INSPECTION - DIRECTIVE 14

"This project is not located in a Special Flood Hazard Area."

"A separate Sidewalk Replacement Work permit will be obtained from DOT."



1 PLOT PLAN
SCALE: N.T.S.

Scope of Work

- Proposed exterior work to include modification to masonry entry to accommodate new stoop, door and window balconies, areaway and gates. Existing iron gates, door, iron window balconies, concrete steps to cellar to be removed. Existing cornice to be repaired and general work as shown on plans.
- Structural work to be filed under separate application.

General Notes

- Building is existing prior to 1938, 1968 or 2022 Building Code. Class 4 wood frame structure per CO#23658. Proposed Building Code Class 4 heavy masonry.
- All work shall be done in accordance with the requirements of the prior to 1938, 1968 or 2022 New York City Building Code, Fire Department Rules and Regulations, utility company requirements and the best trades practices.
- Before commencing work the Contractor shall file all required insurance certificates with the Department of Buildings, obtain all required permits and pay all fees required by the governing New York City agencies.
- Minor details not usually shown or specified, but required for proper construction of any part of the work shall be included as if they were indicated on the drawings.
- The contractor shall be responsible for all work procedures with the stipulations of local authorities, building management or board of directors.
- The Contractor shall be responsible for the protection of all conditions and materials within the proposed construction area. The contractor shall design and install adequate shoring and bracing for all structural or removal tasks. The contractor shall have sole responsibility for any damage or injuries caused by or during the execution of the work.
- The Contractor shall layout his own work, and shall provide all dimensions required for other trades: plumbing, electrical, etc.
- Plumbing work shall be performed by persons licensed in their trades, who shall arrange for and obtain through the Department of Buildings all required permits, inspections and required sign offs.
- Electrical work shall be performed by persons licensed in their trades, who shall arrange for and obtain through the Bureau of Electrical Control all required permits, inspections and required sign offs.
- The Contractor shall do all cutting, patching, repairing as required to perform all of the work indicated on the drawings, and all other work that may be required to complete the job.
- All piping and wiring shall be removed to a point of concealment and shall be properly capped or plugged.

Smoke/Carbon Monoxide Detector Notes

- Smoke/Carbon Monoxide detectors or devices shall be installed in ordinance with the Housing Maintenance code, the New York City Building Code, the New York City Electrical Code and NFPA 72.
- Smoke detectors and carbon monoxide detectors may be combined providing the devices comply with the provisions of Title 28 of the administrative code of the City of New York and any applicable rules promulgated thereunder.
- Each smoke carbon monoxide detector shall be installed outside of each sleeping room in the immediate vicinity or within 15'-0" of the entrance to a sleeping room, inside each sleeping room; and on each story within a dwelling unit, including below stories and penthouses and penthouses per 907.2.11.1 and 908.7.1 through 908.7.4.
- Each smoke carbon monoxide detector shall be installed in accordance with Reference Standard UL2034 and UL2075 of the New York City Building Code.
- Each smoke carbon monoxide detector shall be of a type that allows for readily testing of each device.
- Ceiling mounted devices shall be a minimum distance of 4" from any wall.
- Wall mounted devices shall be a minimum distance of 4" to a maximum distance of 12" from the ceiling.
- Each dwelling unit shall be equipped with an approved type smoke carbon monoxide detector receiving primary power from a dedicated branch circuit or unswitched portion of a branch circuit also used for power and lighting, and shall be equipped with a battery backup. Smoke alarms shall emit a signal when batteries are low. Wiring shall be permanent and without a disconnection switch other as required for over-current protection. 907.2.11.1 through 907.2.11.3.
- Existing buildings that are not equipped with hardwired connections shall be supplied with battery operated devices.
- Such smoke carbon monoxide detector must be either the ionization chamber type or the photoelectric detector type as per New York City Building Code Sec. 907 and 908.
- A "Certificate of Satisfactory Installation for Smoke/Carbon Monoxide Detectors" must be filed with the division of code enforcement H.P.D., 10 days after installation.
- Written information of testing and maintenance of the devices shall be provided to the dwelling unit owner.

Demolition Notes

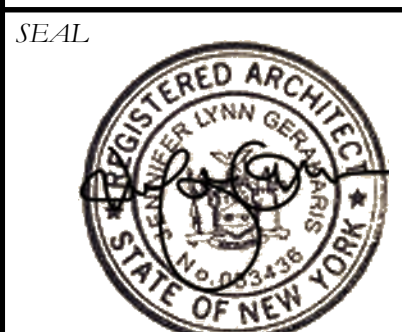
- Any items that are to be saved shall be listed by the owner in the contract, and shall be removed carefully and remain the property of the owner for reuse.
- Contractor to coordinate demolition with architectural, plumbing and electrical drawings.
- The Contractor at all times shall keep the premises from the accumulation of waste materials or rubbish caused by his operations. At the completion of the work, the Contractor shall remove all waste material from the about project as well as all his tools, construction equipment, machinery or equipment.
- The Contractor shall confine operation at the site areas permitted by law, ordinances, permits, the contract documents, and shall not unreasonably encumber the site with any materials or equipment.
- Remove all exposed wires, conduit, and telephone boxes.
- Remove all windows to be replaced as indicated on the drawings. Coordinate removal with window manufacturer.
- Cut and remove all unused branch plumbing lines back to the riser. properly cap existing plumbing lines whose fixture has been temporarily removed.
- Remove crown mouldings, all window and door trim, baseboards and radiator enclosures unless otherwise noted.
- Coordinate all demolition of masonry with drawing indicating new masonry.

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144 Lafayette Avenue
Brooklyn, NY 11238

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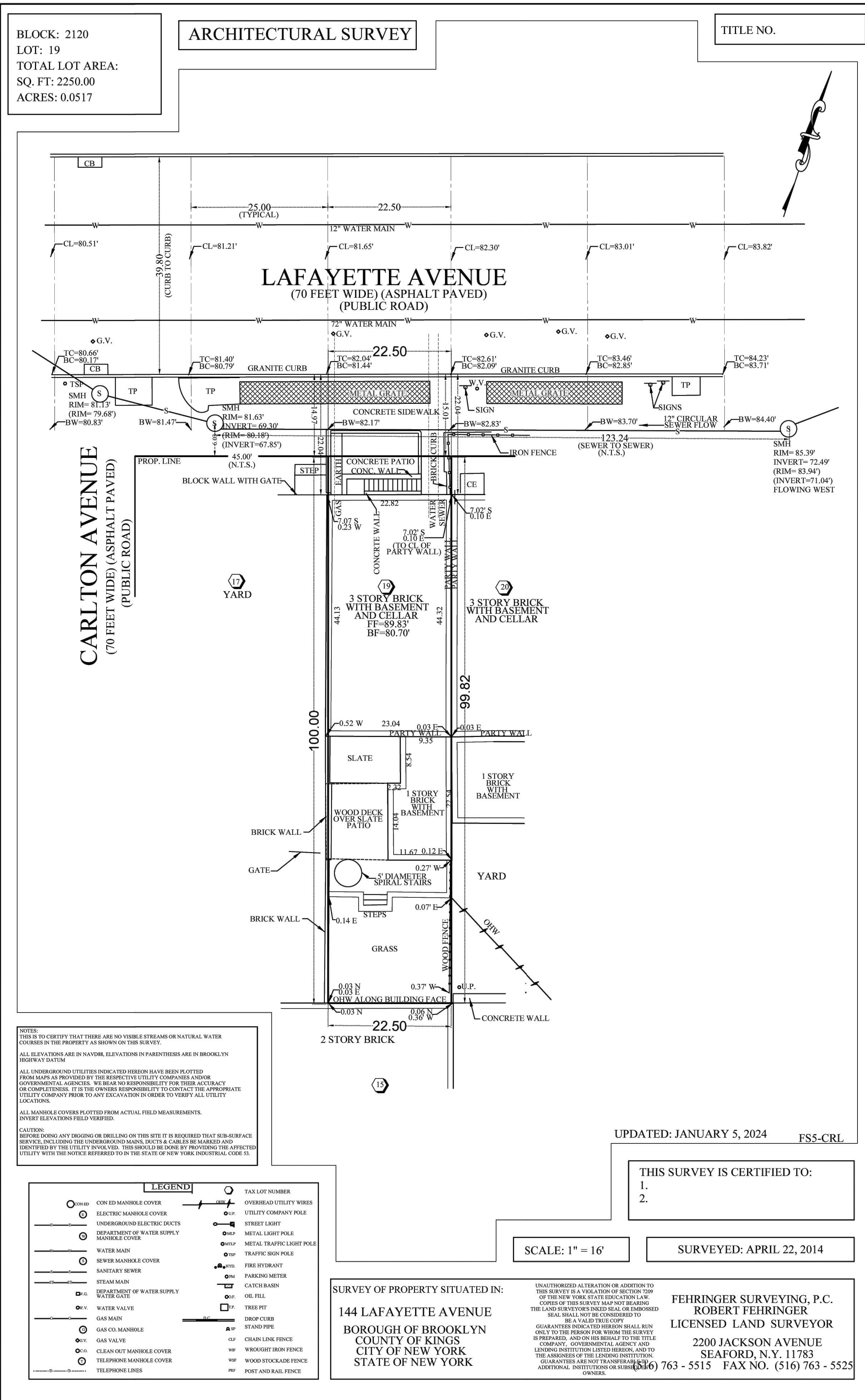
COVER SHEET

CS-100.00



SCALE:
NTS

1 OF 8



1 TAX LOT PHOTO
SCALE: NTS



2 148 LAFAYETTE AVENUE
SCALE: NTS

3 146 LAFAYETTE AVENUE
SCALE: NTS

4 144 LAFAYETTE AVENUE
SCALE: NTS

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PROPERTY SURVEY & EXTERIOR PHOTOS

A-100.00





1 STREET VIEW LOOKING WEST
SCALE: NTS



2 STREET VIEW LOOKING EAST
SCALE: NTS



3 STREET VIEW LOOKING WEST
SCALE: NTS



4 STREET VIEW LOOKING WEST
SCALE: NTS



5 STREET VIEW LOOKING EAST
SCALE: NTS





① ENLARGED FRONT FACADE @ LOWER FLOORS
SCALE: NTS



② EXIST. ENTRY SURROUND
SCALE: NTS



③ EXIST. ENTRY SURROUND & 1ST FLR CSMT WINDOW
SCALE: NTS

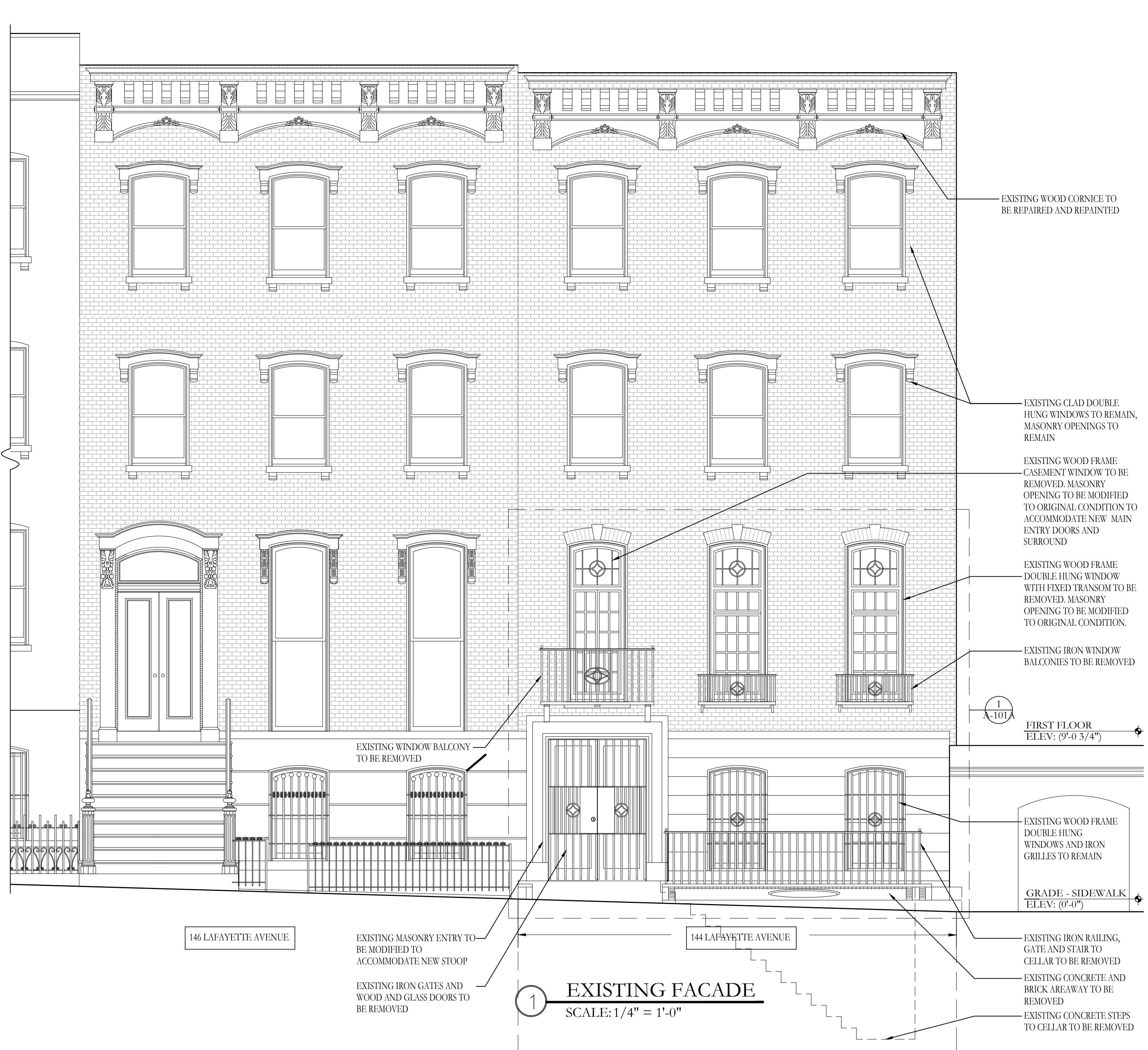


④ EXIST. 1SR FLR DH WINDOW
SCALE: NTS

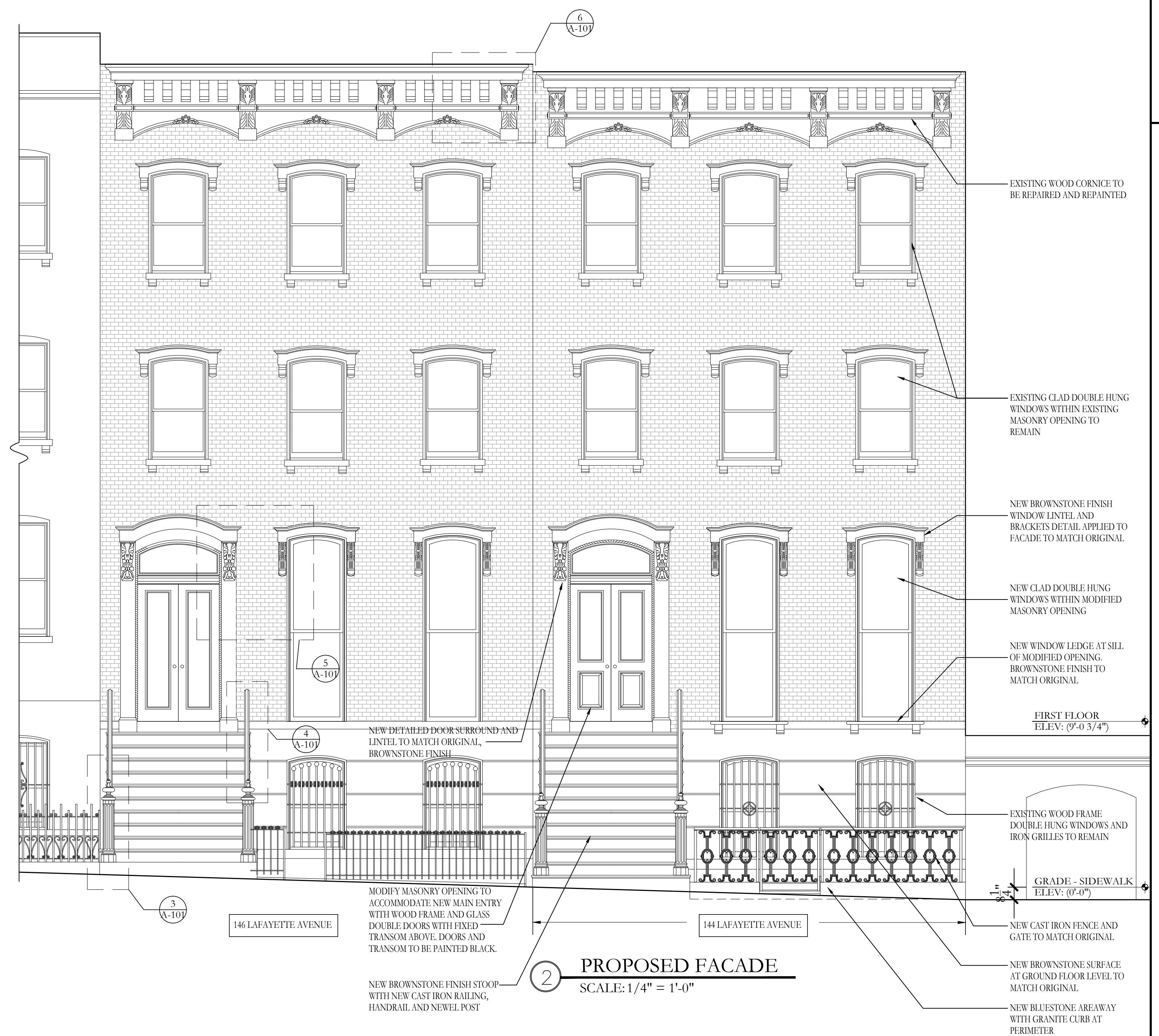


⑤ EXIST. DH WINDOW DETAIL
SCALE: NTS





1 EXISTING FACADE
SCALE: 1/4" = 1'-0"



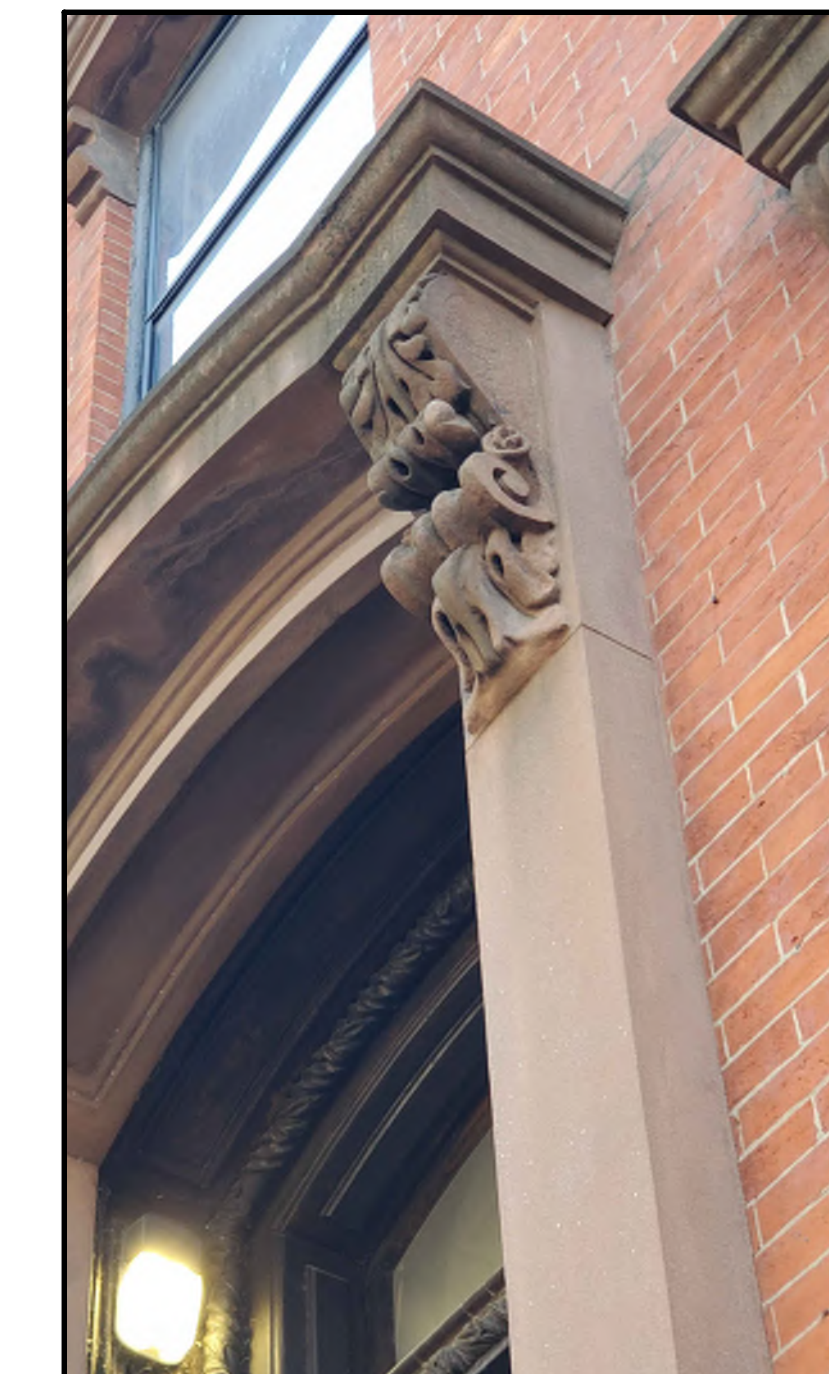
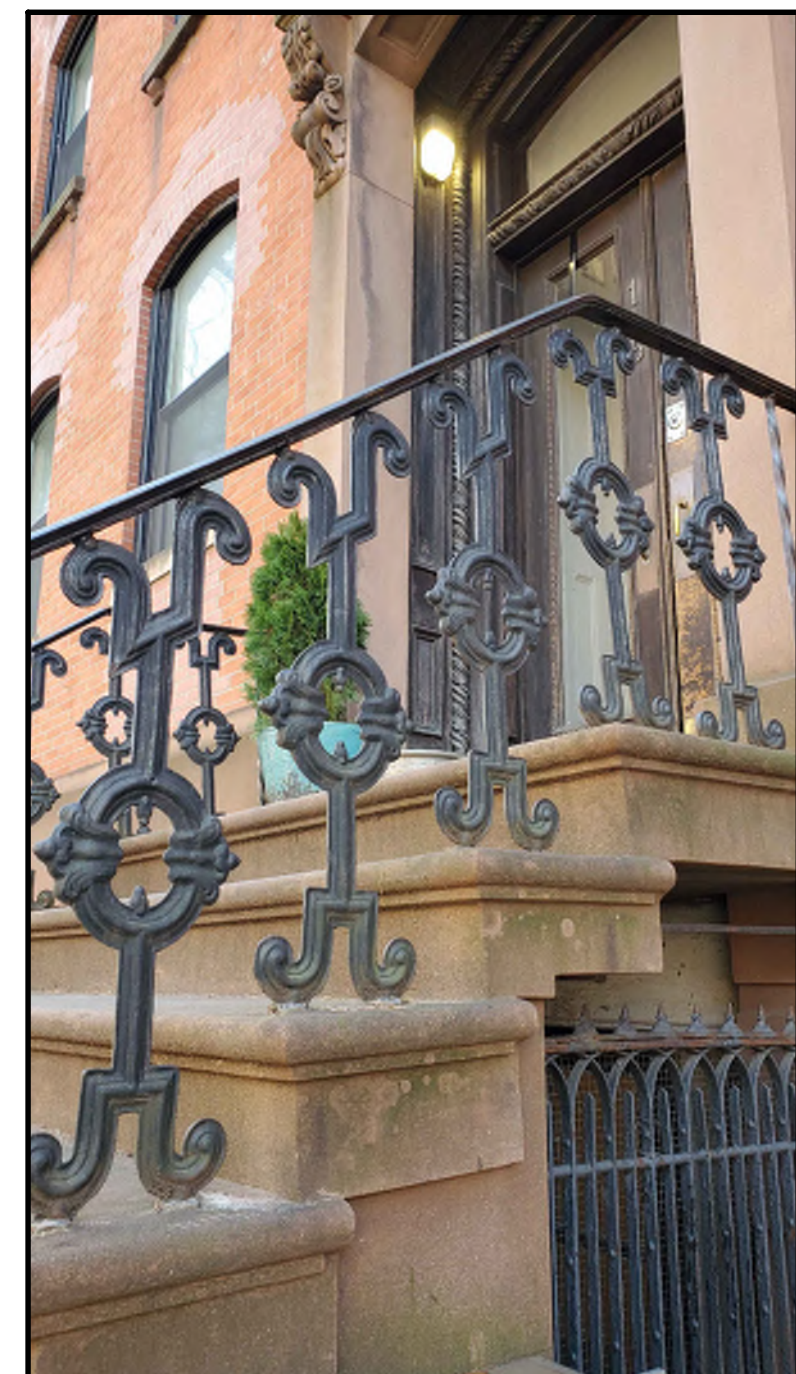
2 PROPOSED FACADE
SCALE: 1/4" = 1'-0"



3 146 NEWEL POST
SCALE: NTS



4 146 BALUSTERS AND HANDRAIL
SCALE: NTS



5 146 STOOP ENTRY PILASTERS AND OVERDOOR DETAILS
SCALE: NTS



6 146 CORNICE DETAIL
SCALE: NTS

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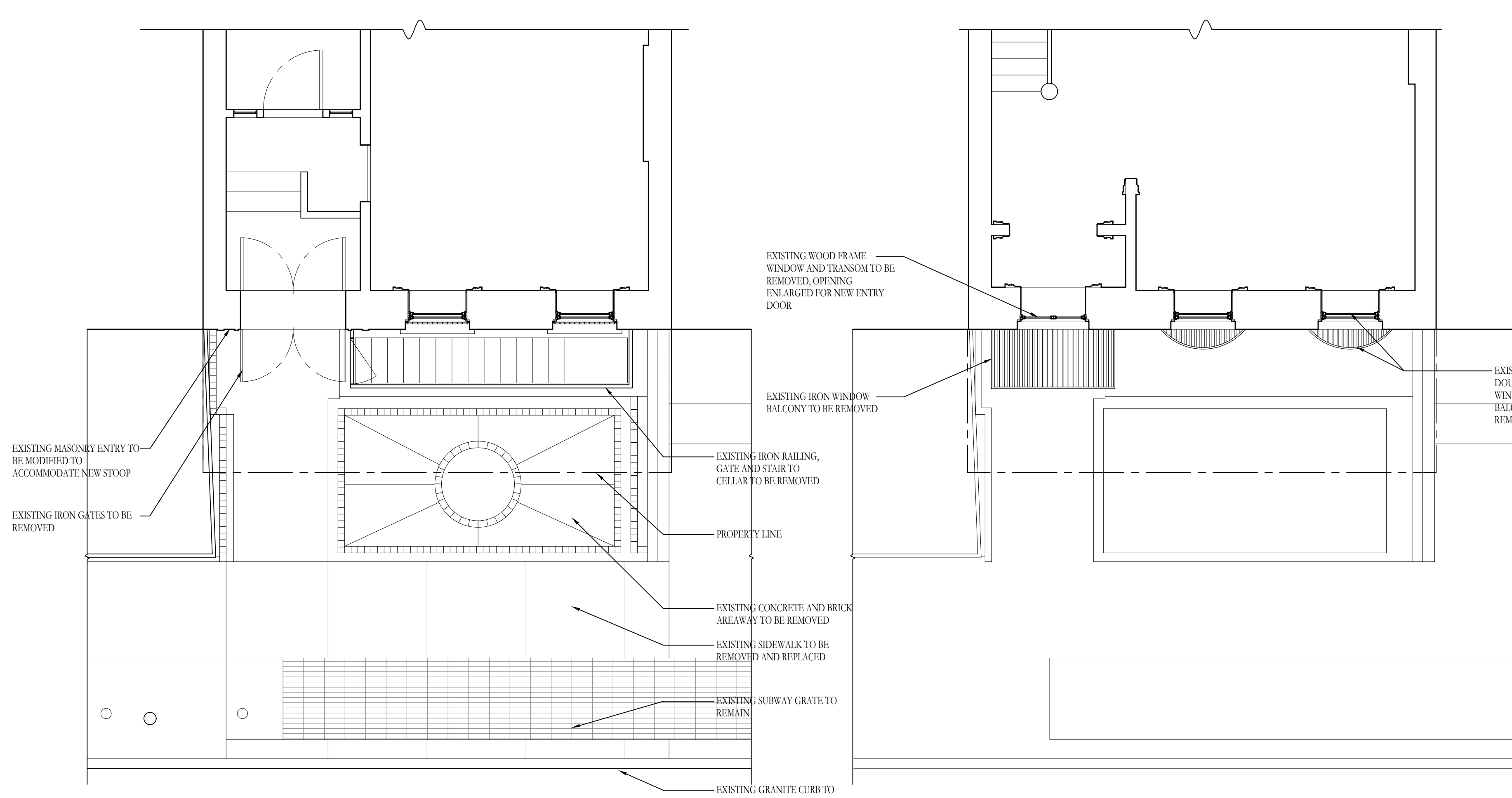
**EXISTING & PROPOSED
FRONT FACADE**

A-101.00

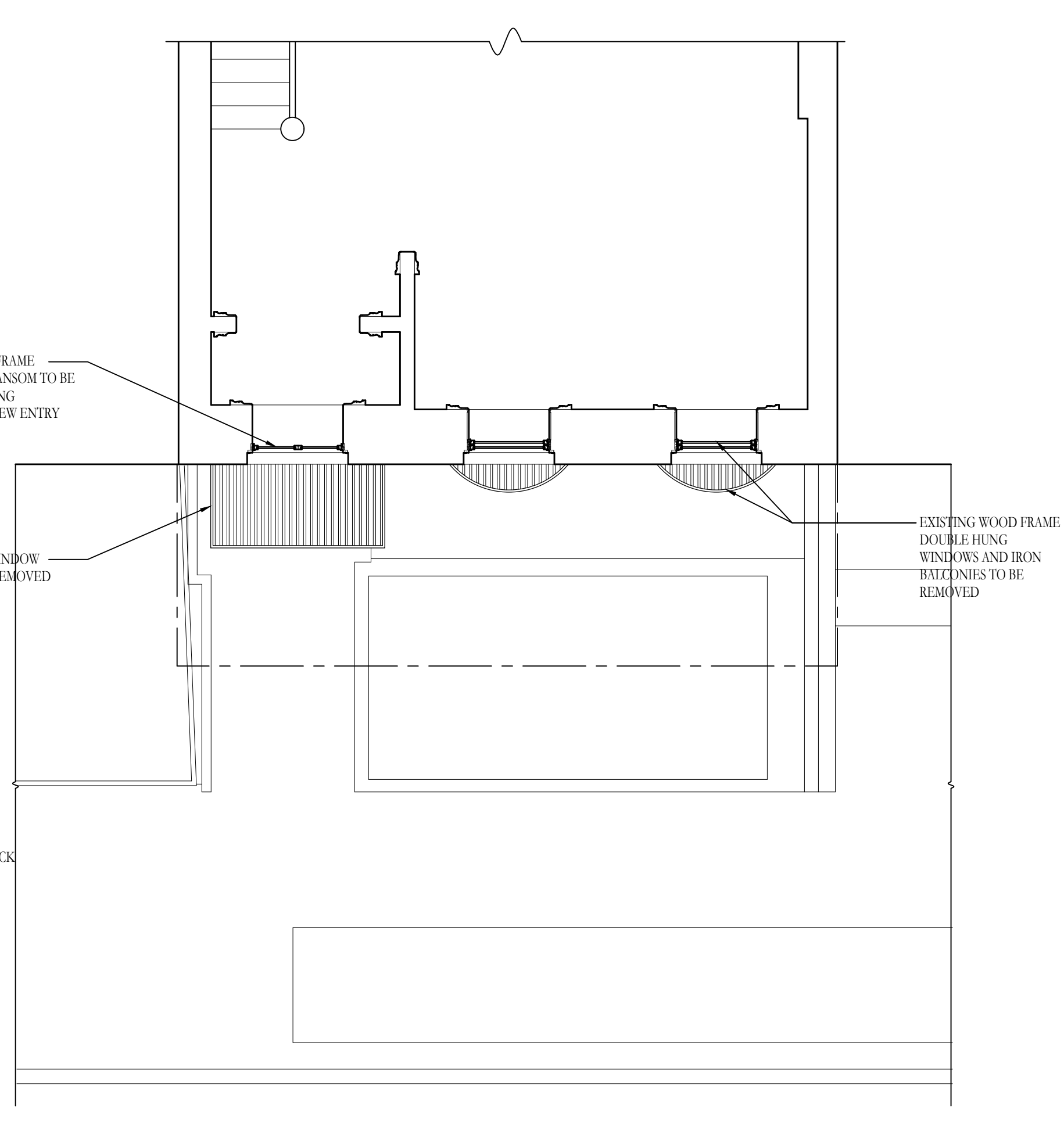
SEAL



SCALE
1/4" = 1'-0"



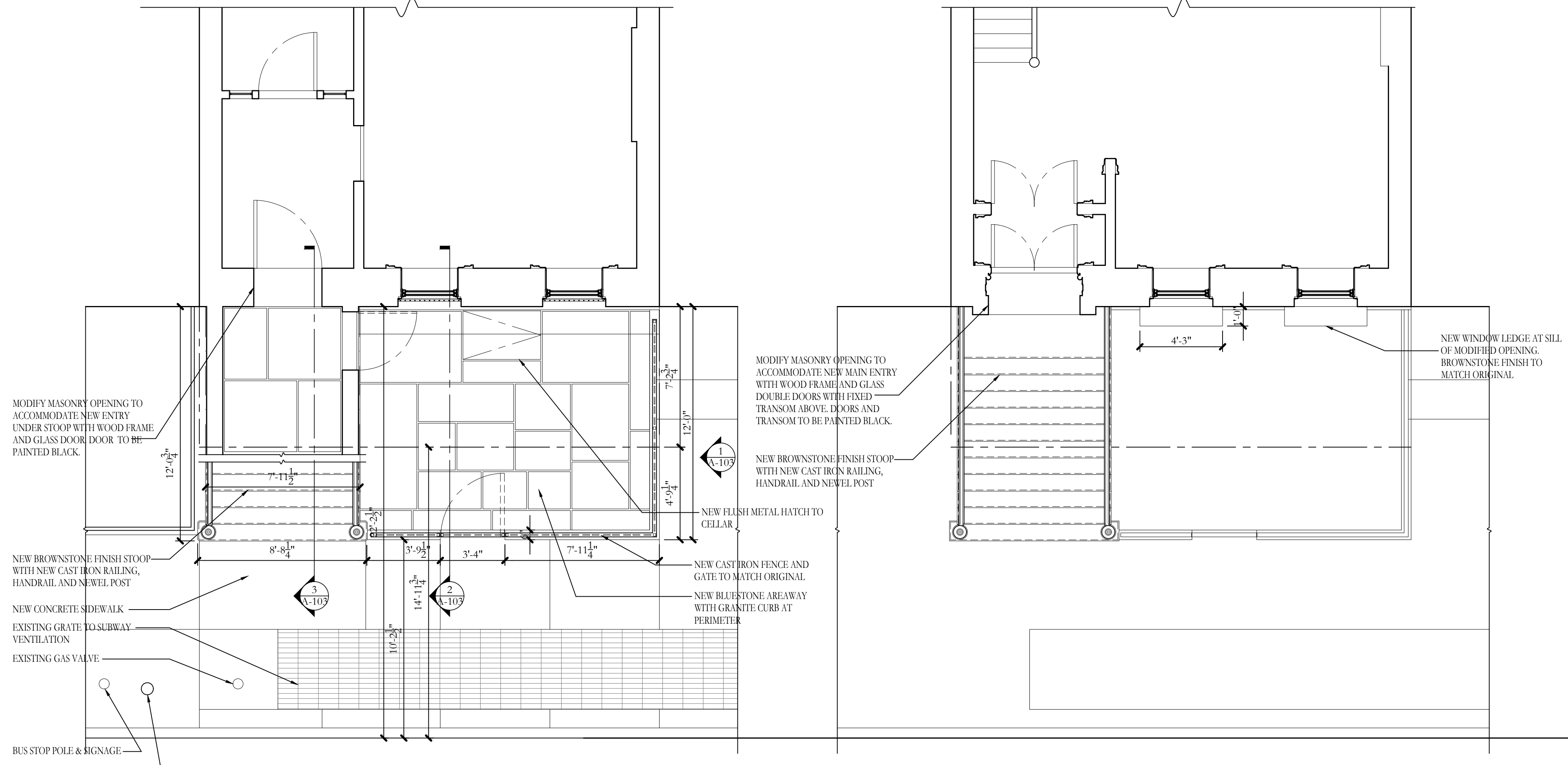
1 EXISTING BASEMENT (STREET LEVEL)
SCALE: 1/4" = 1'-0"



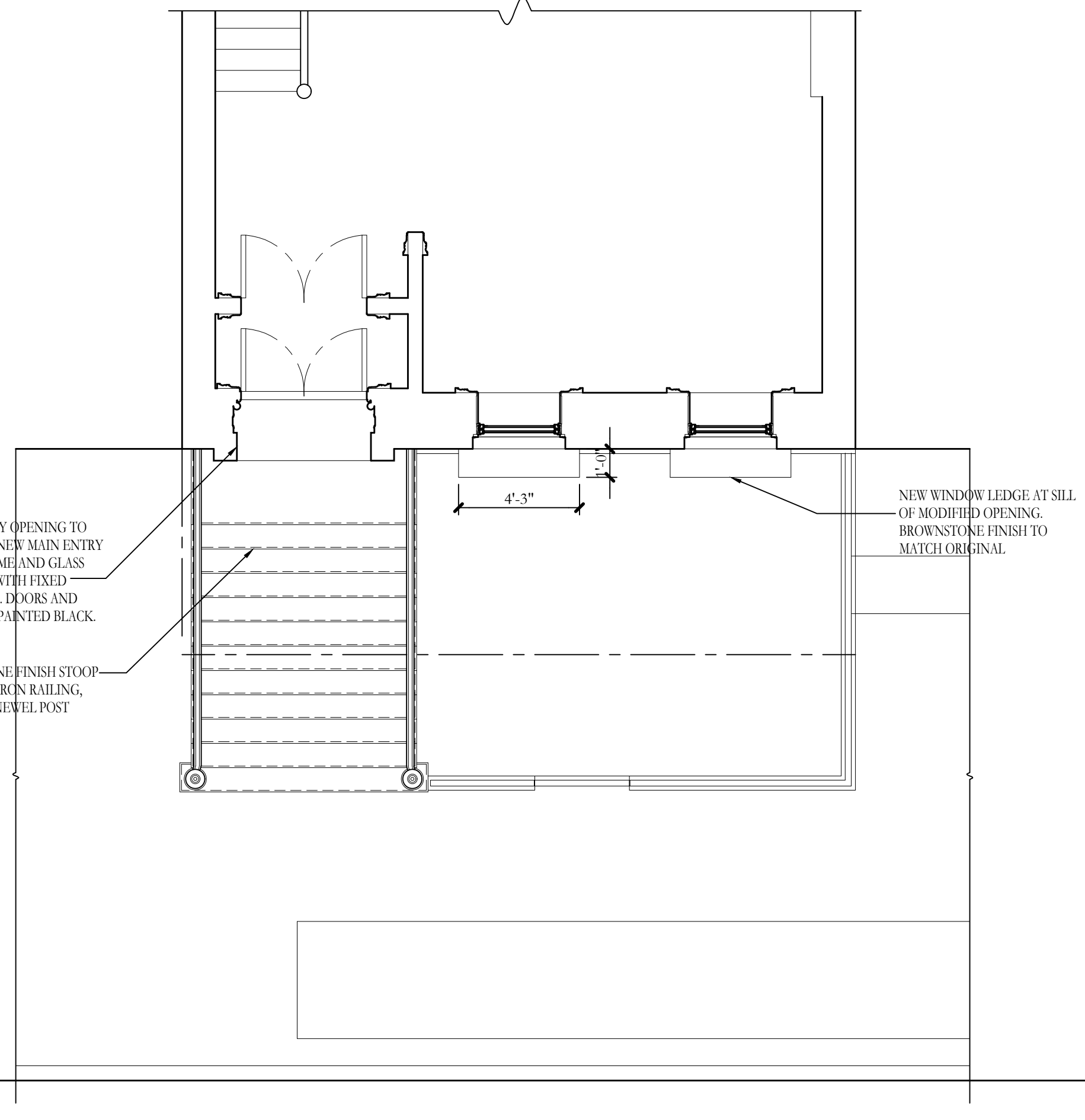
2 EXISTING FIRST FLOOR
SCALE: 1/4" = 1'-0"



5 SIDEWALK LOOKING WEST
SCALE: 1" = 1'-0"



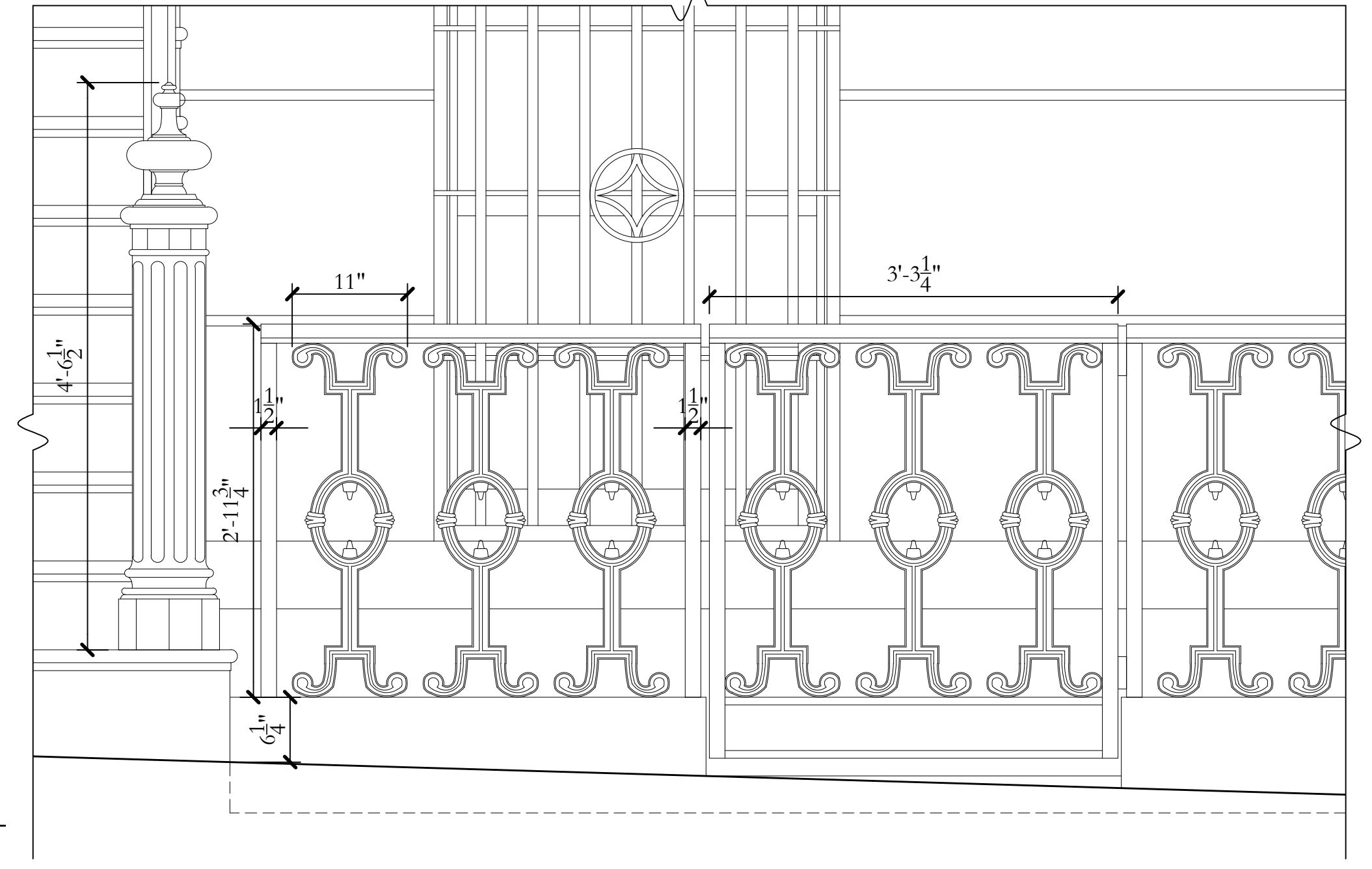
3 PROPOSED BASEMENT (STREET LEVEL)
SCALE: 1/4" = 1'-0"



4 PROPOSED FIRST FLOOR
SCALE: 1/4" = 1'-0"



6 SIDEWALK LOOKING EAST
SCALE: 1" = 1'-0"



7 ENLARGED ENTRY GATE AND FENCE
SCALE: 1" = 1'-0"

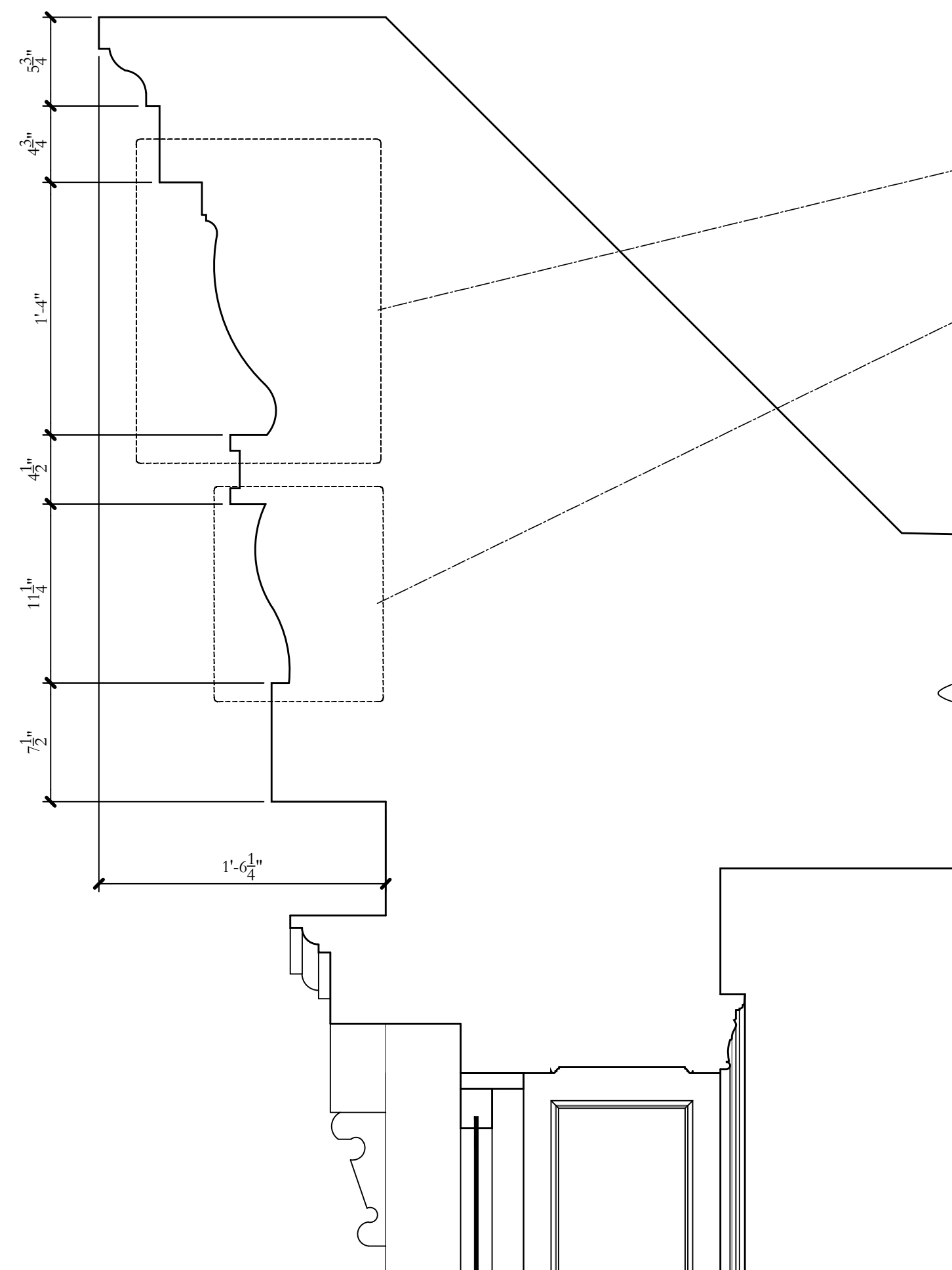
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**EXISTING & PROPOSED
PLANS
BASEMENT & FIRST FLR**

A-102.00

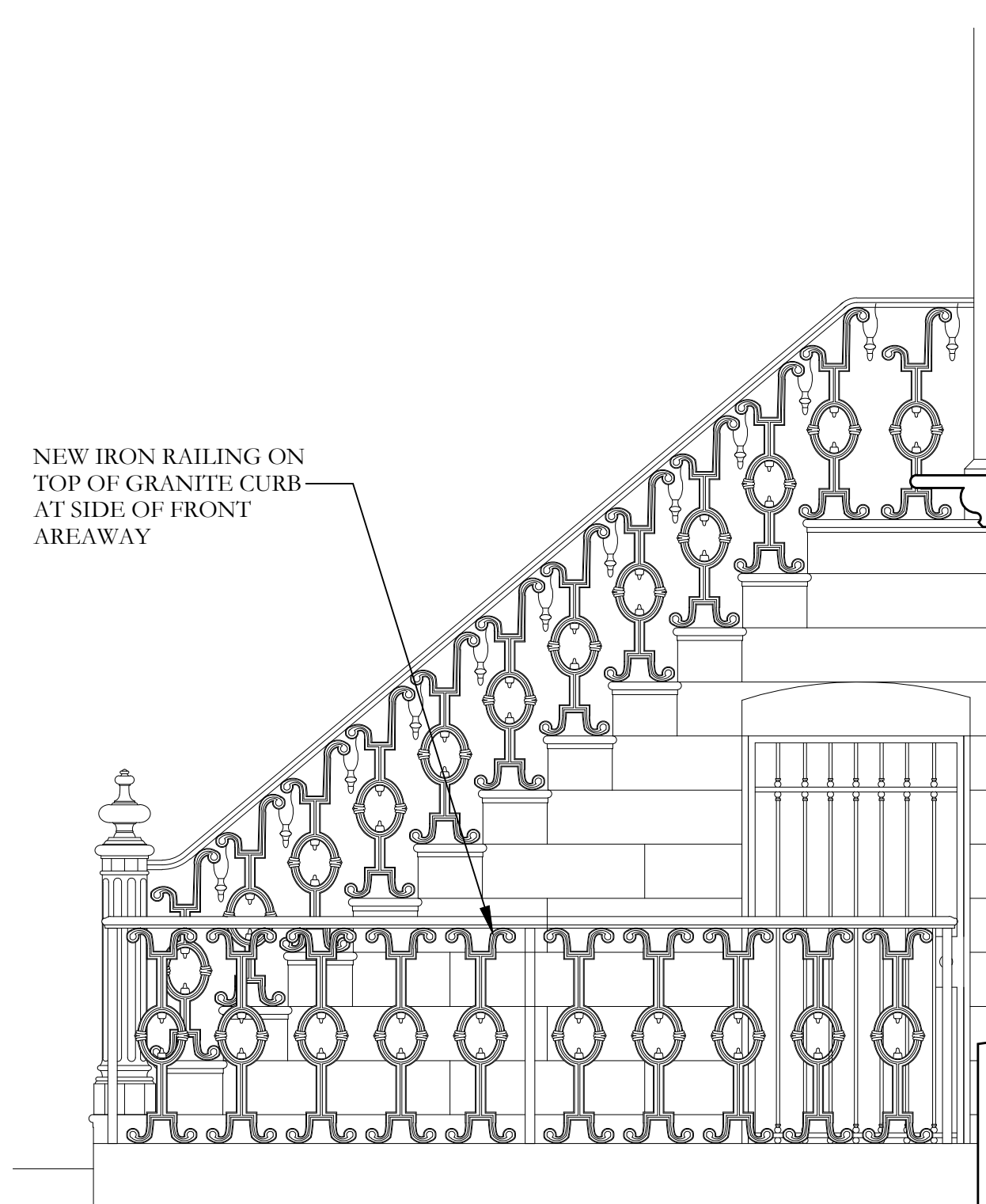




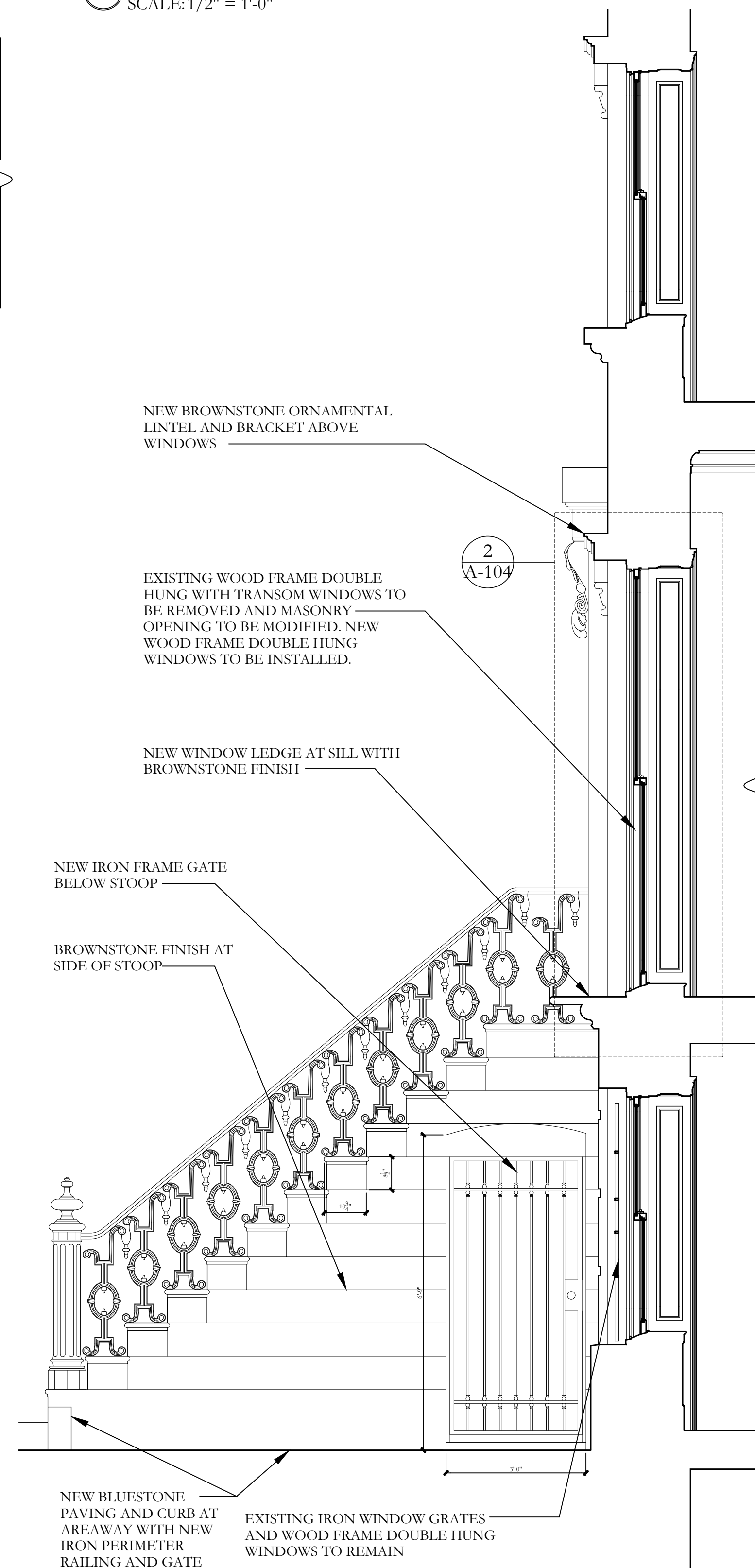
04 BRACKET AND CORNICE DETAIL
SCALE: 1 1/2" = 1'-0"



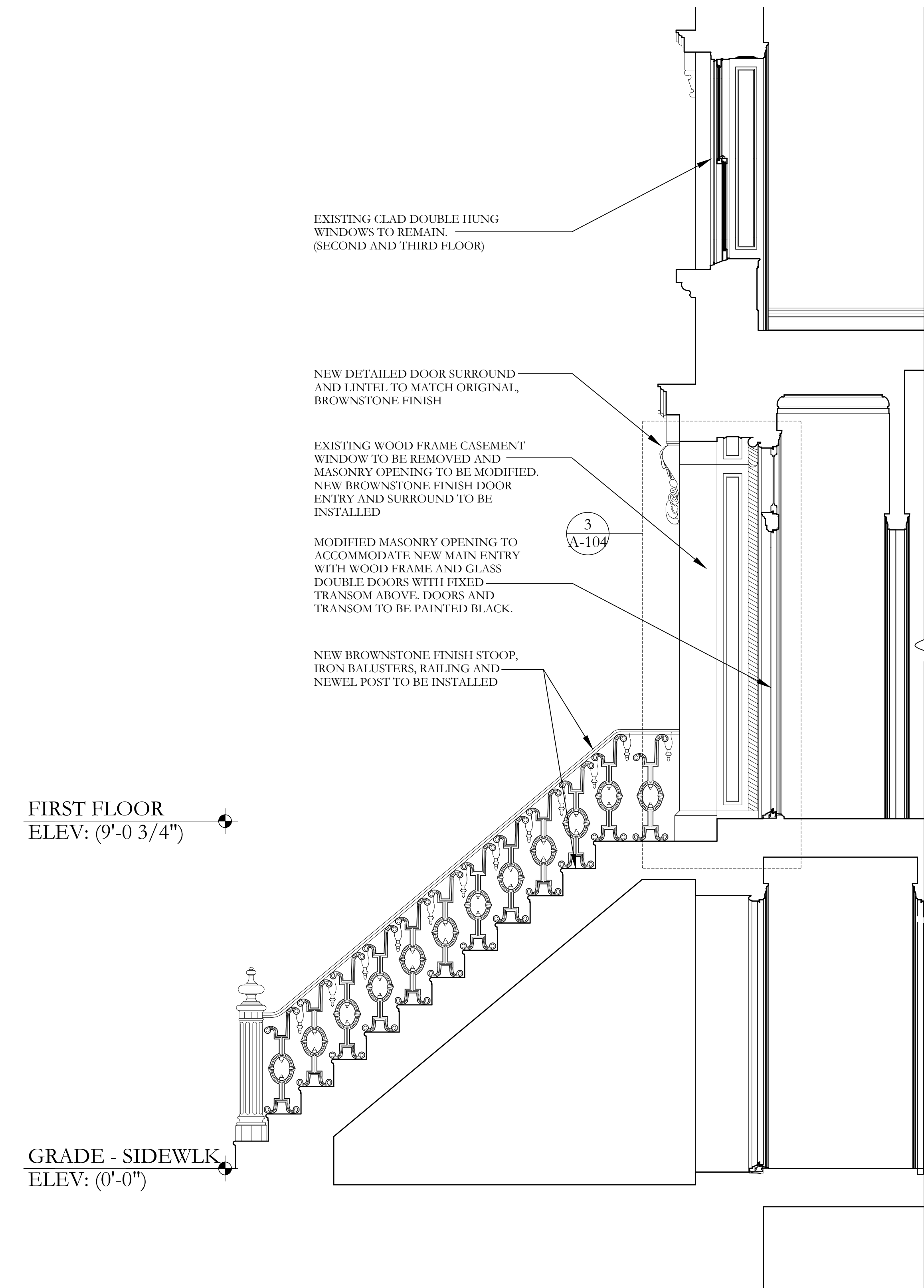
05 CORNICE IMAGES
SCALE: 1/2" = 1'-0"



01 SIDE ELEVATION
SCALE: 1/2" = 1'-0"



02 SECTION AT EXTERIOR WINDOWS
SCALE: 1/2" = 1'-0"



03 SECTION AT EXTERIOR STOOP
SCALE: 1/2" = 1'-0"

FIRST FLOOR
ELEV: (9'-0 3/4")

GRADE - SIDEWALK
ELEV: (0'-0")

NEW BROWNSTONE ORNAMENTAL LINTEL AND BRACKET ABOVE WINDOWS

EXISTING WOOD FRAME DOUBLE HUNG WITH TRANSOM WINDOWS TO BE REMOVED AND MASONRY OPENING TO BE MODIFIED. NEW WOOD FRAME DOUBLE HUNG WINDOWS TO BE INSTALLED.

NEW WINDOW LEDGE AT SILL WITH BROWNSTONE FINISH

NEW IRON FRAME GATE BELOW STOOP

BROWNSTONE FINISH AT SIDE OF STOOP

NEW BLUESTONE PAVING AND CURB AT AREAWAY WITH NEW IRON PERIMETER RAILING AND GATE

EXISTING IRON WINDOW GRATES AND WOOD FRAME DOUBLE HUNG WINDOWS TO REMAIN

EXISTING GLAD DOUBLE HUNG WINDOWS TO REMAIN. (SECOND AND THIRD FLOOR)

NEW DETAILED DOOR SURROUND AND LINTEL TO MATCH ORIGINAL, BROWNSTONE FINISH

EXISTING WOOD FRAME CASEMENT WINDOW TO BE REMOVED AND MASONRY OPENING TO BE MODIFIED. NEW BROWNSTONE FINISH DOOR ENTRY AND SURROUND TO BE INSTALLED

MODIFIED MASONRY OPENING TO ACCOMMODATE NEW MAIN ENTRY WITH WOOD FRAME AND GLASS DOUBLE DOORS WITH FIXED TRANSOM ABOVE. DOORS AND TRANSOM TO BE PAINTED BLACK.

NEW BROWNSTONE FINISH STOOP, IRON BALUSTERS, RAILING AND NEWEL POST TO BE INSTALLED

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PROPOSED SECTIONS

A-103.00



DATE

SCALE
1/2" = 1'-0"

7 OF 8

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