

September 17, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 1, LPC-24-08211

407 West 246th Street – Fieldston Historic District Borough of Bronx

To testify virtually, please join Zoom

Webinar ID: 860 1689 5962

Passcode: 322206

By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

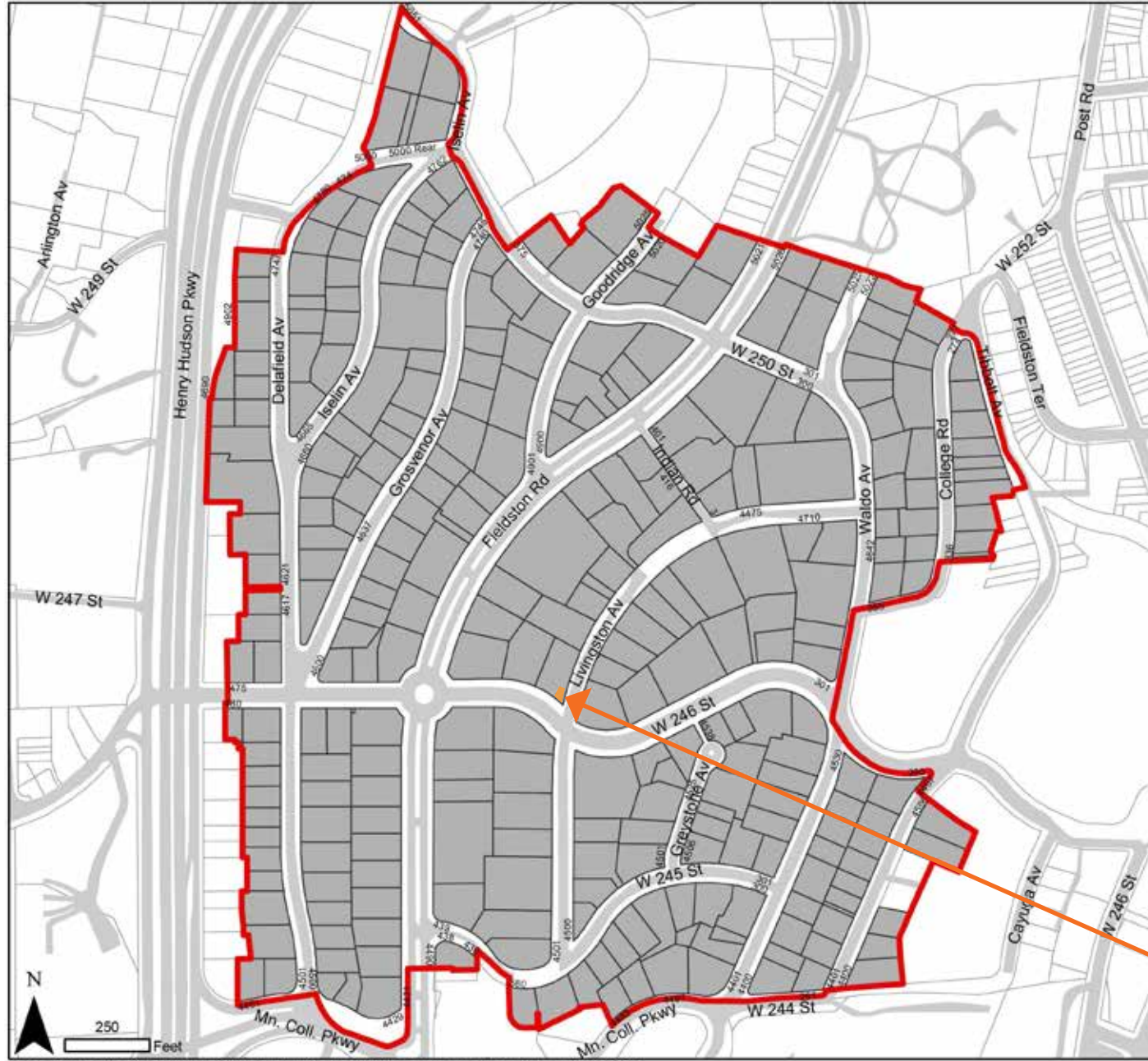
888-475-4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.



407 W 246TH STREET

ATTIC ADDITION + RAILING IMPROVEMENT



FIELDSTON HISTORIC DISTRICT

Graphic Source: MapPLUTO, Edition 11v1, 2011. Author: Landmarks Preservation Commission, KLK, rev. JM. Date: rev. January 28, 2013

Landmarks Preservation Commission
 Fieldston Historic District
 Borough of the Bronx, NY
 [LP-2138]
 Calendered: October 14, 2003
 Public Hearing: December 2, 2003
 Designated: January 10, 2006

NYC
 Landmarks Preservation
 Commission

- Existing Historic Districts
- Proposed Historic District
- Boundary of Historic District
- Tax Map Lots in Historic District

Manhattan
 Bronx

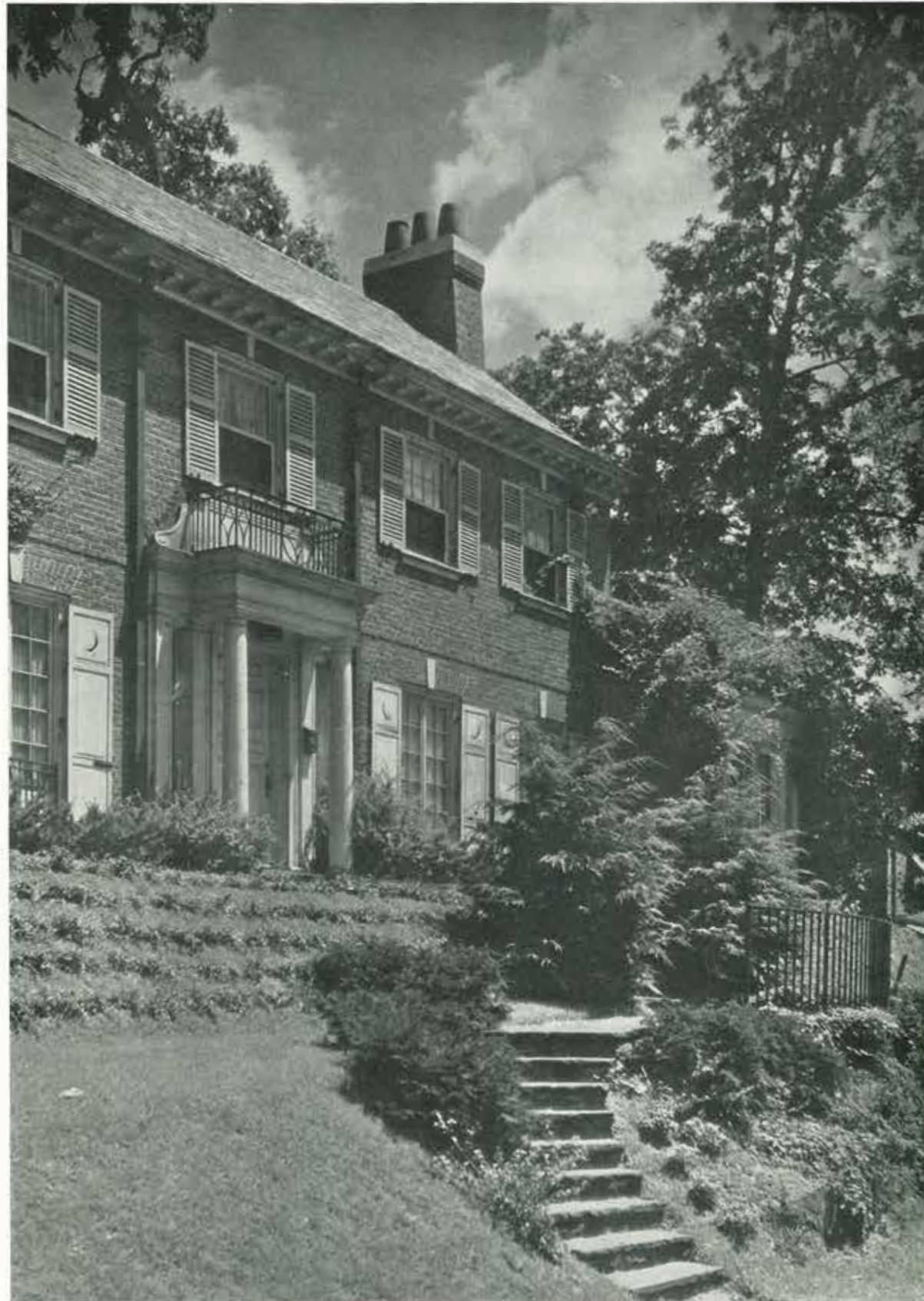


NYC DIGITAL TAX MAP

AREA OF WORK

THE WORK OF DWIGHT JAMES BAUM
FORMAL GEORGIAN TYPES

PLATE 35



THE HOME OF JOHN W. GRIFFIN, RIVERDALE-ON-HUDSON, NEW YORK CITY

January, 1921

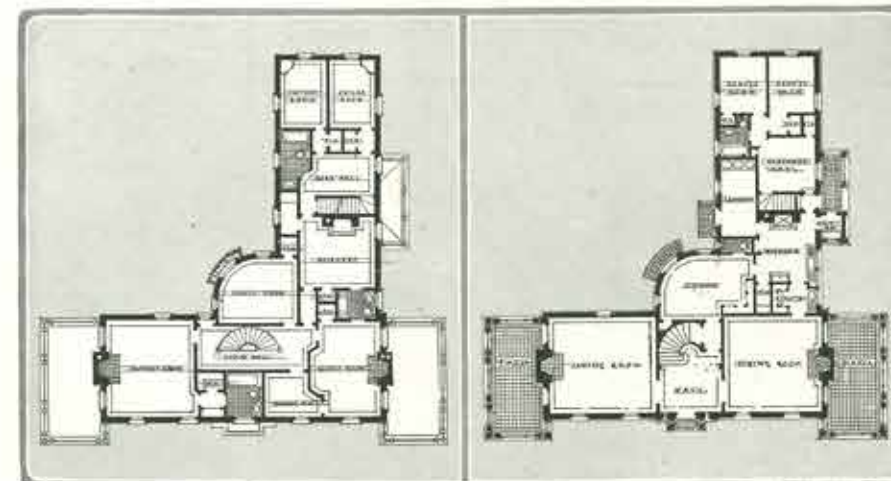
51



A combination of Georgian and New England Colonial has been used in the home of John W. Griffin, at Fieldston, New York City. It is executed in brick and the roof is slate of varied sizes and colors. Cream white paint has been used on the exterior woodwork. To lend a touch of contrast, wrought iron is employed on the balcony over the entrance and at the lower windows. As in the case of the other two houses in this group, Dwight James Baum was the architect

To the balanced main body of the house has been added a long addition which affords space for the comfortable living of a large family. This gives a variety of spacious rooms, each excellently lighted and ventilated

The main body of the house consists of the hall, living room and dining room with a paved piazza at each end. Behind, the kitchen and pantry, with a study to one side, laundry, servants' hall and servants' rooms



There is dignity in the Georgian type of architecture. The formal, balanced grouping of windows, the accenting of the entrance with a portico, the color of the brick, the cleanness of the white woodwork—these are important factors in the design of a house that merits distinction



1980s : VIEW FROM LIVINGSTON AVE



EXISTING VIEW

407 W 246TH STREET

DISTRICT INFORMATION

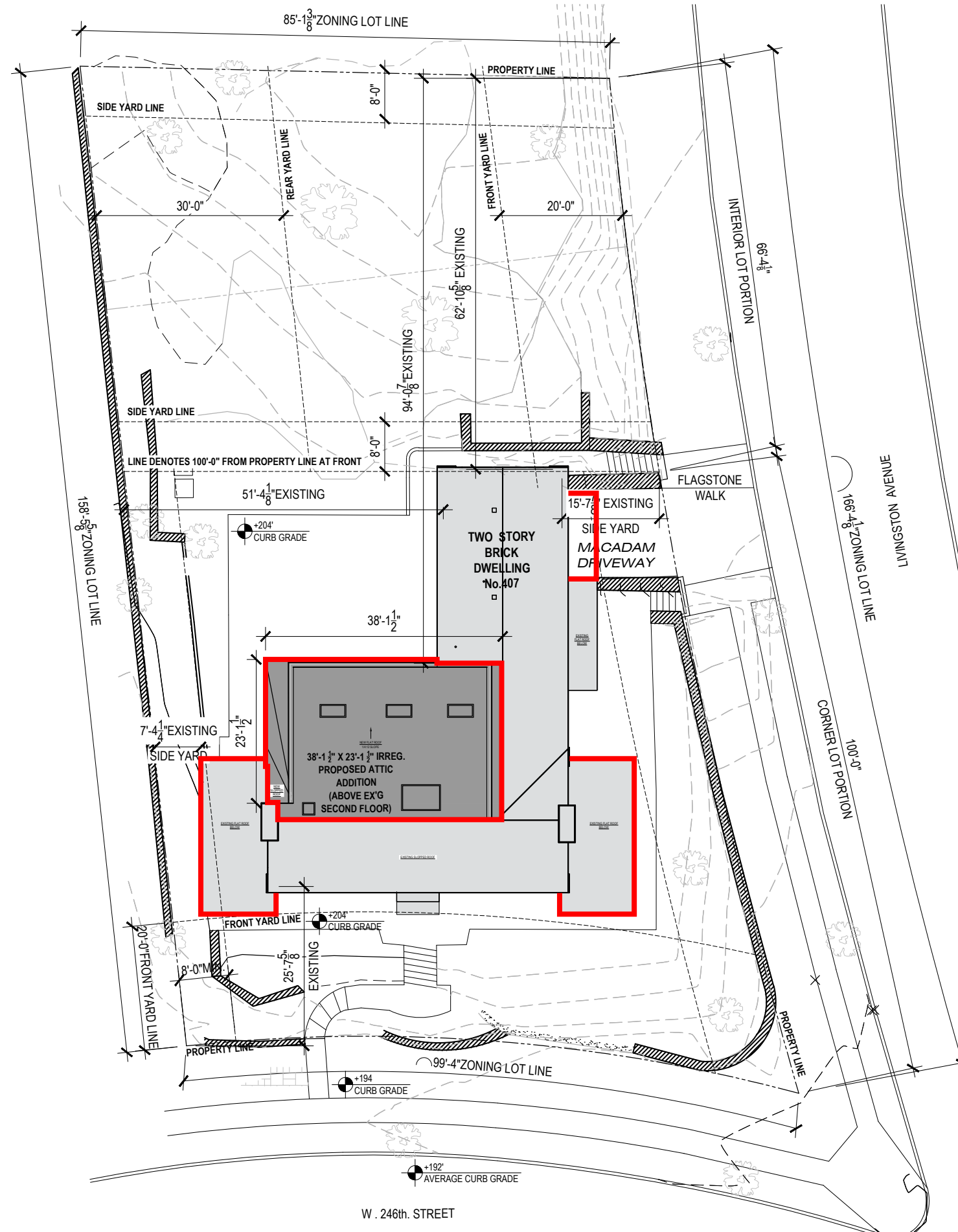
BOROUGH: BRONX
 BLOCK: 5819
 TAX LOT: 2115
 ZONING DISTRICT: R1-2 / NA-2
 LANDMARK STATUS: L - LANDMARK

PROPERTY INFORMATION

ZONING DISTRICT: FIELDSTON HISTORIC DISTRICT
 ZONING MAP: 1c
 STREET WIDTH (LIVINGSTON AVE): 60 FT
 (246TH STREET) 42 FT
 BUILDING CLASS: ONE FAMILY DWELLINGS
 NUMBER OF BUILDINGS: 1
 NUMBER OF FLOORS: 2
 EXISTING FLOOR AREA: 5,197 SF

ATTIC ADDITION: 478.5 SF
 PROPOSED GROSS FLOOR AREA: 5,197 SF
 LOT AREA: 14,052 SF
 LOT FRONTAGE: 100 FT
 LOT DEPTH: 168 FT
 F.A.R.: .5
 PROPOSED ZONING FLOOR AREA: 5,197 SF
 ALLOWABLE ZFA: <7,026 SF

SITE PLAN



FRONT VIEW - EXISTING + PROPOSED VIEWS



EXISTING



PROPOSED



KEY PLAN

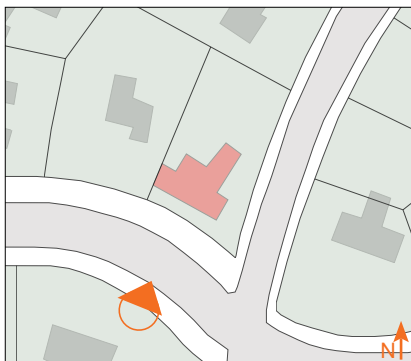
BIRD'S EYE VIEW VIEW - EXISTING + PROPOSED VIEWS



EXISTING



PROPOSED



KEY PLAN

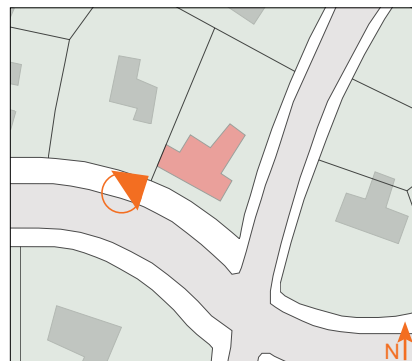
REAR VIEW - EXISTING + PROPOSED VIEWS FACING WEST



EXISTING

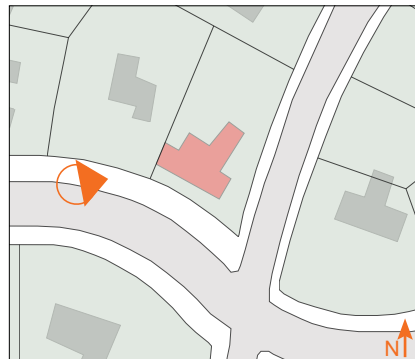


PROPOSED



KEY PLAN

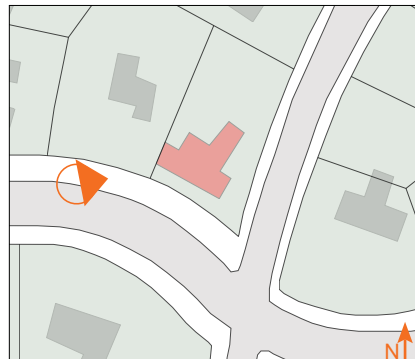
PROPOSED ROOF MOCK UP PHOTOS



KEY PLAN

BUILDING STUDIO
ARCHITECTS

PROPOSED ROOF MOCK UP PHOTOS



KEY PLAN

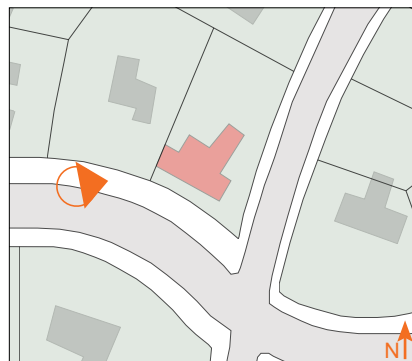
SUMMERTIME PHOTO



SUMMERTIME PHOTO



PROPOSED RENDERING



KEY PLAN

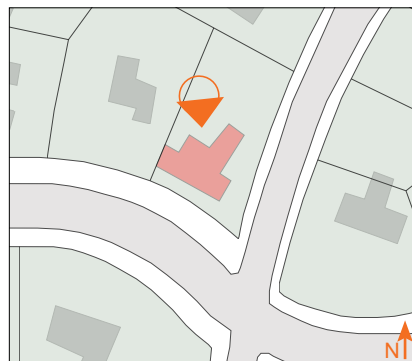
REAR VIEW - EXISTING + PROPOSED VIEWS



EXISTING

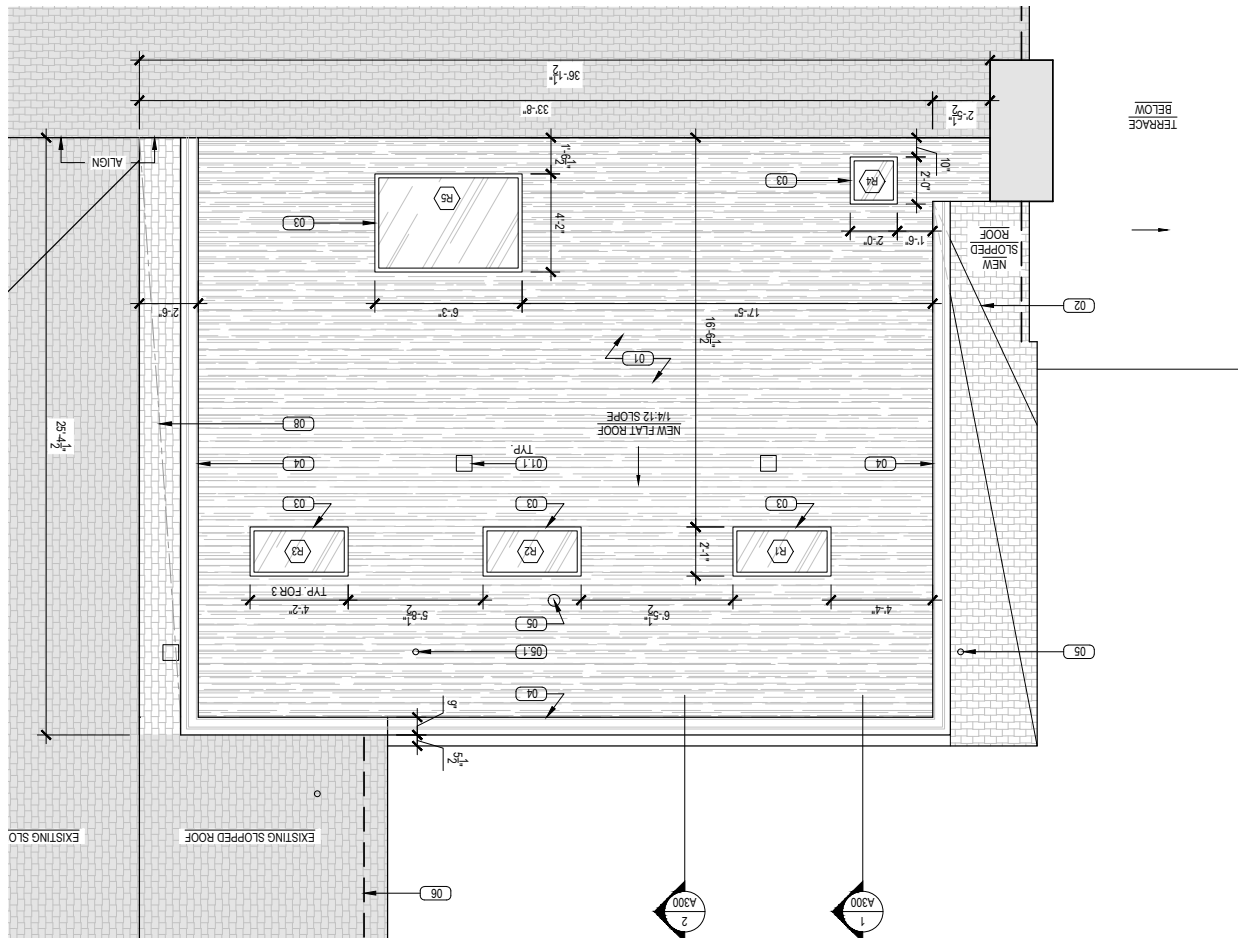


PROPOSED



KEY PLAN

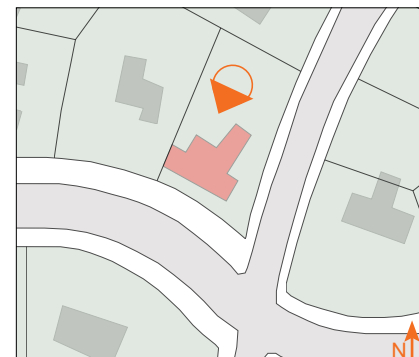
REAR VIEW - PROPOSED ROOF MOCK UP PHOTOS



ROOF PLAN

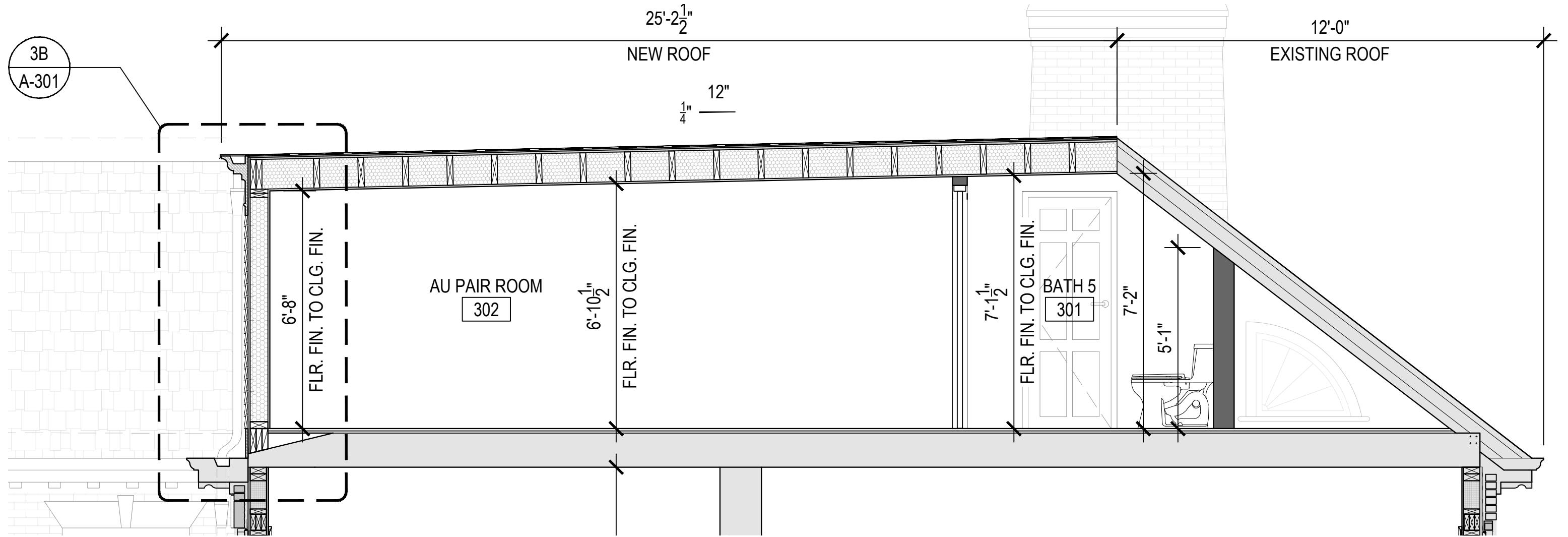


PROPOSED ELEVATION - NORTH

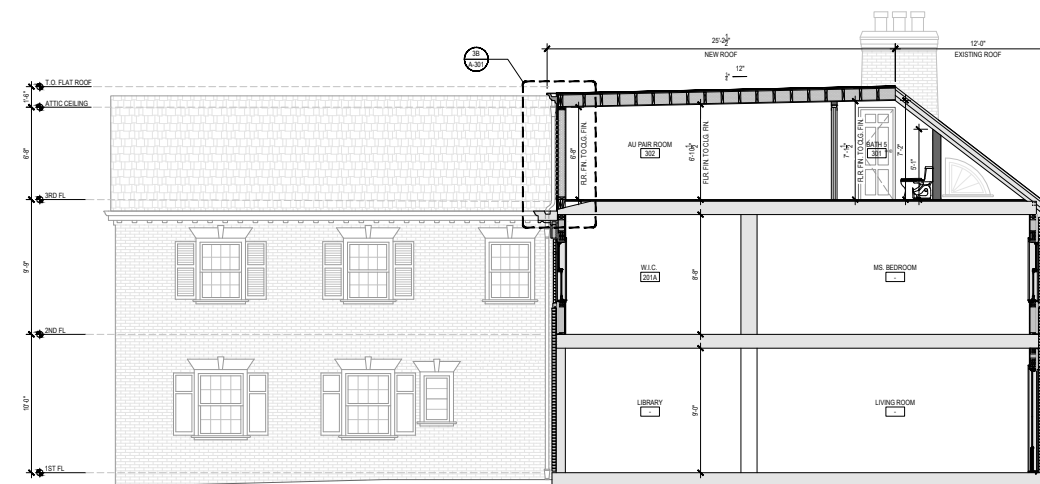


KEY PLAN

SECTION THROUGH ATTIC ADDITION



ATTIC SECTION

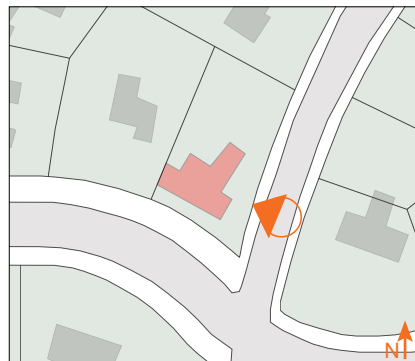


OVERALL SECTION

HANDRAIL IMPROVEMENT



EXISTING VIEW



KEY PLAN

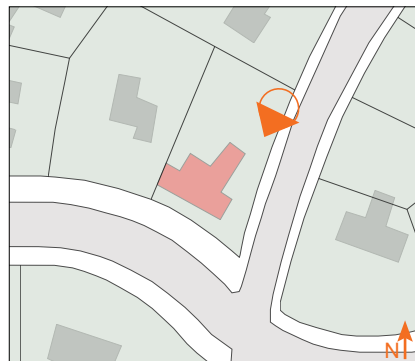


PROPOSED EXTERIOR ELEVATION - EAST

HANDRAIL IMPROVEMENT



EXISTING VIEW



KEY PLAN



PROPOSED EXTERIOR ELEVATION - NORTH

HANDRAIL IMPROVEMENT



EXISTING VIEW



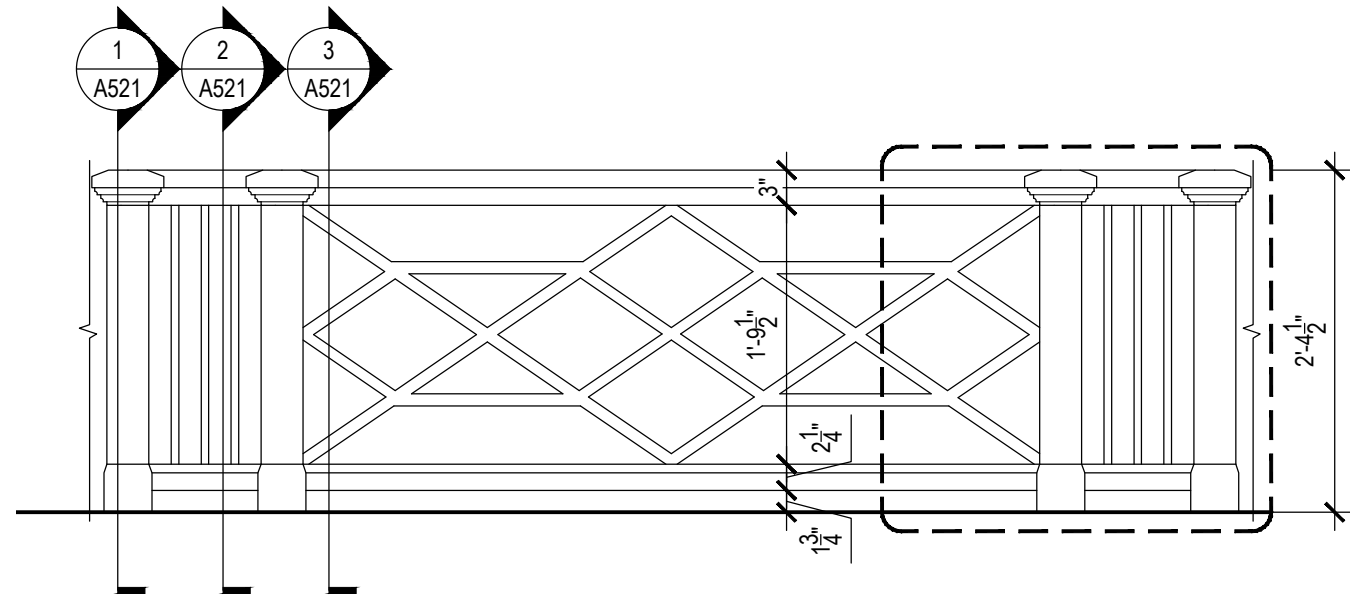
KEY PLAN

BUILDING STUDIO
ARCHITECTS

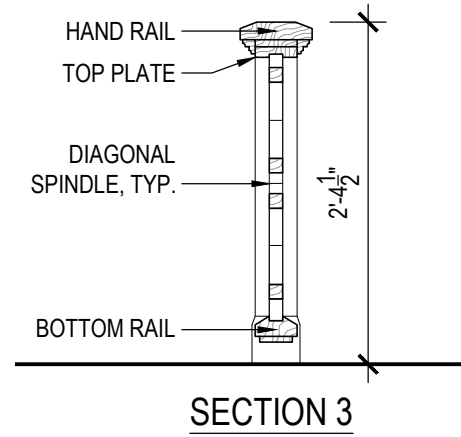


PROPOSED EXTERIOR ELEVATION - NORTH

HANDRAIL IMPROVEMENT

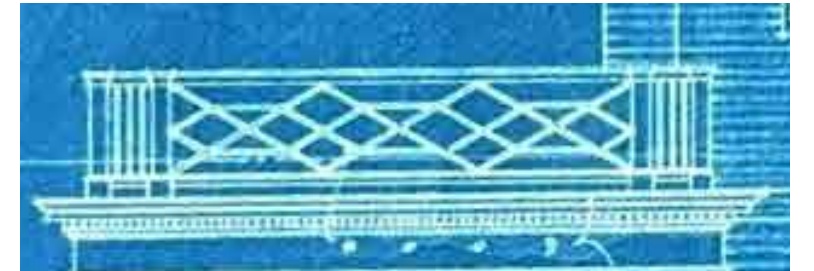


ORIGINAL HANDRAIL ELEVATION
- PER ORIGINAL BLUEPRINT (1918) -
TYPE 1: MODULE WITH 1 DIAMOND



SECTION 3

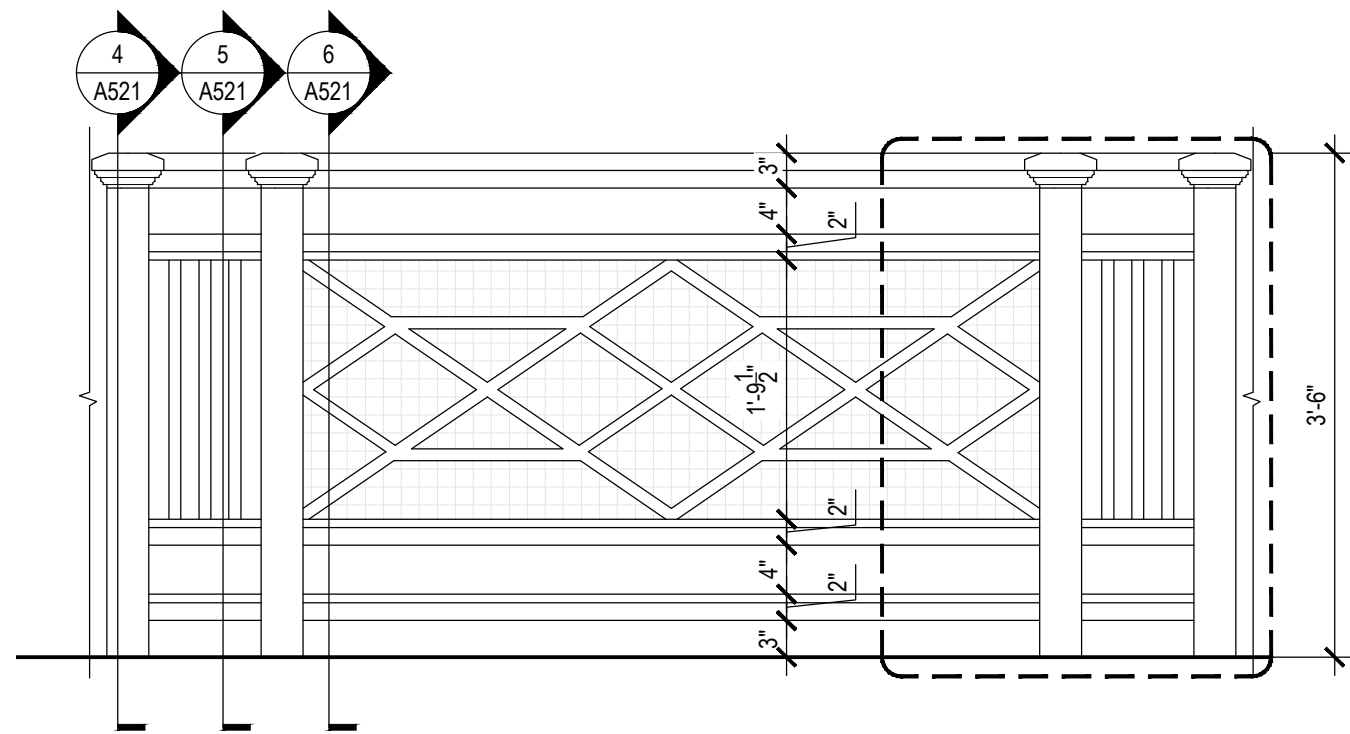
1918 : ORIGINAL DRAWING - HANDRAIL



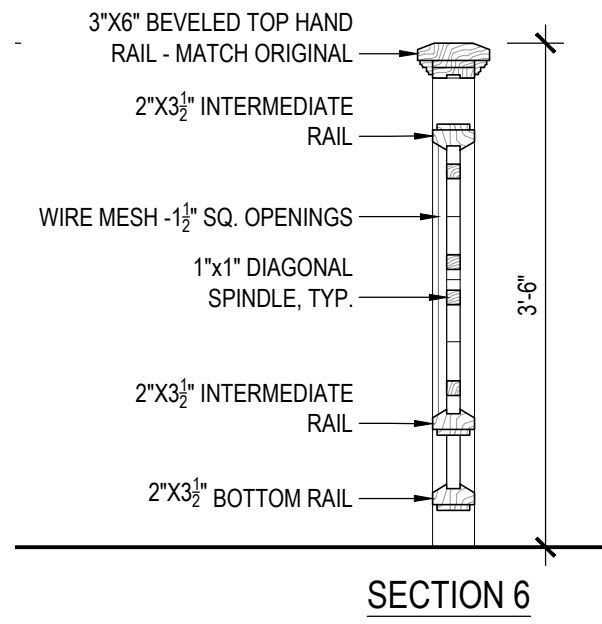
EXISTING HANDRAIL

EXISTING HANDRAIL SECTION

1921 : ORIGINAL HANDRAIL



PROPOSED HANDRAIL



SECTION 6

PROPOSED HANDRAIL SECTION

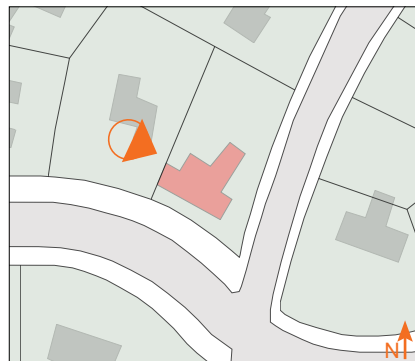
EXISTING HANDRAIL



HANDRAIL IMPROVEMENT

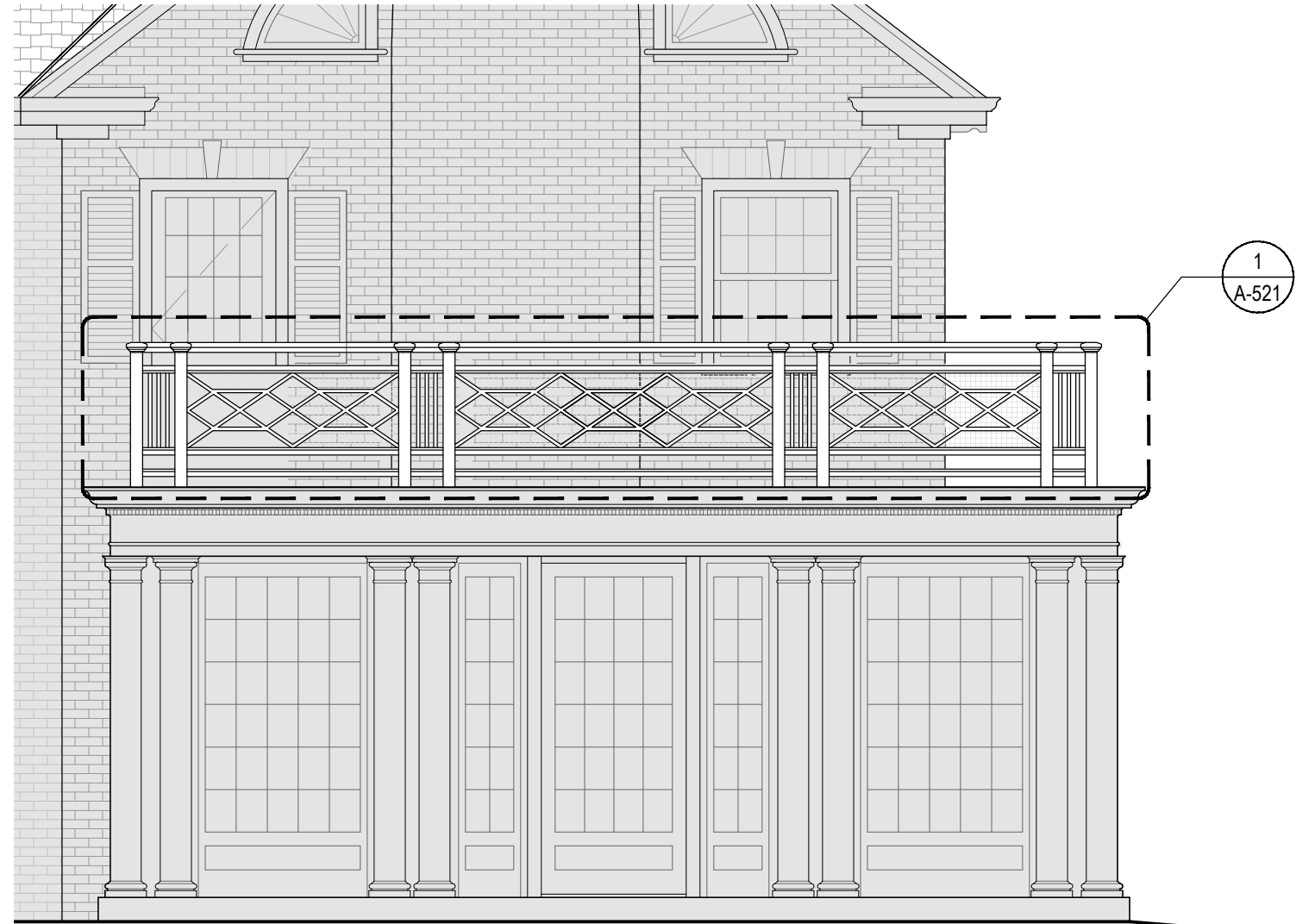


EXISTING VIEW



KEY PLAN

BUILDING STUDIO
ARCHITECTS



PROPOSED EXTERIOR ELEVATION - WEST

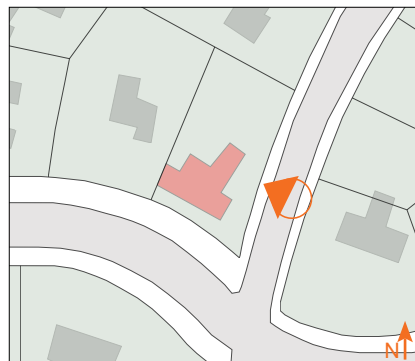
RAILING ABOVE GARAGE DOOR



EXISTING VIEW



1918 : ORIGINAL DRAWING - EXTERIOR EAST ELEVATION



KEY PLAN

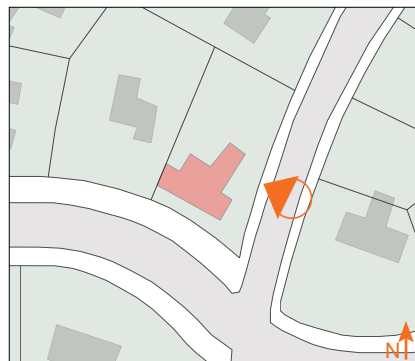
GARAGE



EXISTING VIEW



EXISTING SLATE ROOF OVER GARAGE



KEY PLAN

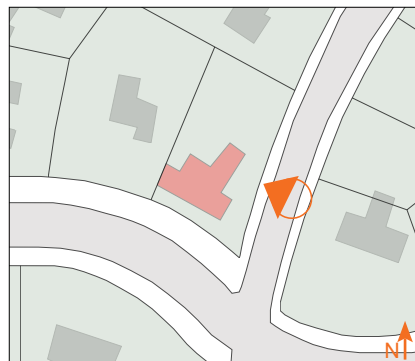
GARAGE



EXISTING EXTENSION AREA FROM BELOW

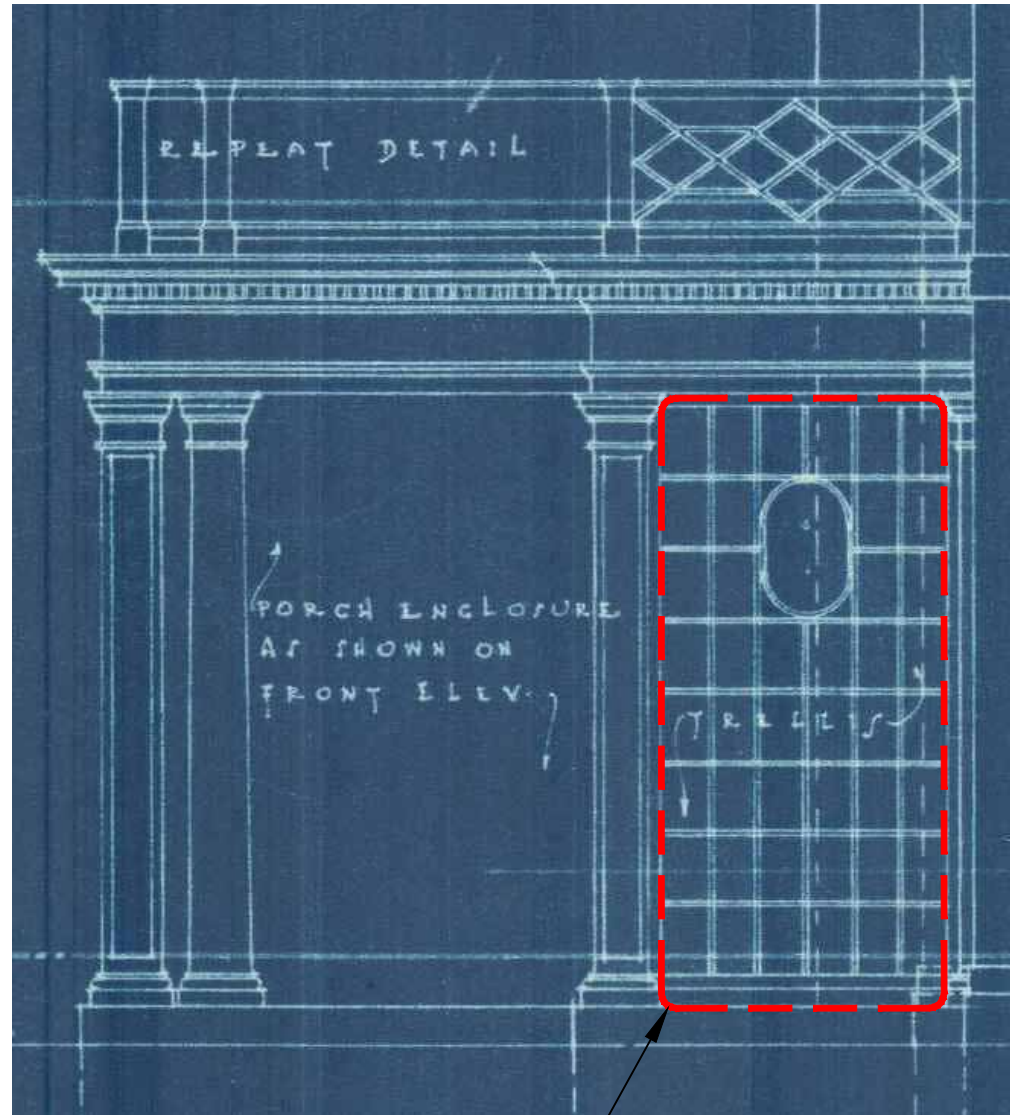


PROPOSED WALKABLE ROOF AND RAILING



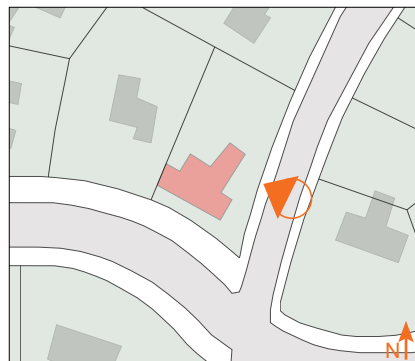
KEY PLAN

EXTERIOR TRELLIS



ORIGINAL BLUEPRINT (1918)

WORK AREA DENOTED WITH RED LINE



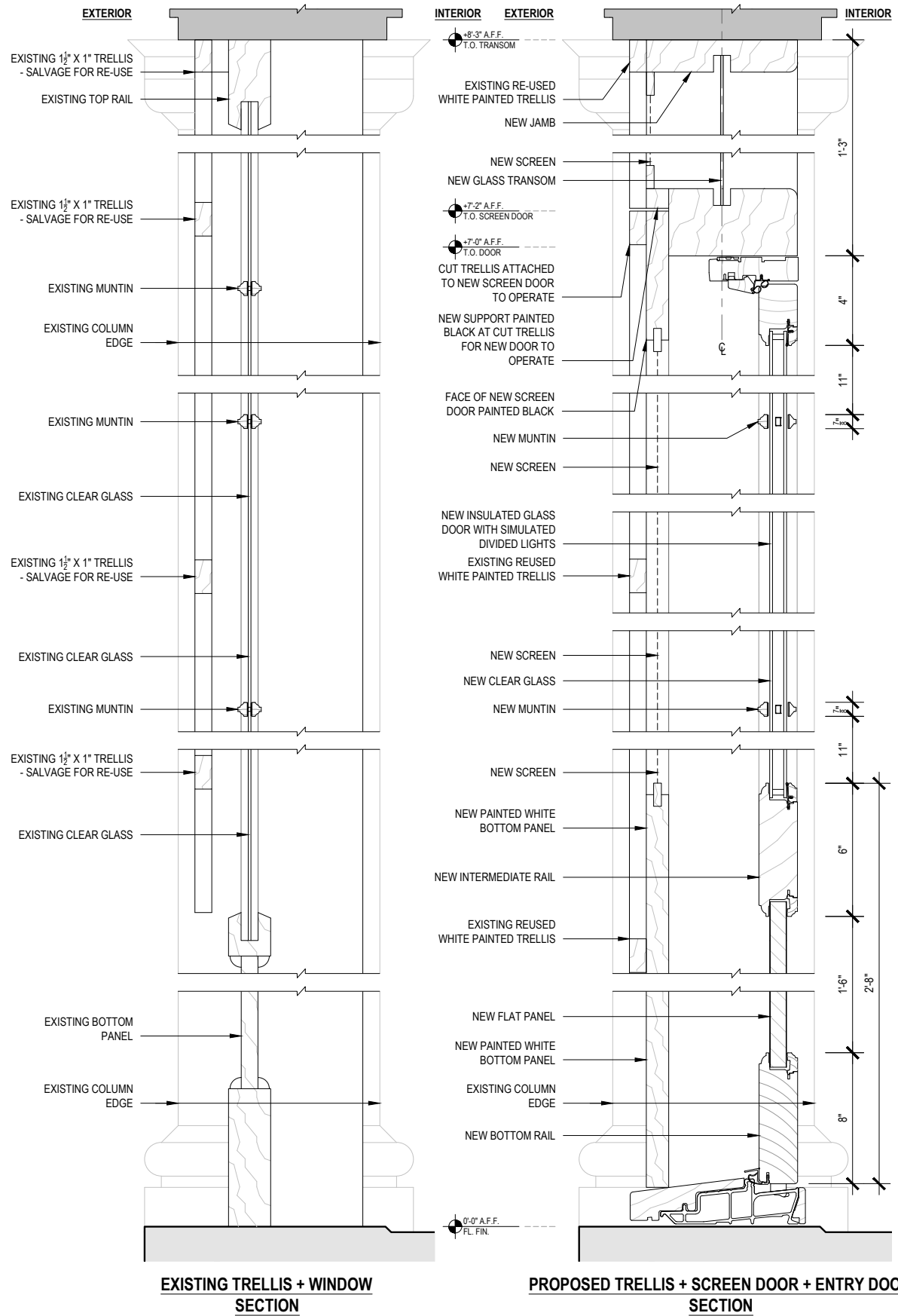
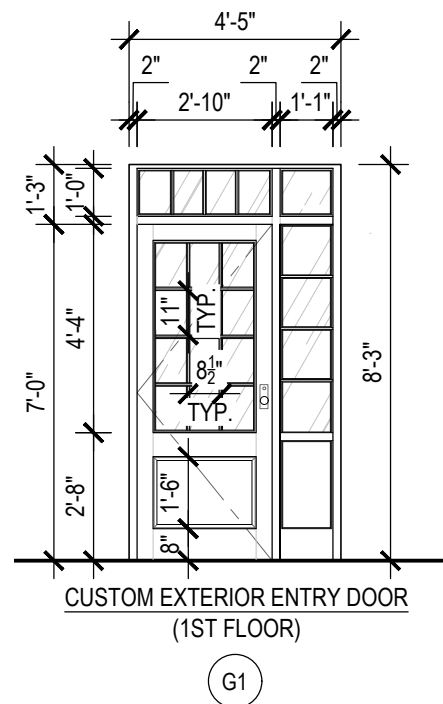
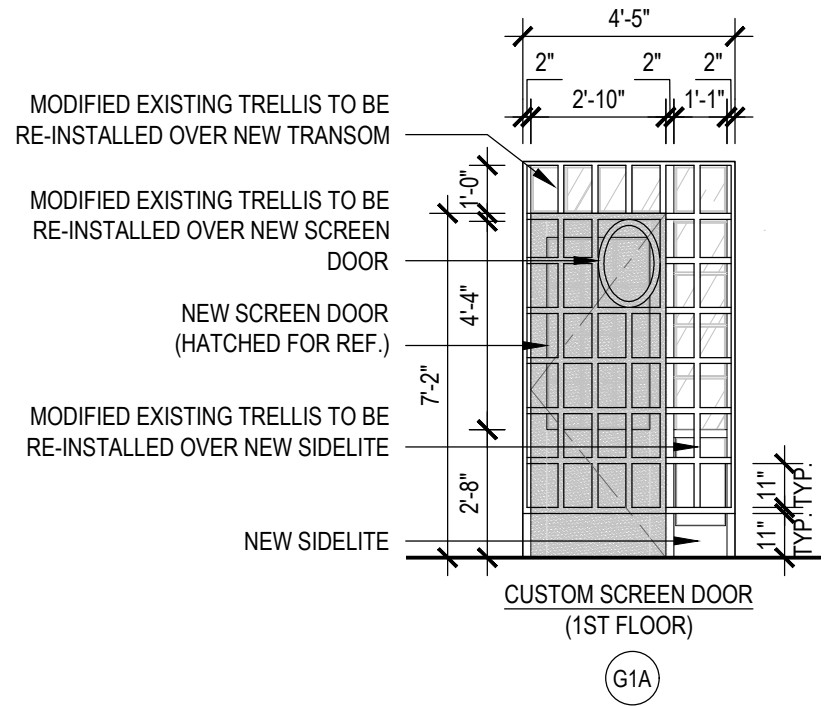
KEY PLAN



PHOTO - AREA OF EXTERIOR WORK

- WORK AREA DENOTED WITH RED LINE
- EXISTING TRELLIS TO BE REMOVED & SALVAGED / REPAIRED FOR RE-USE:
 - XXXX OVER NEW SCREEN DOOR
 - XXXX OVER NEW SIDELITE & TRANSOM
- EXISTING PILASTER & COLUMN TO REMAIN
- EXISTING WINDOW BEHIND TRELLIS TO BE REMOVED & SALVAGED

EXTERIOR TRELLIS - ELEVATIONS + SECTIONS





1 PROPOSED PLAN - 2ND FLOOR
SCALE: 1/4" = 1'-0"

PROPOSED PLAN LEGEND:

- NEW HANDRAIL TO BE INSTALLED
- CONSTRUCTION KEY NOTE TAG
- ELEVATION MARKERS
- ROOM NAME AND NUMBER
- N.I.C.

NOTES:

G.C. TO PROTECT ALL EXISTING AREAS - N.I.C.: WALLS, CHIMNEYS, MILLWORK, WINDOWS, DOORS, ELECTRICAL RECEPTACLES, AND EQUIPMENT TO REMAIN. IN CASE OF DAMAGE IT IS G.C.'S RESPONSIBILITY TO REPAIR TO "LIKE NEW" CONDITION.

ALL EXISTING COLUMNS TO REMAIN; G.C. TO V.I.F. LOCATIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE FOUND, TYP.

REFER TO SHEET G-001 & G-002 FOR ABBREVIATIONS, SYMBOLS, LEGEND & GENERAL NOTES.

REFER TO A-601 & A-611 FOR DOOR & WINDOW INFO.

REFER TO A-701 FOR SCHEDULES.

NOTE:

INTERIOR WORK FILED UNDER SEPARATE APPLICATION DOB NOW# X00934126-11.

PROPOSED PLAN KEY NOTES:

- 01** NEW HANDRAIL-BALUSTER TO BE INSTALLED - MATCH EXISTING DESIGN. NEW HEIGHT (42" A.F.F.) TO COMPLY WITH LOCAL CODES. REFER TO EXT. ELEV'S. AND DETAIL SHEETS.
- 02** NEW FLOOR FINISH TO BE INSTALLED. COORDINATE WITH OWNER AND ARCHITECT.

BUILDING STUDIO ARCHITECTS

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KEY PLAN:



REVISIONS AND ISSUE:

LPC SUBMISSION (PHASE 1)	09.26.23
LPC SUBMISSION (PHASE 1)	11.01.23
DOB SUBMISSION (PHASE 1)	11.27.23
LPC SUBMISSION (PHASE 2)	03.15.24
LPC SUBMISSION - REVISED SET (PHASE 1)	03.25.24
LPC SUBMISSION - REVISED SET (PHASE 2)	03.29.24
LPC SUBMISSION - REVISED SET (PHASE 1)	04.10.24

PROJECT TITLE:

RESIDENCE RENOVATION

407 WEST 246TH STREET
BRONX, NY, 10471

DRAWING TITLE:

**PROPOSED PLAN
SECOND FLOOR**

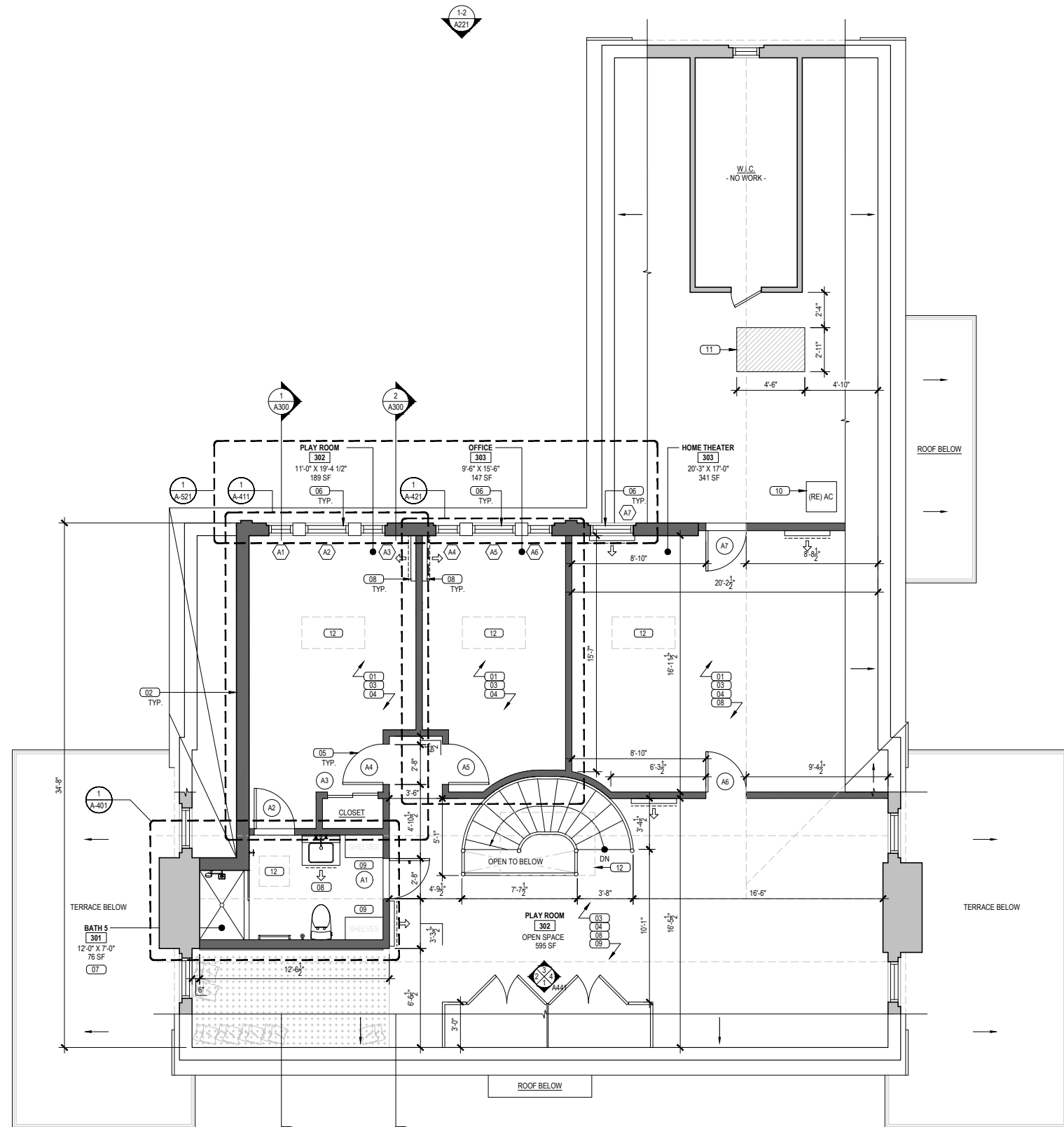
DOB NOW JOB # : X

SEAL & SIGNATURE:	SCALE:	AS NOTED
	DATE:	06.07.2023
	PROJECT NUMBER:	23112
	DRAWN BY:	LK
	CHECKED BY:	JF
	SHEET NUMBER:	



A- 121.00

NYC DOB NUMBER: 04 OF 27



PROPOSED PLAN LEGEND:

- EXISTING WALL TO REMAIN
- NEW WALL
- EXISTING DOOR TO REMAIN
- NEW DOOR + FRAME TO BE INSTALLED
- CONSTRUCTION KEY NOTE TAG
- DOOR TAG
- WINDOW TAG
- WALL TYPE
- SECTION MARKER
- ELEVATION MARKERS
- ROOM NAME & NUMBER

NOTES:

G.C. TO PROTECT ALL EXISTING AREAS - N.I.C.: WALLS, CHIMNEYS, MILLWORK, WINDOWS, DOORS, ELECTRICAL RECEPTACLES, AND EQUIPMENT TO REMAIN. IN CASE OF DAMAGE IT IS G.C.'S RESPONSIBILITY TO REPAIR TO "LIKE NEW" CONDITION.

ALL EXISTING COLUMNS TO REMAIN; G.C. TO V.I.F. LOCATIONS, AND NOTIFY ARCHITECT IF ANY DISCREPANCIES ARE FOUND, TYP.

REFER TO SHEET G-001 FOR GENERAL NOTES, SYMBOLS & LEGEND.

REFER TO A-600 SERIES FOR WALL TYPE DETAILS, AND CONSTRUCTION DETAILS.

REFER TO A-700 SERIES FOR SCHEDULES.

PROPOSED PLAN KEY NOTES:

- 01 NEW INTERIOR PARTITIONS TO BE INSTALLED.
- 02 NEW EXTERIOR WALL TO BE INSTALLED - MATCH ADJACENT.
- 03 NEW FLOOR FINISH TO BE INSTALLED IN AREAS TO BE RENOVATED ONLY. COORDINATE WITH OWNER AND ARCHITECT.
- 04 NEW WALL FINISHES TO BE INSTALLED IN AREAS TO BE RENOVATED ONLY.
- 05 NEW DOOR + FRAME TO BE INSTALLED.
- 06 NEW WINDOW + FRAME TO BE INSTALLED.
- 07 NEW BATHROOM BY G.C.; PLUMBING FIXTURES SUPPLIED BY OWNER / INSTALLED BY G.C.; NEW WATERPROOFING MEMBRANE TO BE EXTENDED UP TO WALL AT MIN. OF 6" TYP.; REFER TO DETAIL 3 / A-501.
- 08 NEW RADIATORS TO BE INSTALLED. REFER TO PLUMBING SET.
- 09 NEW CUSTOM MILLWORK TO BE INSTALLED. REFER TO INTERIOR ELEVATIONS IN SHEET A/XXX. COORDINATE WITH OWNER. PROVIDE BLOCKING AS REQUIRED.
- 10 RELOCATED AC UNIT - FILED UNDER SEPARATE APPLICATION DOB NOW# X00934126-11.
- 11 NEW FLOOR ASSEMBLY - MATCH EXISTING - FILED UNDER SEPARATE APPLICATION DOB NOW# X00934126-11.
- 12 NEW SKYLIGHT ABOVE SHOWN IN DASHED LINES. REFER TO SKYLIGHT SCHEDULE IN SHEET A-611.

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DRAWING TITLE:

**PROPOSED PLAN
 ATTIC**

DOB NOW JOB # : X

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	CHECKED BY:	JF
	SHEET NUMBER:	



A- 131.00

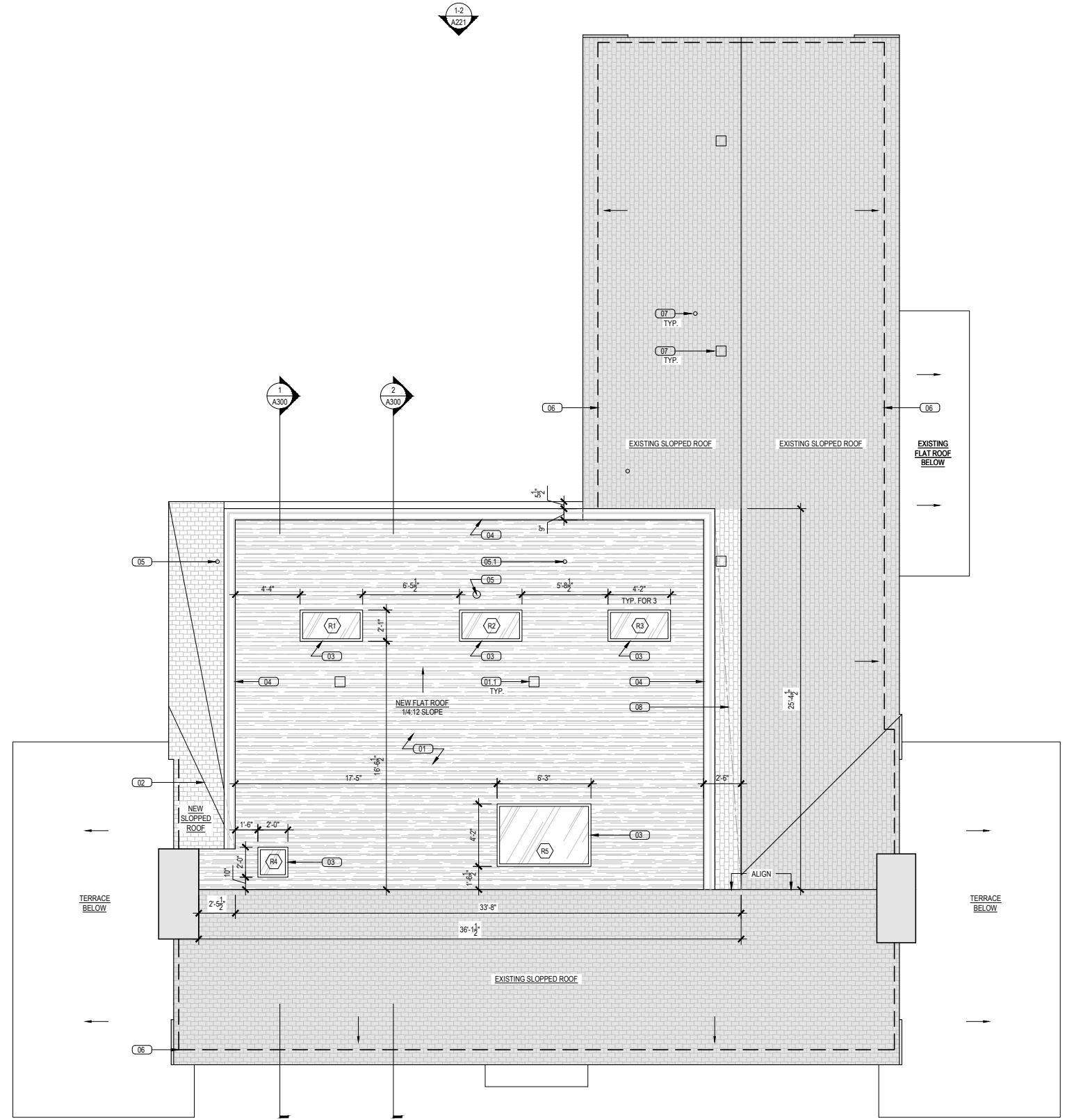
NYC DOB NUMBER: 06 OF 27

1 PROPOSED PLAN - ATTIC
 SCALE: 1/4" = 1'-0"

1-2
A221

1-2
A231

1-2
A211



PROPOSED PLAN LEGEND:

- CONSTRUCTION KEY NOTE TAG
- DOOR TAG
- WINDOW TAG
- WALL TYPE
- SECTION MARKER
- ELEVATION MARKERS
- ROOM NAME & NUMBER
- N.I.C.
- EXISTING SLOPPED ROOF
- NEW SLOPPED ROOF
- NEW FLAT ROOF

NOTES:

G.C. TO PROTECT ALL EXISTING AREAS - N.I.C.: EXISTING ROOF, GUTTERS AND CHIMNEYS, TO REMAIN. IN CASE OF DAMAGE IT IS G.C.'S RESPONSIBILITY TO REPAIR TO "LIKE NEW" CONDITION.

NEW ROOF BY G.C.; PENETRATIONS AT EXISTING ROOF TO BE PROVIDED AS NEEDED. G.C. TO PROTECT EXISTING ROOF STRUCTURE AND ROOF SLATES.

REFER TO SHEET G-001 FOR GENERAL NOTES, SYMBOLS & LEGEND.

PROPOSED PLAN KEY NOTES:

- 01** AREA OF NEW FLAT ROOF. MIN. SLOPE $\frac{1}{4}$ " = 1'-0" (2%). PROVIDE ROOF MEMBRANE - KEMPER OR EQUIV. LIQUID APPLIED - INSTALL PER MANUFACTURER'S PUBLISHED DETAILS.
- 01.1** RELOCATED CAP TO ACCOMMODATE ADDITION. REFER TO MECHANICAL SHEET.
- 02** AREA OF NEW SLOPING ROOF - MATCH EXISTING.
- 03** NEW SKYLIGHT AS SCHEDULED. CURB, WATERPROOFING & FLASHING PER MANUFACTURER'S PUBLISHED DETAILS.
- 04** NEW COPPER LINED BUILT-IN GUTTER. REFER TO SECTION IN SHEET A-301.
- 05** EXTENDED VENT TO ACCOMMODATE ADDITION. REFER TO MECHANICAL SHEET.
- 05.1** RELOCATED VENT TO ACCOMMODATE ADDITION. REFER TO MECHANICAL SHEET.
- 06** LINE OF BUILDING BELOW.
- 07** EXISTING VENT / CAP TO REMAIN - NO WORK.
- 08** NEW LEAD COPPER CRICKET.

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PROPOSED PLAN ROOF

DOB NOW JOB #: X
 SEAL & SIGNATURE: _____ SCALE: AS NOTED

DATE:	06.07.2023
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DRAWN BY:	LK
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SHEET NUMBER:	









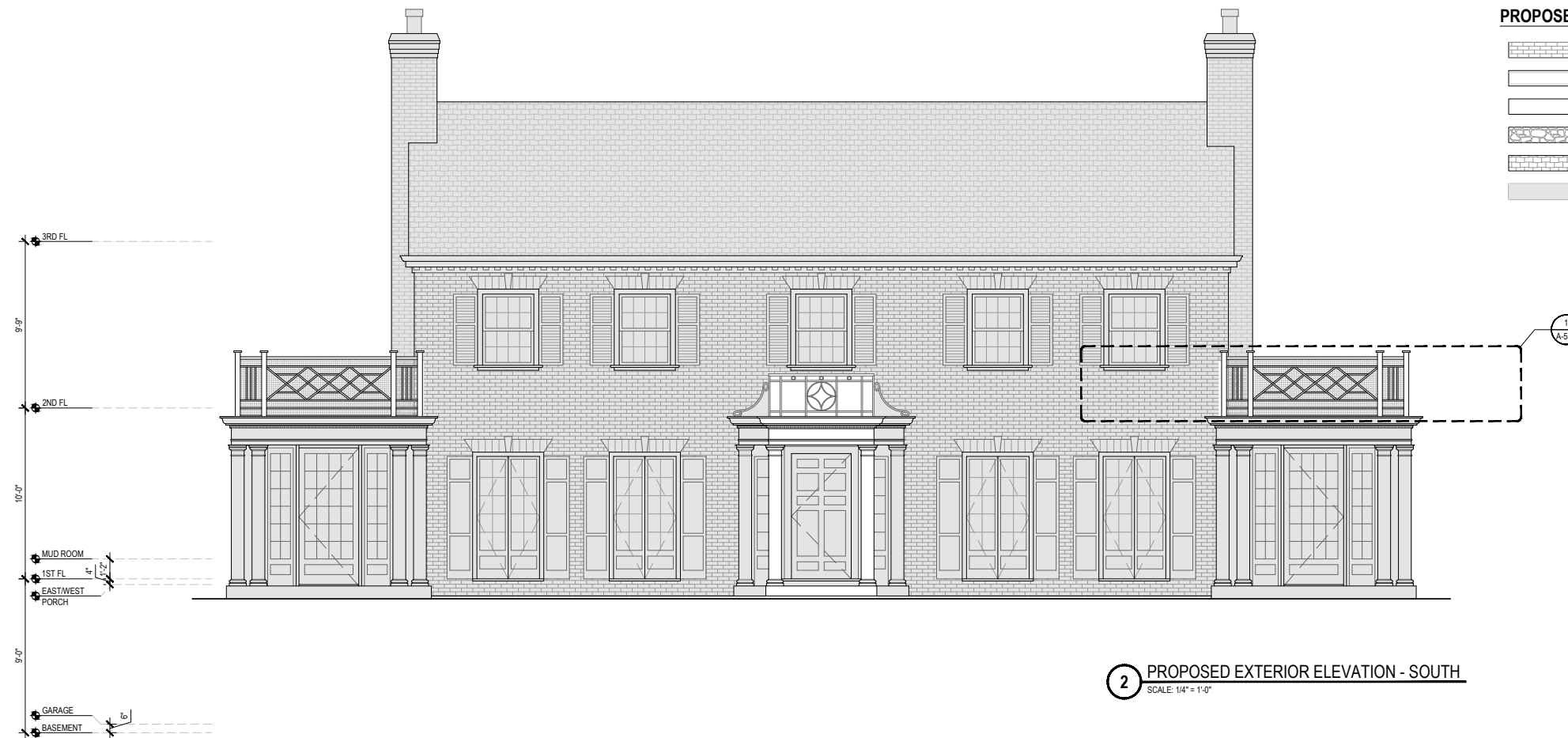
A- 141.00

NYC DOB NUMBER: 06 OF 27

1 PROPOSED PLAN - ROOF
SCALE: _____

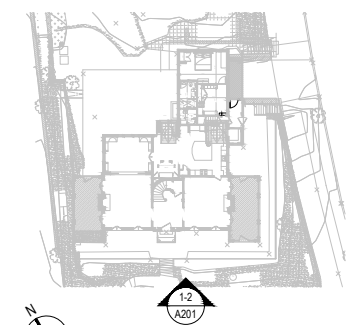
PROPOSED EXTERIOR ELEVATIONS LEGEND:

-  NEW BRICK INFILL - V.I.F.
-  NEW WOOD CLAPBOARD
-  NEW WOOD CORNISE
-  NEW STONE
-  NEW ROOF SLATES
-  EXISTING CONSTRUCTION TO REMAIN - NO WORK



2 PROPOSED EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

KEY PLAN:



REVISIONS AND ISSUE:

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LPC SUBMISSION (PHASE 1)	09.26.23
LPC SUBMISSION (PHASE 1)	11.01.23
DOB SUBMISSION (PHASE 1)	11.27.23
LPC SUBMISSION (PHASE 2)	03.15.24
LPC SUBMISSION - REVISED SET (PHASE 1)	03.25.24
LPC SUBMISSION - REVISED SET (PHASE 2)	03.29.24
LPC SUBMISSION - REVISED SET (PHASE 1)	04.10.24

PROJECT TITLE:

RESIDENCE RENOVATION

407 WEST 246TH STREET
BRONX, NY, 10471

DRAWING TITLE:

**EXISTING & PROPOSED
EXTERIOR ELEVATIONS - SOUTH**

DOB NOW JOB # X

SEAL & SIGNATURE:	SCALE:	AS NOTED
	DATE:	06.07.2023
	PROJECT NUMBER:	23112
	DRAWN BY:	LK
	CHECKED BY:	JF
	SHEET NUMBER:	








201.00

NYC DOB
NUMBER: SHEETNUMBER OF 27

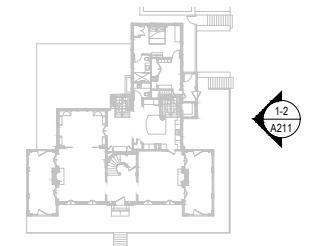


1 EXISTING EXTERIOR ELEVATION - SOUTH
SCALE: 1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATIONS LEGEND:

-  NEW BRICK INFILL - V.I.F.
-  NEW WOOD CORNISE
-  EXISTING CONSTRUCTION TO REMAIN - NO WORK
-  EXISTING WINDOW / RAILING TO BE REMOVED
-  EXISTING DOOR / ROOF TO BE REMOVED

KEY PLAN:



REVISIONS AND ISSUE:

REVISIONS AND ISSUE:	DATE
LPC SUBMISSION (PHASE 1)	09.26.23
LPC SUBMISSION (PHASE 1)	11.01.23
DOB SUBMISSION (PHASE 1)	11.27.23
LPC SUBMISSION (PHASE 2)	03.15.24
LPC SUBMISSION - REVISED SET (PHASE 1)	03.25.24
LPC SUBMISSION - REVISED SET (PHASE 2)	03.29.24
LPC SUBMISSION - REVISED SET (PHASE 1)	04.10.24

PROJECT TITLE:


RESIDENCE RENOVATION

407 WEST 246TH STREET
BRONX, NY, 10471

DRAWING TITLE:

**EXISTING & PROPOSED
EXTERIOR ELEVATIONS - EAST**

DOB NOW JOB #: X

SEAL & SIGNATURE:	SCALE:	AS NOTED
	DATE:	06.07.2023
	PROJECT NUMBER:	23112
	DRAWN BY:	LK
	CHECKED BY:	JF
SHEET NUMBER:		

A - 211.00

NYC DOB NUMBER: 13 OF 27











2 PROPOSED EXTERIOR ELEVATION - EAST
SCALE: 1/4" = 1'-0"

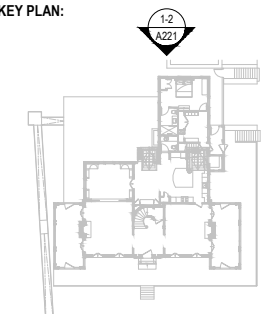


1 EXISTING EXTERIOR ELEVATION - EAST
SCALE: 1/4" = 1'-0"

PROPOSED EXTERIOR ELEVATIONS LEGEND:

-  EXISTING CONSTRUCTION TO REMAIN - NO WORK
-  EXISTING WINDOW TO BE REMOVED
-  NEW BRICK INFILL - V.I.F.
-  EXISTING ROOF TO BE REMOVED. EXISTING SLATES TO BE SALVAGED FOR RE-USE
-  NEW WOOD CLAPBOARD
-  NEW WOOD CORNISE
-  NEW STONE
-  NEW ROOF SLATES

KEY PLAN:



REVISIONS AND ISSUE:

REVISIONS AND ISSUE:	DATE
LPC SUBMISSION (PHASE 1)	09.26.23
LPC SUBMISSION (PHASE 1)	11.01.23
DOB SUBMISSION (PHASE 1)	11.27.23
LPC SUBMISSION (PHASE 2)	03.15.24
LPC SUBMISSION - REVISED SET (PHASE 1)	03.25.24
LPC SUBMISSION - REVISED SET (PHASE 2)	03.29.24
LPC SUBMISSION - REVISED SET (PHASE 1)	04.10.24

PROJECT TITLE:

RESIDENCE RENOVATION

407 WEST 246TH STREET
BRONX, NY, 10471

DRAWING TITLE:

**EXISTING & PROPOSED
EXTERIOR ELEVATIONS - NORTH**

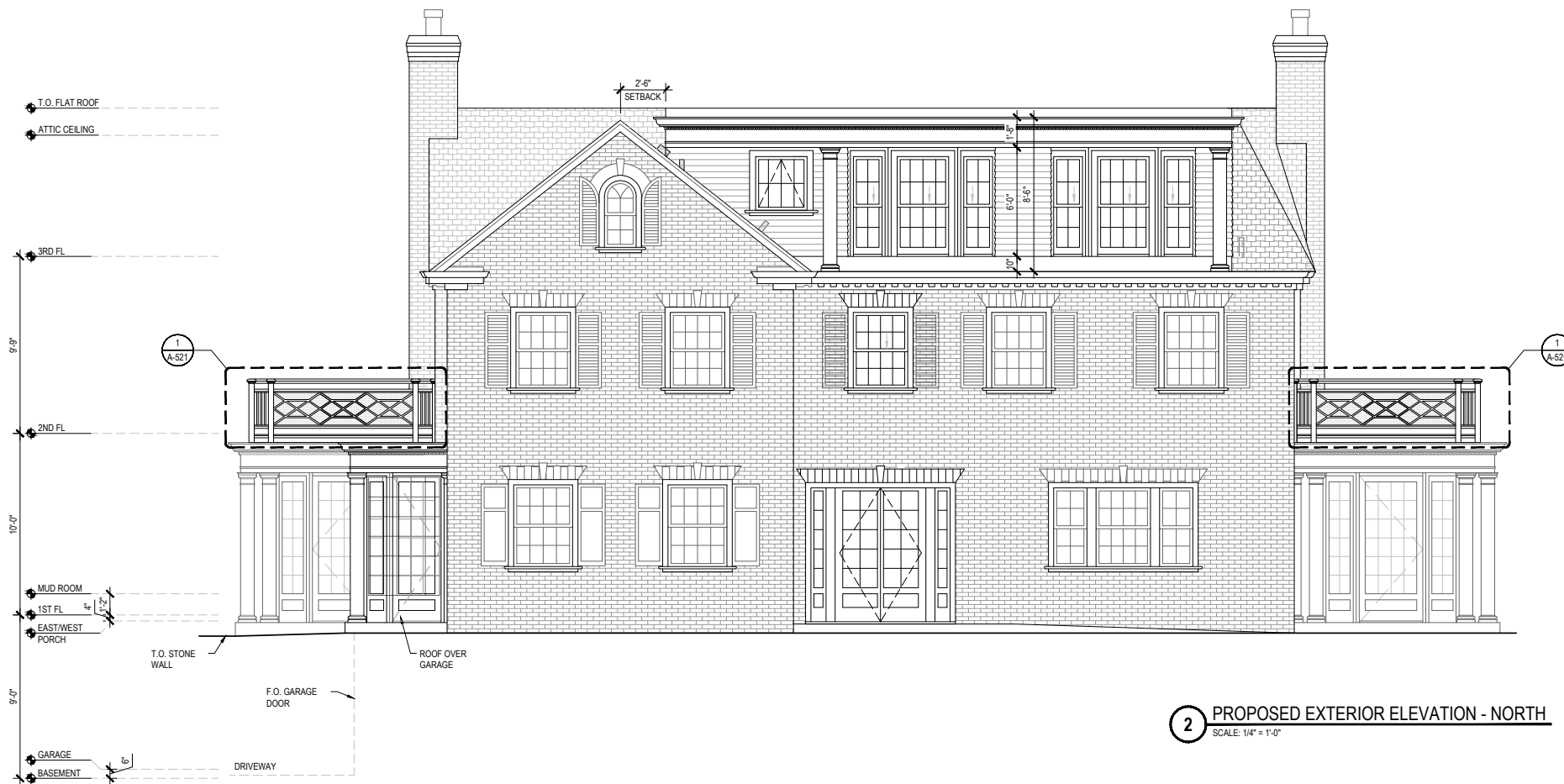
DOB NOW JOB #: X

SEAL & SIGNATURE:	SCALE:	AS NOTED
	DATE:	06.07.2023
	PROJECT NUMBER:	23112
	DRAWN BY:	LK
	CHECKED BY:	JF
	SHEET NUMBER:	



A - 221.00

NYC DOB NUMBER: 09 OF 27









2 PROPOSED EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"



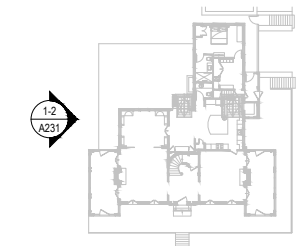
1 EXISTING EXTERIOR ELEVATION - NORTH
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION LEGEND:

-  EXISTING CONSTRUCTION TO REMAIN - NO WORK
-  NEW BRICK INFILL - V.I.F.
-  EXISTING ROOF TO BE REMOVED. EXISTING SLATES TO BE SALVAGED FOR RE-USE
-  NEW WOOD CLAPBOARD
-  NEW WOOD CORNISE
-  NEW ROOF SLATES



KEY PLAN:



REVISIONS AND ISSUE:

LPC SUBMISSION (PHASE 1)	09.26.23
LPC SUBMISSION (PHASE 1)	11.01.23
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LPC SUBMISSION - REVISED SET (PHASE 1)	03.25.24
LPC SUBMISSION - REVISED SET (PHASE 2)	03.29.24
LPC SUBMISSION - REVISED SET (PHASE 1)	04.10.24

PROJECT TITLE:

RESIDENCE RENOVATION

407 WEST 246TH STREET
BRONX, NY, 10471

DRAWING TITLE:

**EXISTING & PROPOSED
EXTERIOR ELEVATIONS - WEST**

DOB NOW JOB # X

SEAL & SIGNATURE:	SCALE:	AS NOTED
	DATE:	06.07.2023
	PROJECT NUMBER:	23112
	DRAWN BY:	LK
	CHECKED BY:	JF
	SHEET NUMBER:	

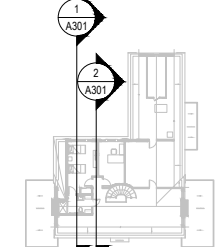


A- 231.00

NYC DOB NUMBER: 10 OF 27



KEY PLAN:



REVISIONS AND ISSUE:

LPC SUBMISSION (PHASE 1)	09.26.23
LPC SUBMISSION (PHASE 1)	11.01.23
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LPC SUBMISSION (PHASE 2)	03.15.24
LPC SUBMISSION - REVISED SET (PHASE 1)	03.25.24
LPC SUBMISSION - REVISED SET (PHASE 2)	03.29.24
LPC SUBMISSION - REVISED SET (PHASE 1)	04.10.24

PROJECT TITLE:

RESIDENCE RENOVATION

407 WEST 246TH STREET
BRONX, NY, 10471

DRAWING TITLE:

PROPOSED SECTIONS

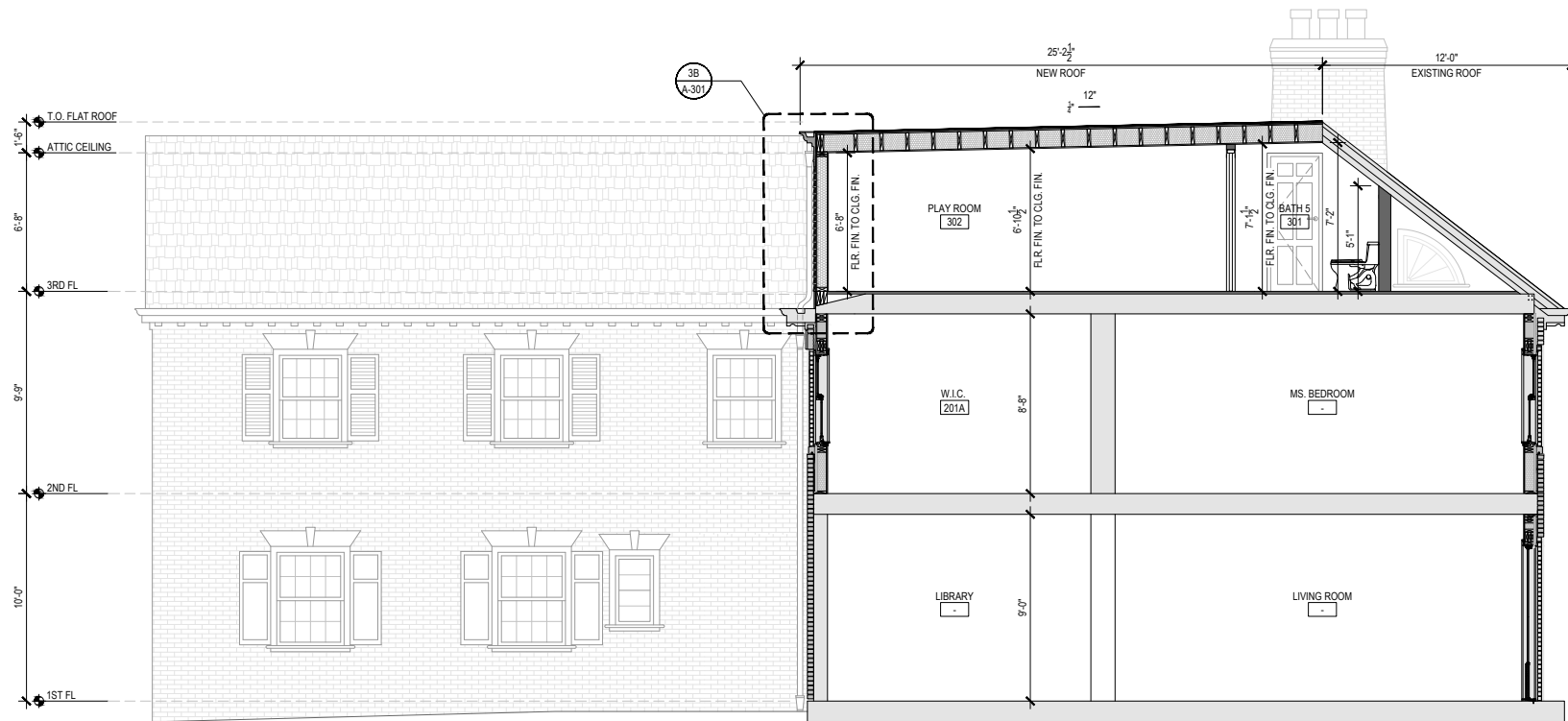
DOB NOW JOB # : X

SCALE:	AS NOTED
DATE:	06.07.2023
PROJECT NUMBER:	23112
DRAWN BY:	LK
CHECKED BY:	JF
SHEET NUMBER:	

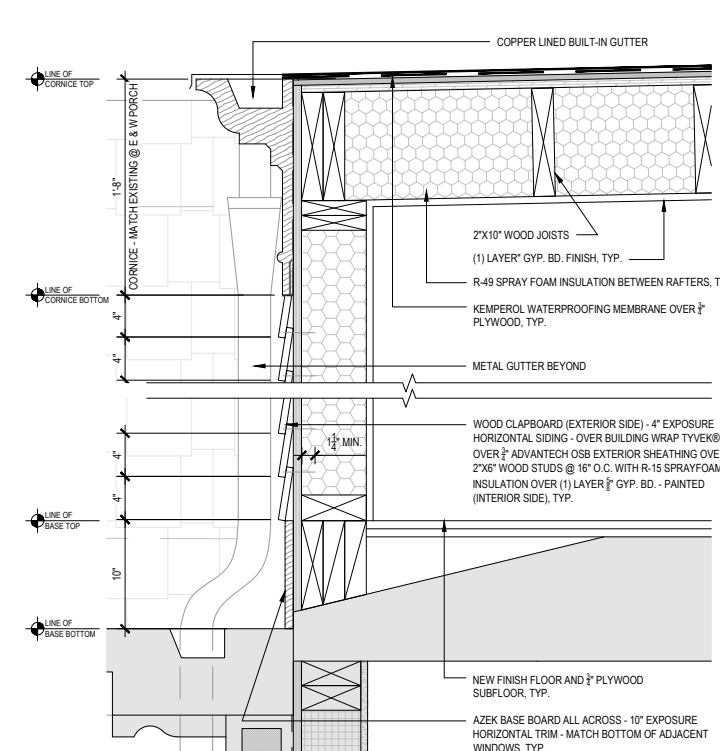


A - 301.00

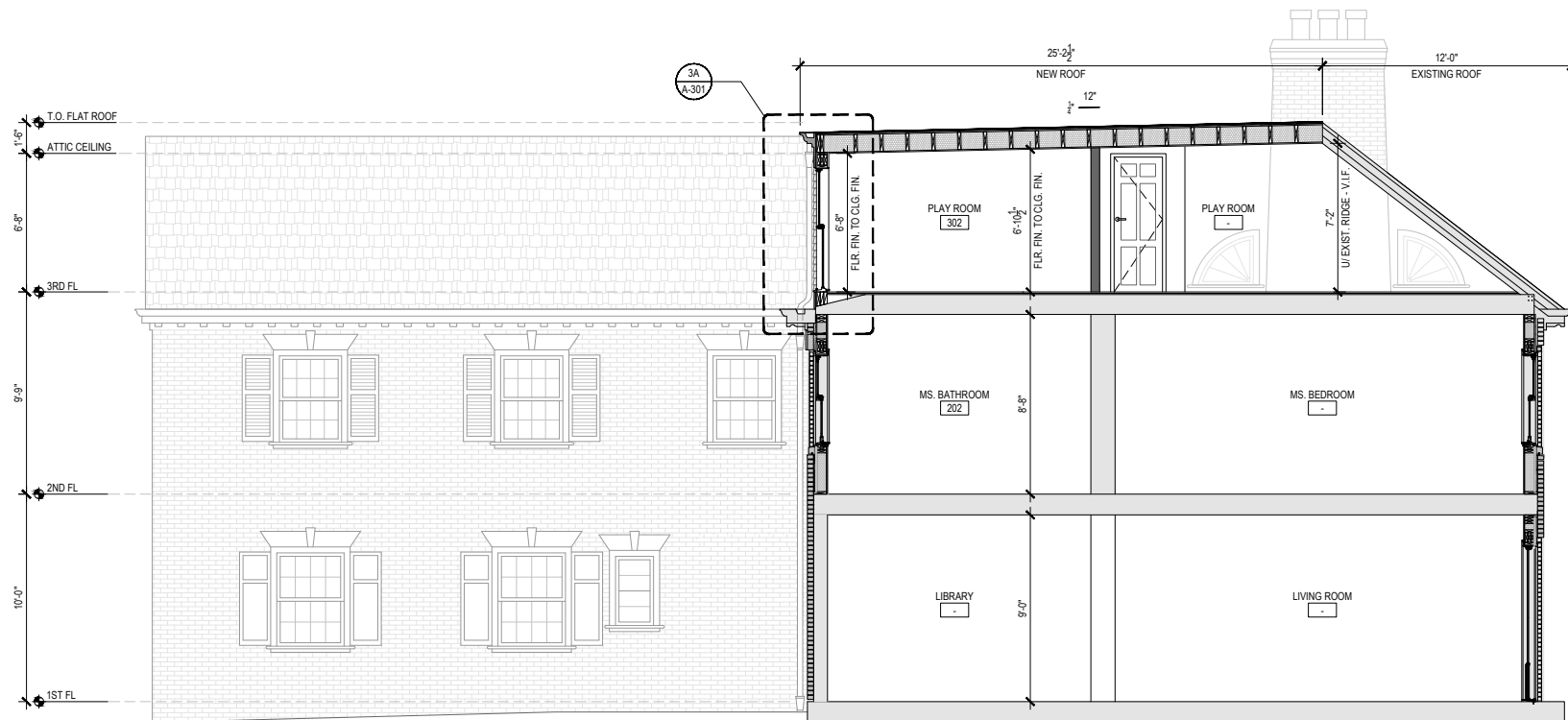
NYC DOB NUMBER: 11 OF 27



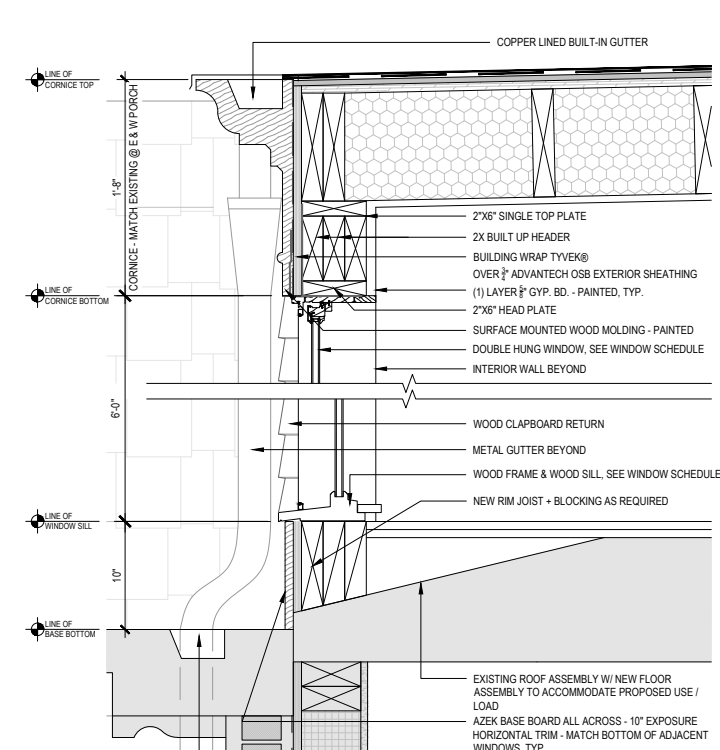
2 CROSS SECTION THRU WALL
SCALE: 1/4" = 1'-0"



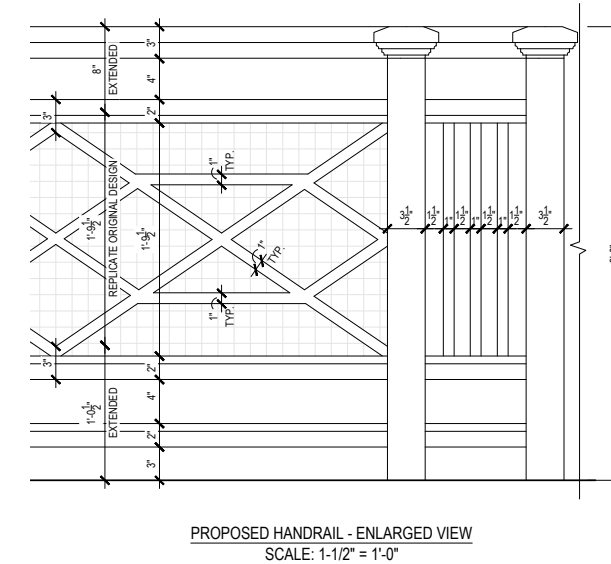
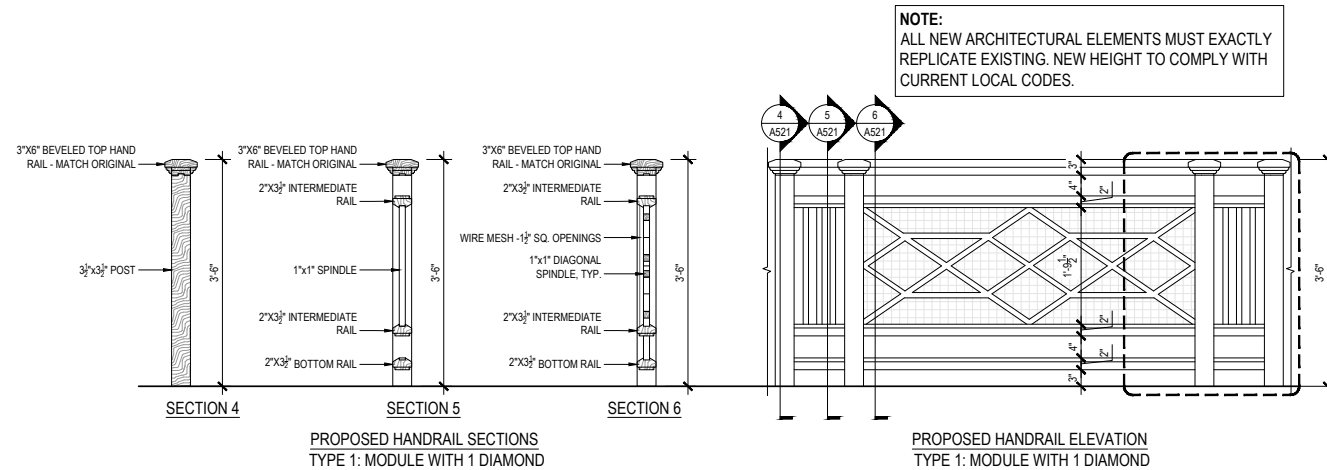
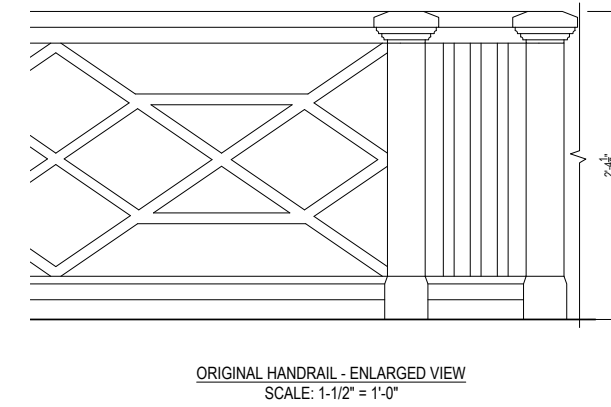
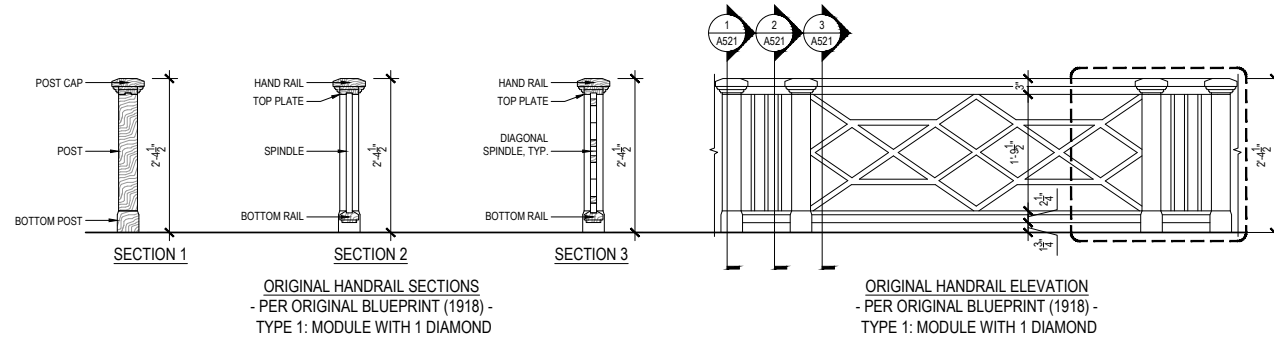
3B DETAIL SECTION
SCALE: 1-1/2" = 1'-0"



1 CROSS SECTION THRU WINDOW
SCALE: 1/4" = 1'-0"



3A DETAIL SECTION
SCALE: 1-1/2" = 1'-0"



REVISIONS AND ISSUE:

LPC SUBMISSION (PHASE 1)	09.26.23
LPC SUBMISSION (PHASE 1)	11.01.23
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LPC SUBMISSION - REVISED SET (PHASE 2)	03.29.24
LPC SUBMISSION - REVISED SET (PHASE 1)	04.10.24

PROJECT TITLE:
RESIDENCE RENOVATION

407 WEST 246TH STREET
BRONX, NY, 10471

DRAWING TITLE:
PROPOSED HANDRAIL DETAILS

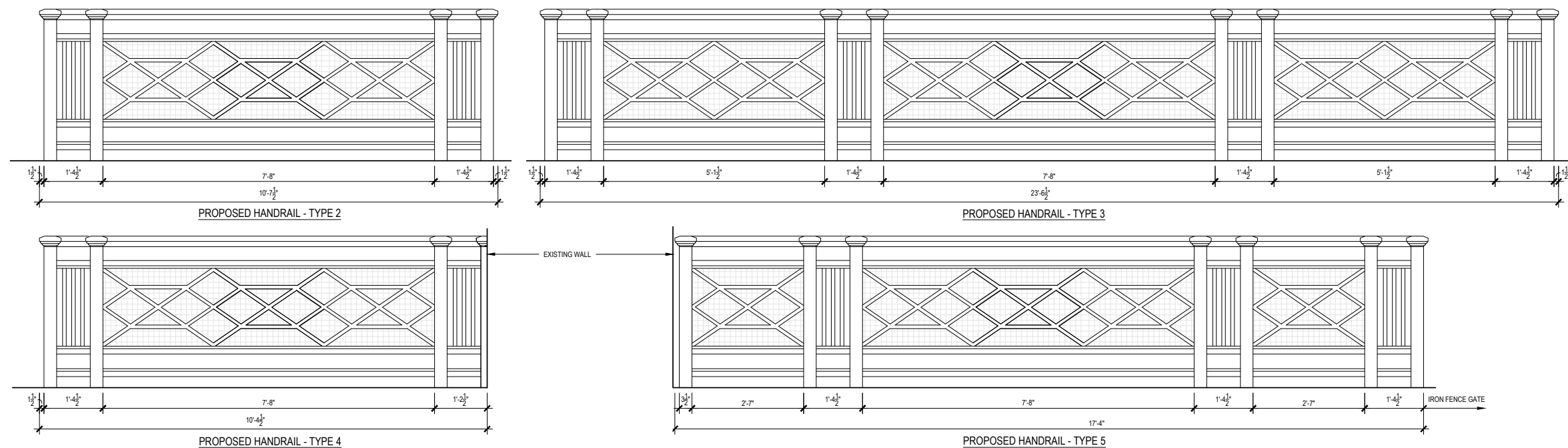
DOB NOW JOB #: X

SEAL & SIGNATURE:	SCALE:	AS NOTED
	DATE:	06.07.2023
	PROJECT NUMBER:	23112
	DRAWN BY:	LK
	CHECKED BY:	JF
	SHEET NUMBER:	



A- 521.00

NYC DOB NUMBER: 12 OF 27



1 PROPOSED HANDRAIL DETAILS
SCALE: 3/4" = 1'-0"

September 17, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 1, LPC-24-08211

407 West 246th Street – Fieldston Historic District Borough of Bronx

To testify virtually, please join Zoom

Webinar ID: 860 1689 5962

Passcode: 322206

By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

888-475-4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.