

October 8, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 3, LPC-23-04449

4401 Manhattan College Parkway – Fieldston Historic District Borough of Bronx

To testify virtually, please join Zoom

Webinar ID: 832 0475 2631

Passcode: 804927

By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

888-475-4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

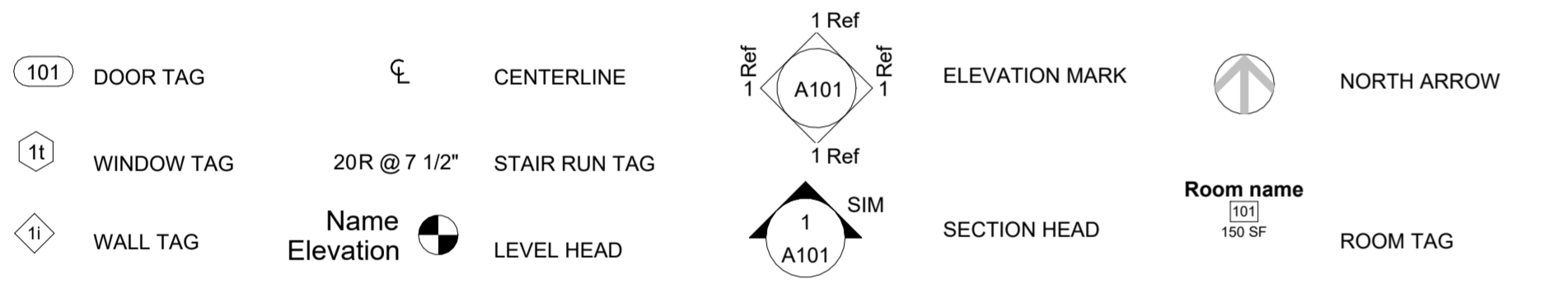
TERRACE & POOL RESIDENTIAL CONSTRUCTION - LEGALIZATION OF LPC VIOLATIONS

4401 MANHATTAN COLLEGE PARKWAY, BRONX, NY 10471

GENERAL NOTES

1. ALL CONTRACTORS AND SUBCONTRACTORS SHALL OBTAIN ALL REQUIRED PERMITS BEFORE THE START OF WORK AND SHALL OBTAIN ALL REQUIRED APPROVALS UPON COMPLETION.
2. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, CODES, AND REGULATIONS AND ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK AND SECURE ANY REQUIRED CERTIFICATES OF INSPECTION, TESTING, OR APPROVAL.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. ALL NECESSARY SIGNS SHALL BE POSTED WARNING AGAINST DANGERS.
4. THE CONTRACTOR SHALL PURCHASE AND MAINTAIN SUCH INSURANCE AS WILL PROTECT HIM FROM CLAIMS WHICH MAY ARISE OUT OF OR RESULT FROM THE CONTRACTOR'S OPERATIONS UNDER THE CONTRACT.
5. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND ARCHITECT FROM ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF THE WORK.
6. ALL CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY CONDITIONS AND DIMENSIONS AT THE SITE AND SHALL INFORM THE ARCHITECT OF ANY AND ALL ERRORS, OMISSIONS, AND CLARIFICATIONS BEFORE THE START OF THE WORK.
7. ANY DEVIATION BETWEEN THE DIMENSIONS FURNISHED ON THE DRAWINGS AND ACTUAL FIELD DIMENSIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THE CUTTING, FITTING, AND PATCHING THAT MAY BE REQUIRED TO COMPLETE WORK OR TO MAKE ITS SEVERAL PARTS FIT TOGETHER CORRECTLY.
10. ALL WORK SHALL BE PERFORMED BY SKILLED TRADESMEN AND SHALL BE PERFORMED IN A WORKMANLIKE MANNER IN ACCORDANCE WITH GENERALLY ACCEPTED STANDARDS.
11. ALL EQUIPMENT PROVIDED BY THE CONTRACTOR OR THE OWNER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
12. WHERE THE CODE PRESCRIBES THE USE OF A PARTICULAR MATERIAL AND ALTERNATE MATERIALS ARE TO BE SUBSTITUTED, IT SHALL BE SHOWN TO BE EQUIVALENT TO THE SPECIFIED MATERIAL TO THE SATISFACTION OF THE COMMISSIONER OF BUILDINGS.
13. ALL ELECTRICAL WIRING AND CIRCUITRY SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. ELECTRICAL WORK SHALL COMPLY WITH NATIONAL AND LOCAL ELECTRICAL CODES, AND THE REQUIREMENTS OF THE LOCAL UTILITY COMPANY.
14. THE CONTRACTOR WARRANTS TO THE OWNER THAT ALL WORK WILL BE OF THE BEST QUALITY, FREE FROM FAULTS AND DEFECTS. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR STARTING WITH THE DATE OF FINAL PAYMENT. DURING THE TIME THE CONTRACTOR SHALL MAKE GOOD ANY DEFECTS IN THE WORK.

ARCHITECTURAL SYMBOL LEGEND



PROJECT LOCATION



PROJECT DIRECTORY

ARCHITECT: dY-O design office
143 WEST 29 STREET
NEW YORK, NY 10001

CONTACT: STEFANO MORISI, R.A. A.I.A.
POSITION: PRINCIPAL
1-917-960-3961
WWW.STUDIODYO.COM
INFO@STUDIODYO.COM

ENGINEER: ...

BUILDING OWNER:

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APPLICABLE BUILDING CODES

1968 NEW YORK STATE BUILDING CODE, WHICH CONTAINS AMENDED VERSION OF:

1. NYC - 2022 BUILDING CODE
2. NYC - 2022 PLUMBING CODE
3. NYC - 2022 MECHANICAL CODE
4. NYC - 2022 FUEL GAS CODE
5. NYC - 2022 FIRE CODES
6. NYC - ZONING RESOLUTION, 10-27-2022
7. NYC - 2020 ENERGY CONSERVATION CODE

PROFESSIONAL STATEMENT

(PER ECC 101.5.2.1)

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE 2020 NEW YORK CITY ENERGY CONSERVATION CODE (NYCECC) CHAPTER C4, AS PER CH C5 OF THE 2020 ECNY. BUILDING IS MENTIONED AS PART OF FIELDSTONE HISTORIC DISTRICT DESIGNATION REPORT.

ASHRAE STANDARD 90.1 ENERGY CODE

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ASHRAE STANDARD 90.1 ENERGY CODE.

AERIAL VIEW & SITE LOCATION



BUILDING INFORMATION

EXISTING

BLDG TYPE: SINGLE FAMILY

COMMUNITY BOARD: BRONX 8

BLOCK: 5813

LOT: 105

BIN: 2084322

ZONING MAP: 1D

ZONE: ...

C of O: ...

LANDMARK BUILDING: L

OCCUPANCY CLASS: ...

CONST. CLASS: A3

MDC: ...

OF DJS: 1

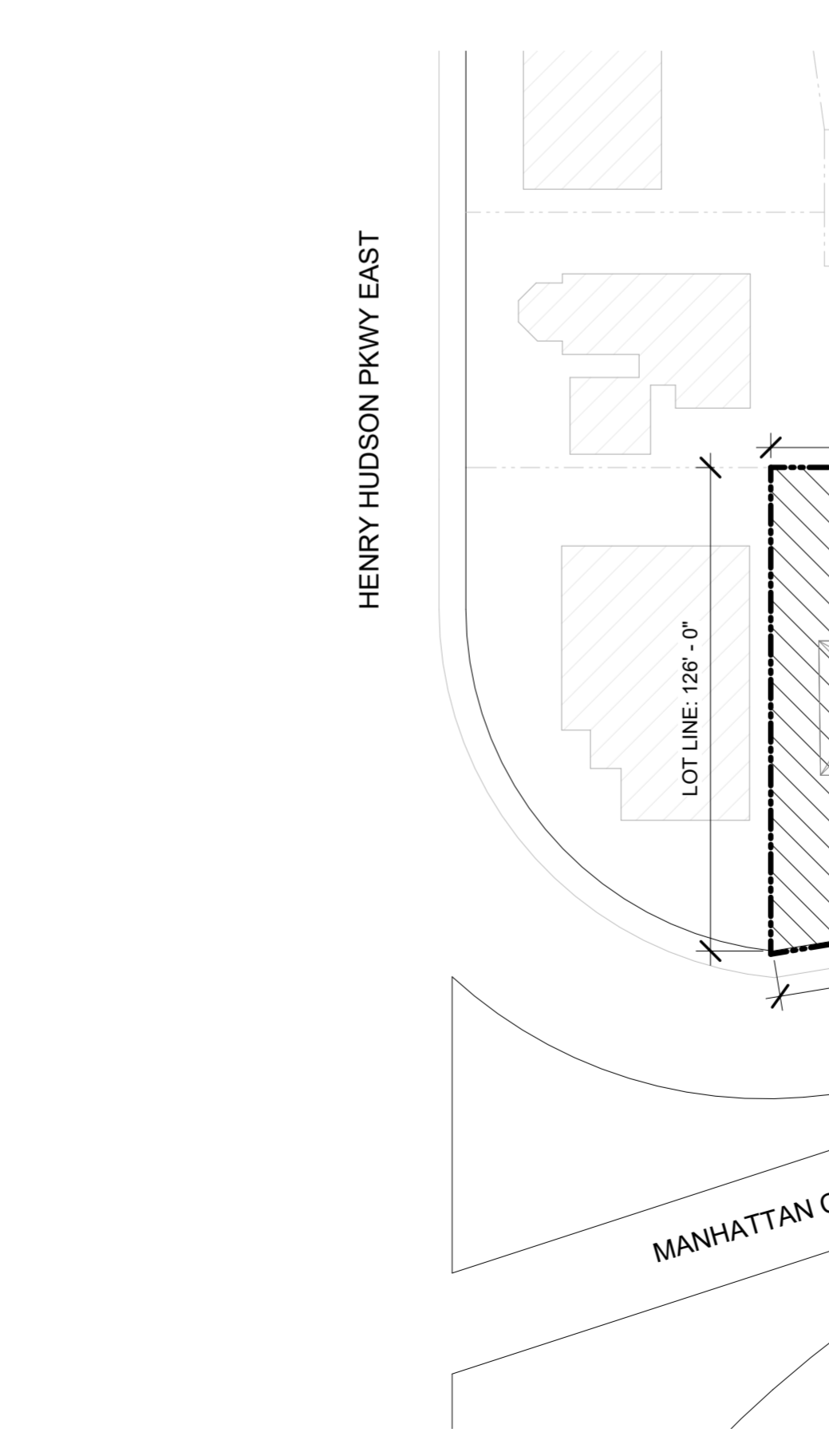
BUILDING HEIGHT: 30'

OF STORIES: 3

ABBREVIATIONS

Pound OR Number & And	HI	High
@	HP	High Point
AD	HVAC	Heating, Ventilating, Air Conditioning
AFF	INSUL	Insulated or Insulation
ALUM	INT	Interior
ANOD	LBR	Load Bearing
BYND	LO	Low
BOT	MAX	Maximum
CJ	MO	Masonry Opening
CLG	MECH	Mechanical
CLR	MEMBR	Membrane
CONT	MIN	Minimum
CTYD	MTL	Metal
DBL	NIC	Not In Contract
DEMO	NLB	Non Load Bearing
DIA	NO	Number
DN	OC	On Center
DR	PLUMB	Plumbing
DWG	PLYD	Plywood
EA	PT	Pressure Treated
ELEV	PNT	Paint or Painted
ELEC	RD	Roof Drain
EQ	REOD	Required
EXIST	RM	Room
EXT	RM	Room
FC	SS	Specification
FD	STL	Stainless Steel
FIXT	TO	Top Of
GALV	TYP	Typical
	UNO	Unless Noted Otherwise
	U/S	Underside
	VIF	Vent In Field
	W/	With

PLOT PLAN SCALE: 1" = 40'-0"



PROJECT INFORMATION

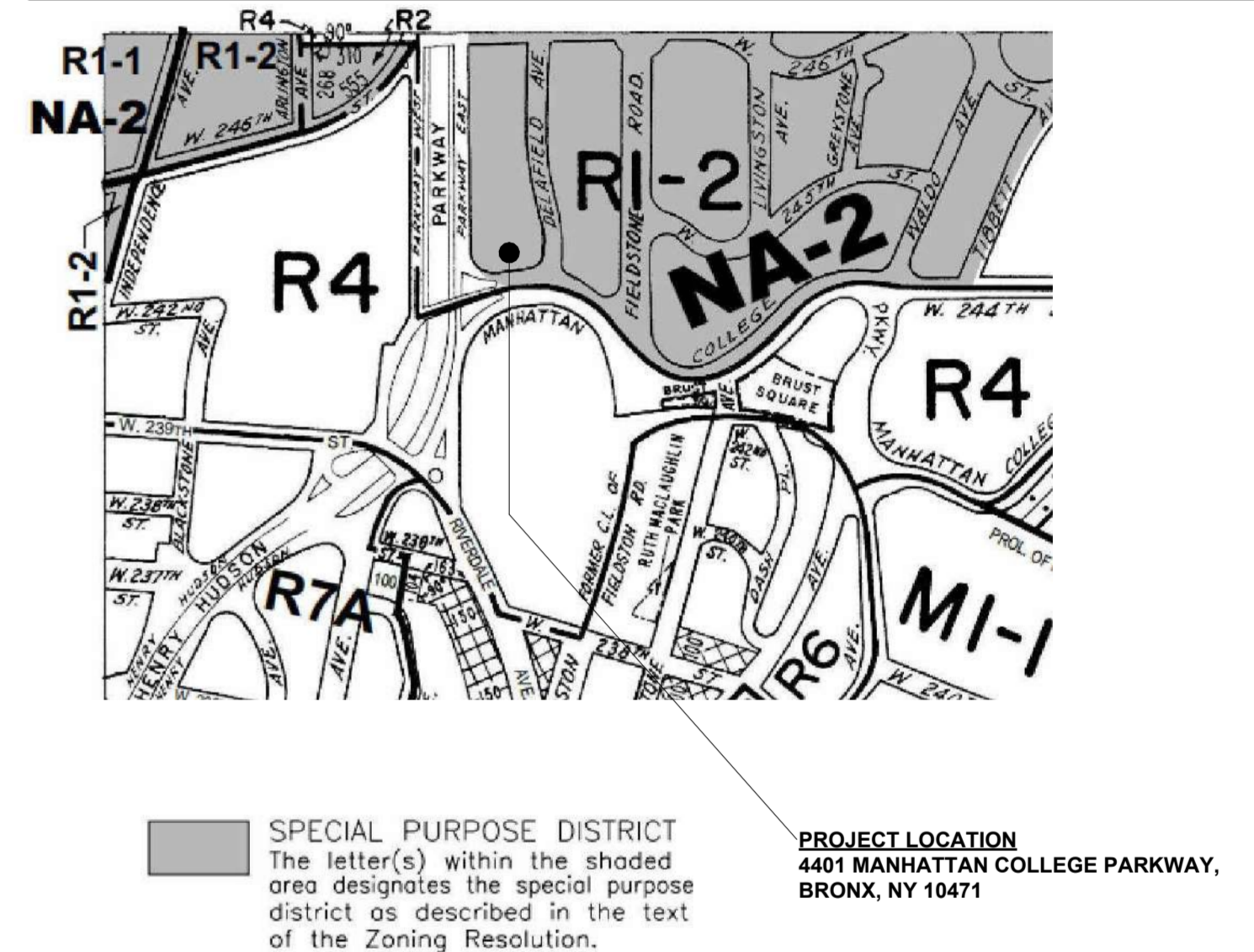
SCOPE OF WORK

THE EXTERIOR WORK INCLUDES THE FOLLOWING SCOPE OF WORK:

- CONSTRUCTION OF A NEW TERRACE AT REAR YARD
- CONSTRUCTION OF NEW POOL AT REAR YARD
- ADDRESS LPC VIOLATIONS WITH THE FOLLOWING DOCKET NO.:
 - WL - 24 - 0133: IRONWORK & GATES
 - WL - 24 - 0134: WINDOWS & DOORS
 - WL - 24 - 0135: BALCONY & AWNING
 - WL - 24 - 0136: GUTTERS, LIGHTING, CAMERAS, SPEAKERS

NO CHANGE IN USE, EGRESS OR OCCUPANCY.

ZONING MAP #1D



PROJECT INFORMATION:

ADDRESS: 4401 MANHATTAN COLLEGE PARKWAY, BRONX, NY 10471

DATE: 11/10/2023

GROSS FLOOR AREA: 1,741 SF

ARCHITECT OF RECORD:

DYO
design office

DY-O DESIGN OFFICE
143 WEST 29 STREET
NEW YORK, NY 10001 SUITE# 902A

CONTACT: STEFANO MORISI R.A.
T: 1-917-960-3961
E: INFO@STUDIODYO.COM

ENGINEER:

TENANT:

LANDLORD:

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COVER SHEET

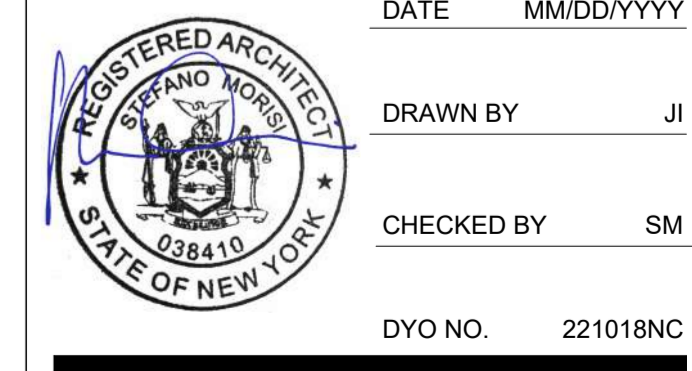
SEAL AND SIGNATURE

DATE: MM/DD/YYYY

DRAWN BY: JI

CHECKED BY: SM

DYO NO. 221018NC



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SHEET 01 OF 17

LANDMARK NOTES & HISTORIC DISTRICT

FIELDSTON HISTORIC DISTRICT LP-2138

BUILDING:	4401 MANHATTAN COLLEGE PARKWAY
CONSTRUCTION DATE:	1930-31 (NB 746-1930)
ARCHITECT/BUILDER:	DWIGHT JAMES BAUM
ORIGINAL OWNER / DEVELOPER:	ANDREA OGNIBENE
STYLE(S):	MEDITERRANEAN REVIVAL
STORIES:	TWO AND BASEMENT
MATERIAL(S):	WOOD FRAME COVERED WITH WHITEWASHED CEMENT STUCCO ABOVE A FIELDSTONE FOUNDATION.
MAJOR ALTERATIONS:	NONE APPARENT
BUILDING TYPE:	ONE FAMILY DWELLINGS - LARGE SUBURBAN RESIDENCE
ORIGINAL USE:	ONE FAMILY DWELLINGS - LARGE SUBURBAN RESIDENCE
TAX BLOCK:	5813
TAX LOT:	105
LANDMARK TYPE:	HISTORIC DISTRICT
DESIGNATION DATE:	01/10/2006
BOROUGH:	BRONX
HISTORIC MAP:	FIELDSTON HISTORIC DISTRICT (SEE MAP BELOW)

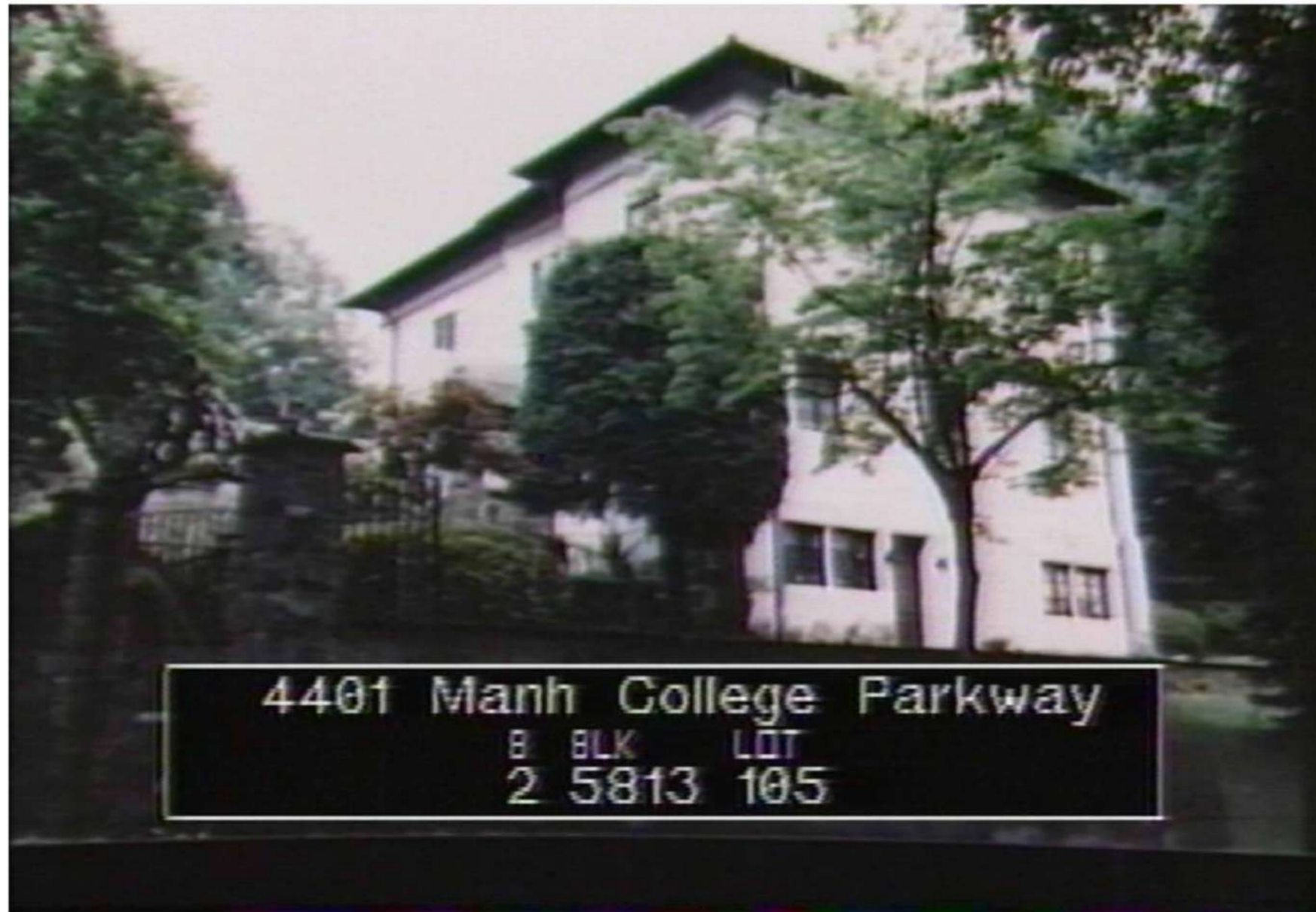


LANDMARKS DESIGNATION REPORT

NOTABLE SITE FEATURES: STEEPLY-SLOPING AND TERRACED LOT WITH MASSIVE FIELDSTONE RETAINING WALLS ERRECTED IN 1944-45 (ALT 444-1944; ARCHITECT: PAUL CERRINA; OWNER: RALPH GRECO); WROUGHT-IRON ARCH OVER DRIVEWAY, SUPPORTED BY SQUARE FIELDSTONE POSTS, WITH "VILLA MARGHERITA" IN SCRIPT ON ARCH; CONCRETE SIDEWALK AND DRIVEWAY; MATURE TREES.

DESCRIPTION
 MAIN FaçADE (OVERLOOKING MANHATTAN COLLEGE PARKWAY): THREE BAYS, EACH SET BACK FROM THE EASTERN BAY; CENTRAL MAIN ENTRANCE WITH NON-HISTORIC CANOPY, FIELDSTONE ENTRANCE STAIRS WITH WROUGHT-IRON RAILINGS, ROUND-HEADED ENTRANCE DOOR OPENING, LIGHT FIXTURE OVER DOOR ATTACHED TO HISTORIC WROUGHT-IRON BRACKETS, AND ROUND-HEADED TRANSOM WINDOW OVER DOOR; REPLACEMENT PICTURE-WINDOW SASH AT EASTERNMOST FIRST-FLOOR WINDOW, WITH A MOLDED WOOD SILL AND LARGE WOOD LINTEL, ALL BELOW A CLAY-TILE SHED ROOF WITH COPPER FLASHING; PICTURE WINDOW AT WEST BAY OF FIRST FLOOR WITH NON-HISTORIC METAL WINDOW HOOD; HISTORIC MULTI-PANE WOOD CASEMENT SASHES IN THE EASTERN AND CENTRAL BAYS OF THE SECOND FLOOR, ALTERED AT THE EASTERN OPENING TO ALLOW FOR INSTALLATION OF A WINDOW AIR-CONDITIONING UNIT; MULTI-PANE FRENCH DOORS AT WESTERNMOST OPENING OF SECOND FLOOR, BEHIND A WROUGHT-IRON BALCONY SUPPORTED BY WROUGHT-IRON BRACKETS; NON-HISTORIC METAL WINDOW HOODS; CENTRAL BAY PROJECTION AT SECOND FLOOR SUPPORTED BY WOOD BRACKETS AND A HEAVY WOOD BEAM; MOLDED STONE BELT COURSE ABOVE THE SECOND-STORY WINDOWS; DECORATIVE STENCIL WORK ABOVE THE BELT COURSE. ROOF: INTERSECTING, CLAY-TILE-COVERED HIPPED ROOFS WITH OVERHANGING EAVES AND EXPOSED RAFTER TAILS; STUCCO-COVERED CHIMNEY; HISTORIC COPPER GUTTERS AND DRAINPIPES. EAST FaçADE: IRREGULAR BAY ARRANGEMENT; PROJECTING BASEMENT STORY WITH RANDOMLY PLACED RUBBLE FIELDSTONE HIGHLIGHTS, SECONDARY ENTRANCE WITH paneled wood door, flanking metal wall lamps, and non-historic metal door hood, two pairs of three-pane casement windows, each pair beneath a non-historic metal door hood, and each window of the pair separated by a pilastered wood mullion; three paired casement windows at the first floor beneath non-historic metal hoods, with four-pane sashes in the two southernmost, and three-pane sashes in the northernmost window; two pairs of paired four-pane casement-sash windows beneath non-historic metal hoods at the second floor, with each window of the pair separated by a pilastered wood mullion.

HISTORY AND SIGNIFICANCE
 THIS HOUSE, DESIGNED BY DWIGHT JAMES BAUM AND COMPLETED IN 1931, EXHIBITS MANY HALLMARKS OF THE MEDITERRANEAN REVIVAL STYLE, INCLUDING A HIPPED CLAY-TILE ROOF, WROUGHT-IRON BALCONY, CASEMENT-SASH WINDOWS, AND A STUCCO-COVERED FaçADE. DESPITE SOME ALTERATIONS, INCLUDING THE INSTALLATION OF SOME NONHISTORIC WINDOW SASHES ON THE MAIN FaçADE, AND THE INSTALLATION OF A NON-HISTORIC METAL CANOPY AND NONHISTORIC DOOR AND WINDOW HOODS, THIS HOUSE REMAINS SUBSTANTIALLY INTACT, AND IS REPRESENTATIVE OF THE RESIDENTIAL ARCHITECTURE BUILT DURING THE PERIOD IN WHICH THE FIELDSTON NEIGHBORHOOD WAS BEING DEVELOPED WITH HOMES IN A VARIETY OF PICTURESQUE STYLES FOLLOWING THE STRICT DESIGN GUIDELINES OF THE FIELDSTON PROPERTY OWNERS ASSOCIATION. THE ORIGINAL OWNER, ANDREA OGNIBENE, OCCUPIED THE HOUSE UNTIL AT LEAST 1934, AND WAS LISTED IN CITY DIRECTORIES AT VARIOUS TIMES AS A CONTRACTOR OR INTERIOR DECORATOR.



1. NYC MUNICIPAL ARCHIVES PHOTOGRAPH 1980 TAX LOT



2. FIELDSTON HIST. DIST. DESIGNATION REPORT PHOTOGRAPH 2006

SPECIAL INSPECTION ITEMS (BC 2022)

THE FOLLOWING ITEMS OF WORK SHALL BE SUBJECT TO CONTROLLED INSPECTION, MADE AND WITNESSED BY OR UNDER THE DIRECT SUPERVISION OF AN ARCHITECT OR ENGINEER WHO SHALL BE EITHER THE ARCHITECT OF DESIGN OR ACCEPTABLE TO HIM. THE INSPECTING ARCHITECT OR ENGINEER SHALL BE RETAINED BY THE CONTRACTOR. CONTROLLED INSPECTIONS FORMS AND REPORTS SHALL BE FILED WITH THE DEPT. OF BUILDINGS, PROVIDE COPIES TO THE ARCHITECT OF RECORD

INSPECTIONS (2022 NYCBC)		
Y	N	CODE SECTION
		SPECIAL INSPECTIONS
		STRUCTURAL STEEL - WELDING BC 1704.3.1
		STRUCTURAL STEEL - DETAILS BC 1704.3.3
		STRUCTURAL STEEL - HIGH STRENGTH BOLTING BC 1704.3.2
		STRUCTURAL COLD-FORMED STEEL BC 1704.3.4
		CONCRETE - CAST-IN-PLACE BC 1704.4
		CONCRETE - PRECAST BC 1704.4
		CONCRETE - PRESTRESSED BC 1704.4
		MASONRY BC 1704.5
		WOOD - INSTALLATION OF HIGH-LOAD DIAPHRAGMS BC 1704.6.1
		WOOD - INSTALLATION OF METAL-PLATE-CONNECTED TRUSSES BC 1704.6.2
		WOOD - INSTALLATION OF PREFABRICATED I-JOISTS BC 1704.6.3
		SUBGRADE INSPECTION BC 1704.7.1
		SUBSURFACE CONDITIONS - FILL PLACEMENT & IN-PLACE DENSITY BC1704.7.2 BC 1704.7.3
		SUBSURFACE INVESTIGATIONS (BORINGS/TEST PITS) TR4 BC 1704.7.4
		DEEP FOUNDATION ELEMENTS TR5 BC 1704.8
		HELICAL PILES (BB # 2014-020) TR5H BC 1704.8.5
		VERTICAL MASONRY FOUNDATION ELEMENTS BC 1704.9
		WALL PANELS, CURTAIN WALLS, AND VENEERS BC 1704.10
		SPRAYED FIRE-RESISTANT MATERIALS BC 1704.11
		MASTIC AND INTUMESCENT FIRE-RESISTANT COATINGS BC 1704.12
		EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS) BC 1704.13
		ALTERNATIVE MATERIALS BC 1704.14
		SMOKE CONTROL SYSTEMS BC 1704.15
		MECHANICAL SYSTEMS BC 1704.16
		FUEL-OIL STORAGE AND FUEL-OIL PIPING SYSTEMS BC 1704.17
		HIGH-PRESSURE STEAM PIPING (WELDING) BC 1704.18
		HIGH TEMPERATURE HOT WATER PIPING (WELDING) BC 1704.18
		HIGH-PRESSURE FUEL-GAS PIPING (WELDING) BC 1704.19
		STRUCTURAL STABILITY - EXISTING BUILDINGS BC 1704.20.1
		EXCAVATIONS—SHEETING, SHORING, AND BRACING BC 1704.20.2
		UNDERPINNING BC 1704.20.3 BC 1814
		MECHANICAL DEMOLITION BC 1704.20.4
		RAISING AND MOVING OF A BUILDING BC 1704.20.5
		SOIL PERCOLATION TEST - PRIVATE ON-SITE STORM WATER DRAINAGE DISPOSAL SYSTEMS, AND DETENTION FACILITIES BC 1704.21.1.2
		PRIVATE ON-SITE STORM WATER DRAINAGE DISPOSAL SYSTEMS, AND DETENTION FACILITIES INSTALLATION BC 1704.21.2
		INDIVIDUAL ON-SITE PRIVATE SEWAGE DISPOSAL SYSTEMS INSTALLATION BC 1704.22
		SOIL PERCOLATION TEST - INDIVIDUAL ON-SITE PRIVATE SEWAGE DISPOSAL SYSTEMS BC 1704.22
		SPRINKLER SYSTEMS BC 1704.23
		STANDPIPE SYSTEMS BC 1704.24
		HEATING SYSTEMS BC 1704.25
		CHIMNEYS BC 1704.26
		FIRE-RESISTANT PENETRATIONS AND JOINTS BC 1704.27
		ALUMINUM WELDING BC 1704.28
		FLOOD ZONE COMPLIANCE BC 1704.29 BC G105
		LUMINOUS EGRESS PATH MARKINGS TR7 BC 1704.30 BC 1024.8
		EMERGENCY AND STANDBY POWER SYSTEMS (GENERATORS) BC 1704.3.1
		POST-INSTALLED ANCHORS BC 1707.32
		SEISMIC ISOLATION SYSTEMS BC 1707.8
		CONCRETE DESIGN MIX TR3 BC 1905.3 BC 1913.5
		CONCRETE SAMPLING AND TESTING TR2 BC 1905.6 BC 1913.10
		PROGRESS INSPECTIONS
		PRELIMINARY 28-116.2.1 BC 110.2
		FOOTING AND FOUNDATION BC 110.3.1
		LOWEST FLOOR ELEVATION BC 110.3.2
		STRUCTURAL WOOD FRAME BC 110.3.3
		ENERGY CODE COMPLIANCE INSPECTIONS TR8 BC 110.3.5
		FIRE-RESISTANCE RATED CONSTRUCTION BC 110.3.4
		PUBLIC ASSEMBLY EMERGENCY LIGHTING 28-116.2.2 28-116.2.2
		FINAL* 28-116.2.4.2, DIRECTIVE 14 OF 1975, AND 1 RCNY §101-10 28-116.2.4.2 BC 110.5, Directive 14 of 1975, and 1 RCNY §101-10

INSPECTION NOTES:

- THE FOLLOWING REQUIREMENTS ARE NECESSARY PRIOR, DURING AND UPON COMMENCEMENT OF CONSTRUCTION AND OBTAINING A FINAL CERTIFICATE OF OCCUPANCY. THESE ARE NOT FINAL AND SUBJECT TO ANY ADDITIONAL REQUIREMENTS AS REQUESTED BY THE NEW YORK CITY BUILDING DEPARTMENT.
- ALL OF THE INSPECTIONS REQUIRED BY THE NYCBC AND AS LISTED HEREWITH SHALL BE PERFORMED BY A LICENSED ARCHITECT, TESTING LABORATORY, OR ENGINEER, AS PER DEPT. RULES AND REGULATIONS AND RETAINED BY CLIENT. GC CANNOT RETAIN DIRECTLY.
 - THESE SPECIAL INSPECTION AND PROGRESS INSPECTION ITEMS ARE REQUIRED IN ADDITION TO ANY OTHER REQUIREMENTS REQUESTED BY THE BUILDING DEPARTMENT. PLEASE NOTE APPLICANT OF RECORD HAS NOT BEEN RETAINED FOR SUPERVISION OR FOR PERFORMING CONTROLLED INSPECTIONS AT THIS TIME.
 - AS PER ARTICLE 116 OF NYCBC WORK SUBJECT TO INSPECTION SHALL REMAIN ACCESSIBLE AND EXPOSED FOR INSPECTION UNTIL SUCH INSPECTION IS COMPLETED. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY EXPENSE ENTAILLED IN THE REMOVAL OR REPLACEMENT OF ANY MATERIAL REQUIRED TO ALLOW INSPECTION.
 - AS PER BC 28-116.2.3 GENERAL CONTRACTOR SHALL NOTIFY SPECIAL INSPECTOR IN WRITING AT LEAST 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY WORK REQUIRING SPECIAL INSPECTION. CONTRACTOR SHALL PROVIDE A SCHEDULE TO NYDA OUTLINING THE PROPOSED WORK REQUIRING SUCH INSPECTION AND PROBABLE DATES. SCHEDULE SHALL BE MAINTAINED BY CONTRACTOR AND RESUBMITTED WITH CHANGES AS THEY OCCUR

PROJECT INFORMATION:

ADDRESS: 4401 MANHATTAN COLLEGE PARKWAY, BRONX, NY 10471
 DATE: 11/10/2023
 GROSS FLOOR AREA: 1,741 SF

ARCHITECT OF RECORD:

DYO
 design office
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 143 WEST 29 STREET
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GENERAL NOTES, INSPECTIONS & LPC INFO

SEAL AND SIGNATURE

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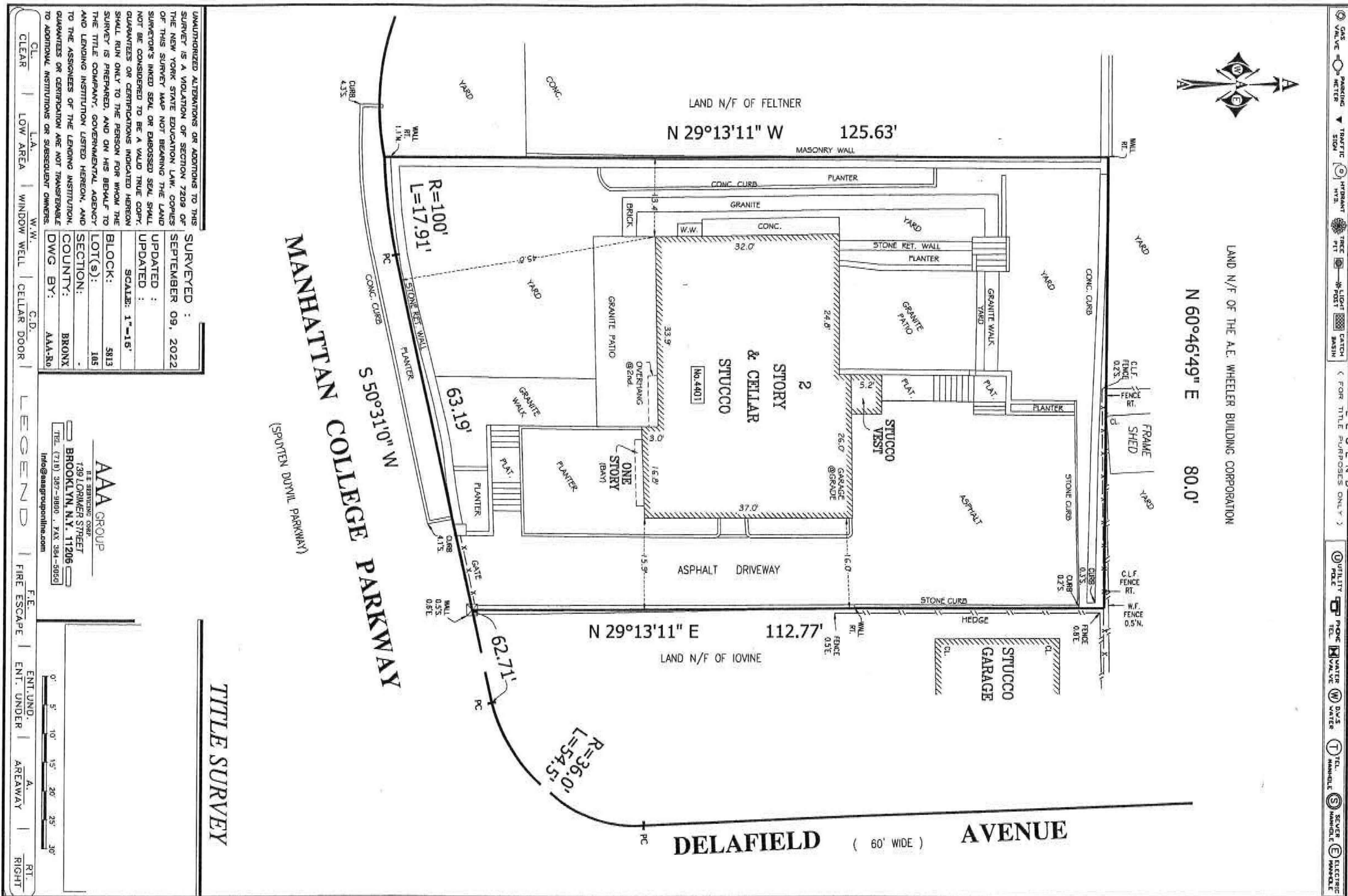
SURVEY

SEAL AND SIGNATURE

DATE: MM/DD/YYYY
DRAWN BY: JI
CHECKED BY: SM
DYO NO. 221018NC



G-101.00



TITLE SURVEY

MANHATTAN COLLEGE PARKWAY
(SPUTEN DUWIL PARKWAY)
S 50°31'10" W
63.19'

LAND N/F OF FELTNER
N 29°13'11" W 125.63'

LAND N/F OF IOVINE
N 29°13'11" E 112.77'

DELAFIELD AVENUE (60' WIDE)

LAND N/F OF THE A.E. WHEELER BUILDING CORPORATION
N 60°46'49" E 80.0'

UNAUTHORIZED ALTERATIONS OR ADDITIONS TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY. GUARANTEES OR CERTIFICATIONS INDICATED HEREBY SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. QUANTITIES OR CERTIFICATIONS ARE NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.

SURVEYED : SEPTEMBER 09, 2022
UPDATED :
UPDATED :
SCALES: 1"=15'

BLOCK: 5813
LOT(S): 105
SECTION:
COUNTY: BRONX
DWG. BY: AAA-R0

AAA GROUP
139 LORIMER STREET
BROOKLYN, N.Y. 11206
TEL: (718) 397-8800 FAX: 394-8050
info@aaagroupinc.com

CL. CLEAR | L.A. LOW AREA | W.W. WINDOW WELL | C.D. CELLAR DOOR | LEGEND | F.E. FIRE ESCAPE | ENT. UND. ENT. UNDER | A. AREAWAY | RT. RIGHT



HISTORICAL ELEMENTS OVERVIEW TABLE

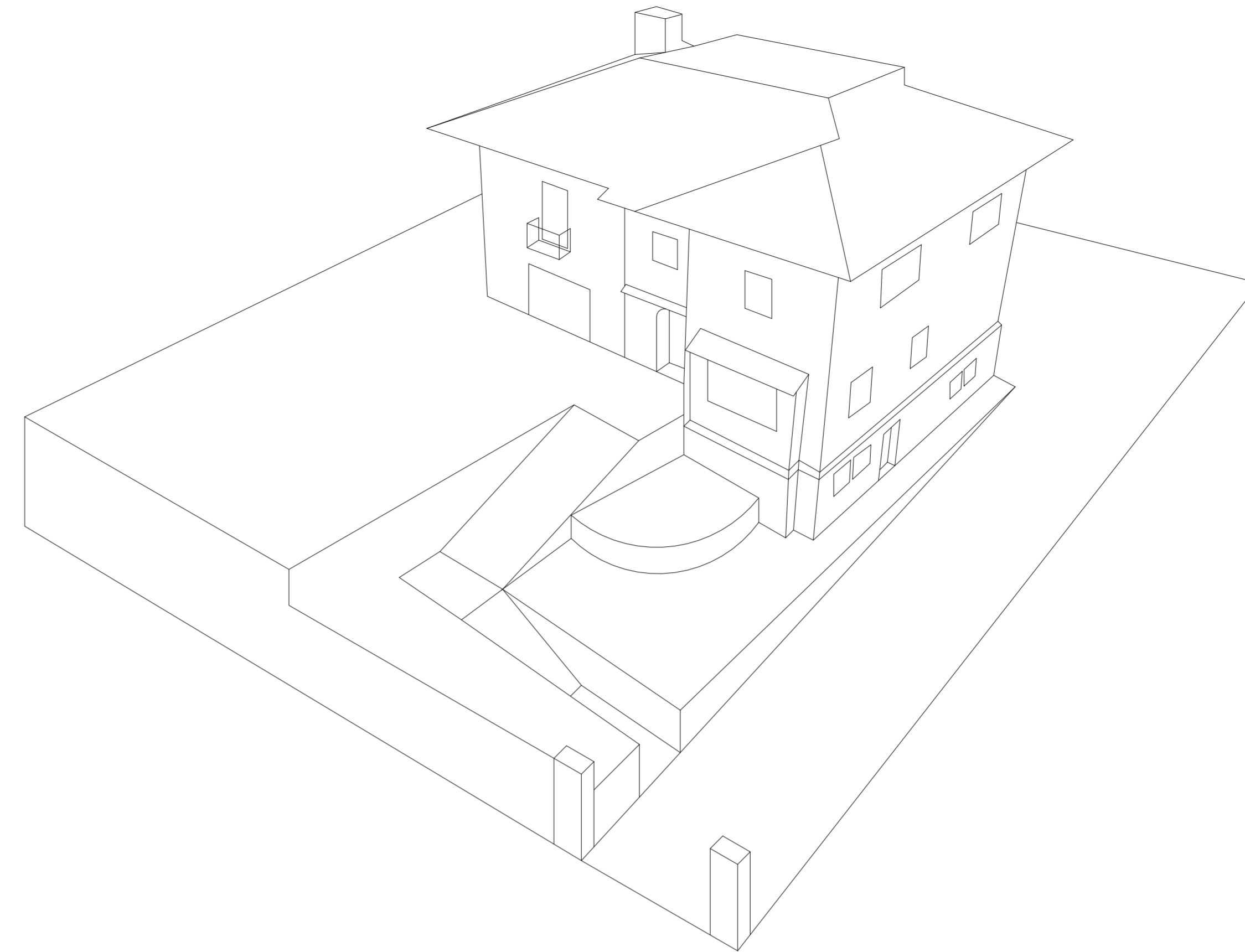
HISTORICAL ELEMENTS PRESENT ON EXISTING FACADES

SHEET NO.	DESCRIPTION	HISTORICAL DESCRIPTION	CURRENT DESCRIPTION	VIOLATIONS
G-103	Gate and Ironwork	- Original Wrought-iron arch over driveway, supported by square fieldstone posts w/ "Villa Margherita" in script on arch. - Balcony and fence ironwork	- Existing Driveway gate w/ new square steel profiles painted col. black. Grey flatboard panels installed on gate - Existing steel profile railing painted col. black	WL - 24 - 0133
G-104	Windows & Doors	- Original Steel frame windows and doors.	- Existing Aluminum two pane windows and doors painted col. black	WL - 24 - 0134
G-105	Balcony & Awning	- Original awning above main entrance doorway - Wrought-iron balcony supported by wrought-iron brackets	- Existing steel frame canopy w/ - Existing concrete constructed balcony w/ steel frame parapet painted col. black w/ tinted glass panels	WL - 24 - 0135
G-106	Gutters	- Original copper gutters	- Existing aluminum gutters w/ bronze finish	WL - 24 - 0136
G-107	Lights, Cameras & Speakers	n/a	New lights, cameras and speakers on existing facades	WL - 24 - 0136
	Exterior Stairs	- Original stairs with masonry parapet and metal railing	Stairs have been demolished	WL - 25 - 0069

ORIGINAL HISTORICAL CONDITIONS:



KEY PHOTOGRAPHS AXONOMETRIC



EXISTING CONDITIONS:



PROJECT INFORMATION:

ADDRESS: 4401 MANHATTAN COLLEGE PARKWAY, BRONX, NY 10471
 DATE: 11/10/2023
 GROSS FLOOR AREA: 1,741 SF

ARCHITECT OF RECORD:

DYO
 design office
 DY-O DESIGN OFFICE
 143 WEST 29 STREET
 NEW YORK, NY 10001 SUITE# 902A
 CONTACT: STEFANO MORISI R.A.
 T: 1-917-960-3961
 E: INFO@STUDIODYO.COM

ENGINEER:

TENANT:

LANDLORD:

DISCLAIMER:

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Rev	Date	Description	Issued By	Issued To
0	MM/DD/YYYY	DOB Submission 1	DYO	DOB

SHEET TITLE:

HISTORICAL ELEMENTS OVERVIEW

SEAL AND SIGNATURE

DATE: MM/DD/YYYY
 DRAWN BY: JI
 CHECKED BY: SM

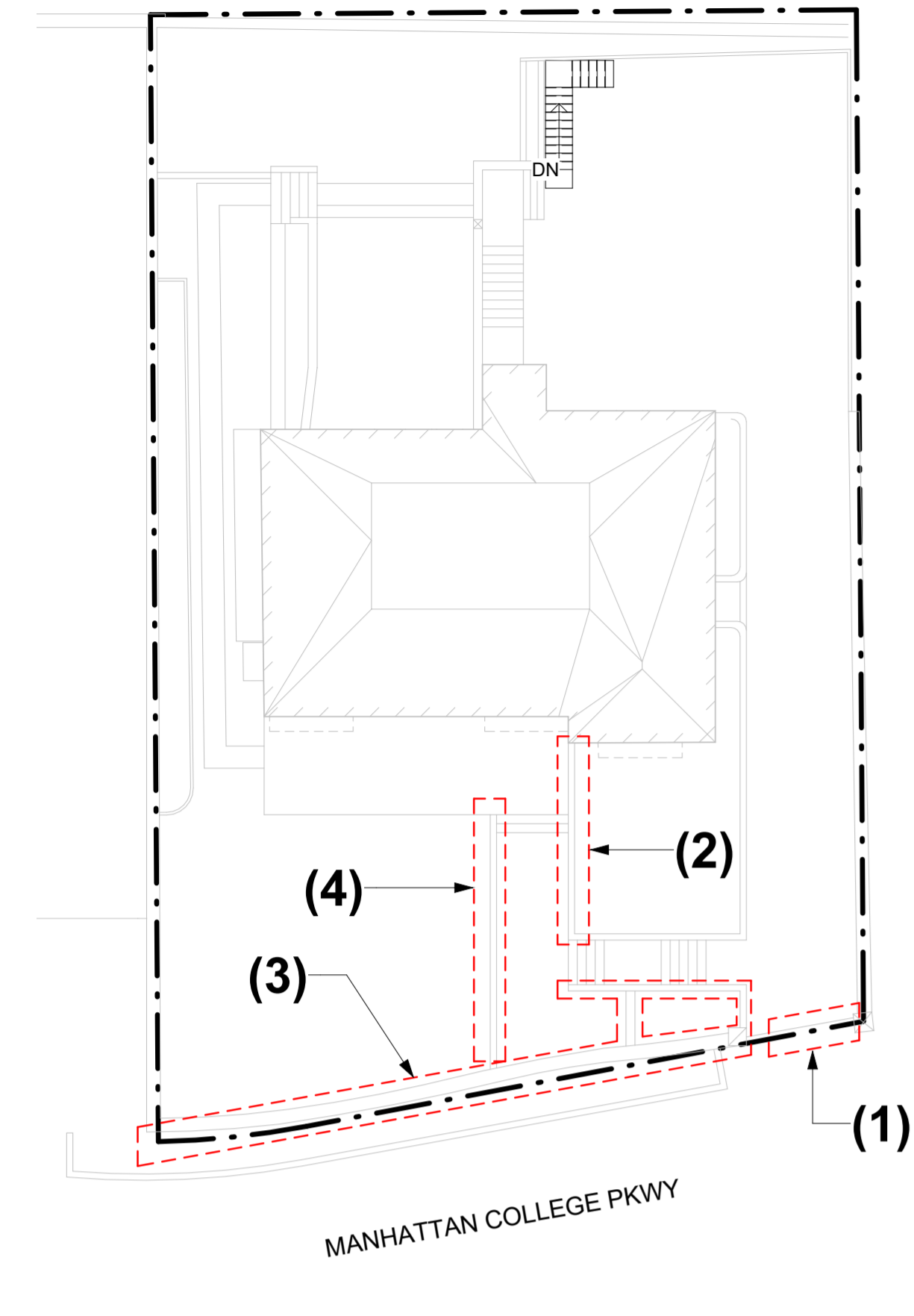


DYO NO. 221018NC

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SHEET 05 OF 17

KEY PHOTOGRAPHS PLAN



LEGEND



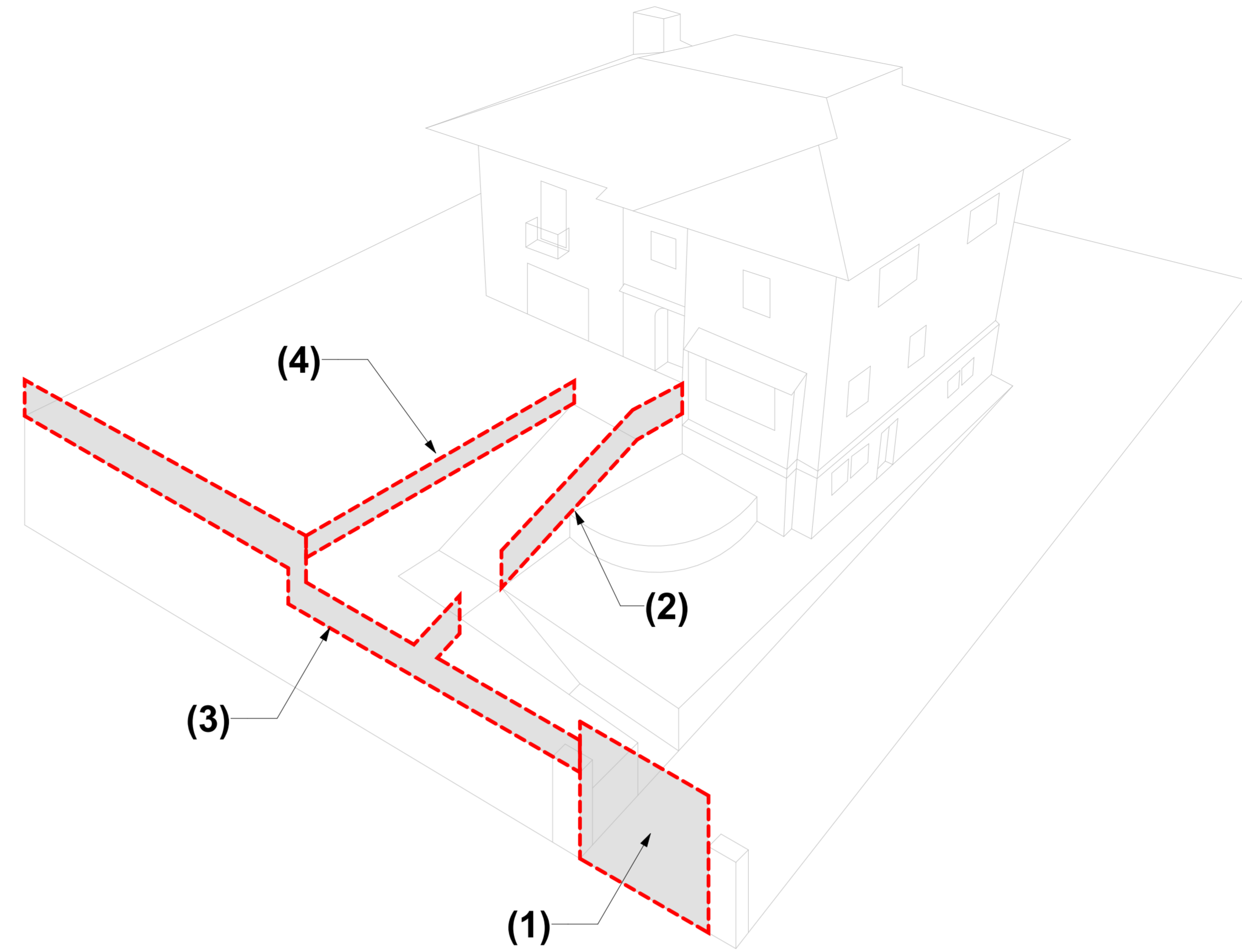
LPC VIOLATION DOCKET NO.

- DOCKET NO. WL-24-0133

KEY NOTES

- (1) ORIGINAL WROUGHT-IRON GATE W/ SQUARE FIELSTONE POSTS AND "VILLA MARGHERITA" IN SCRIPT ABOVE ARCH GATE REPLACED W/ NEW SQUARE STEEL PROFILE GATE PAINTED COL. BLACK W/ HORIZONTAL GREY FLAT BOARDS
- (2) ORIGINAL WROUGHT-IRON AREAWAY RAILING REPLACED W/ NEW VERTICAL SQUARE STEEL PROFILE RAILING PAINTED COL. BLACK
- (3) ORIGINAL WROUGHT-IRON PARAPET RAILING REPLACED W/ NEW VERTICAL SQUARE STEEL PROFILE PARAPET RAILING PAINTED COL. BLACK
- (4) ORIGINAL WROUGHT-IRON AREAWAY RAILING REPLACED W/ NEW VERTICAL SQUARE STEEL PROFILE RAILING PAINTED COL. BLACK

KEY PHOTOGRAPHS AXONOMETRIC



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SHEET TITLE:

HISTORICAL ELEMENTS- GATE AND IRONWORK

SEAL AND SIGNATURE

DATE: MM/DD/YYYY
 DRAWN BY: JI
 CHECKED BY: SM
 DYO NO. 221018NC

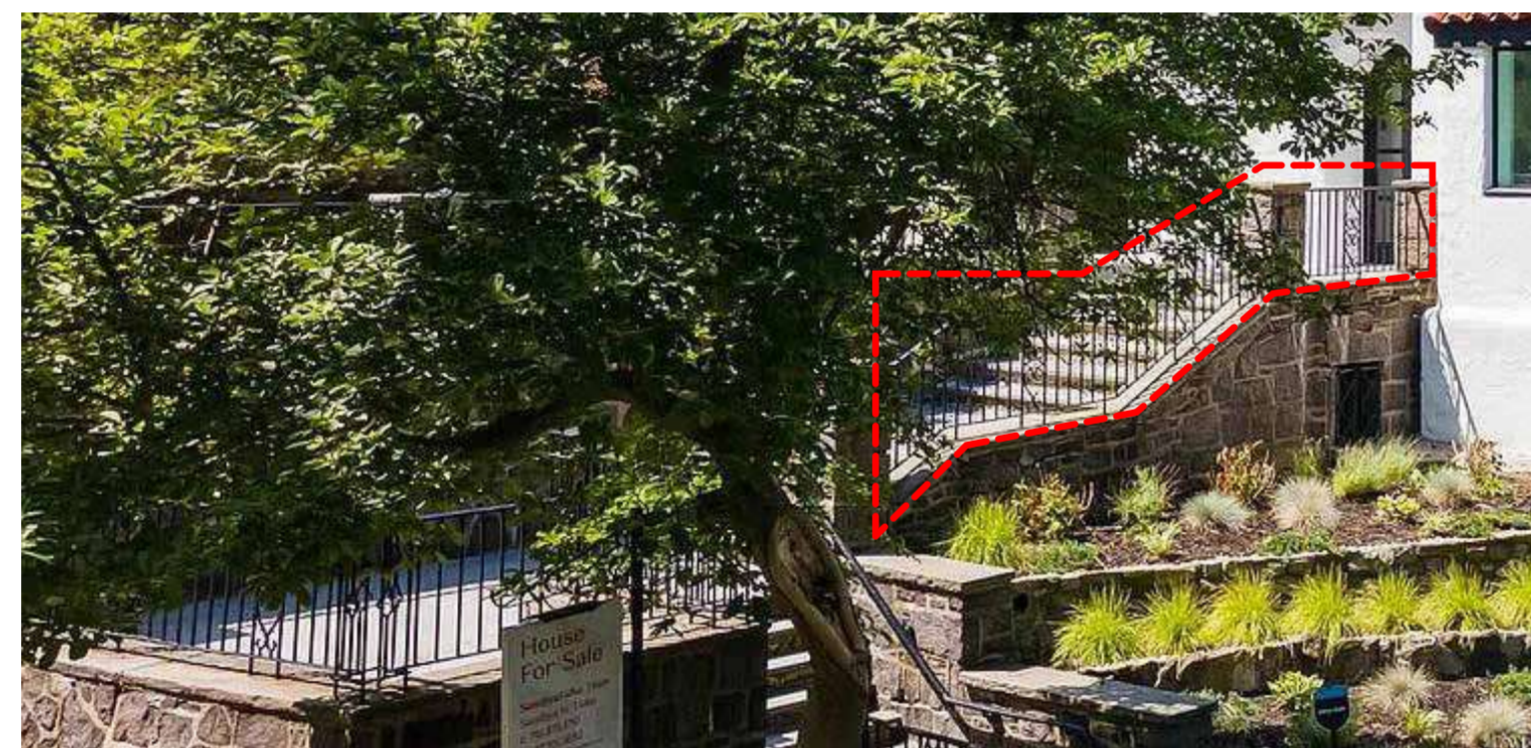
G-103.00

ORIGINAL HISTORICAL CONDITIONS: ORIGINAL AREAWAY IRONWORK AND HISTORIC GATES

EXISTING CONDITIONS: REPLACEMENT OF ORIGINAL IRONWORK AND HISTORIC GATES



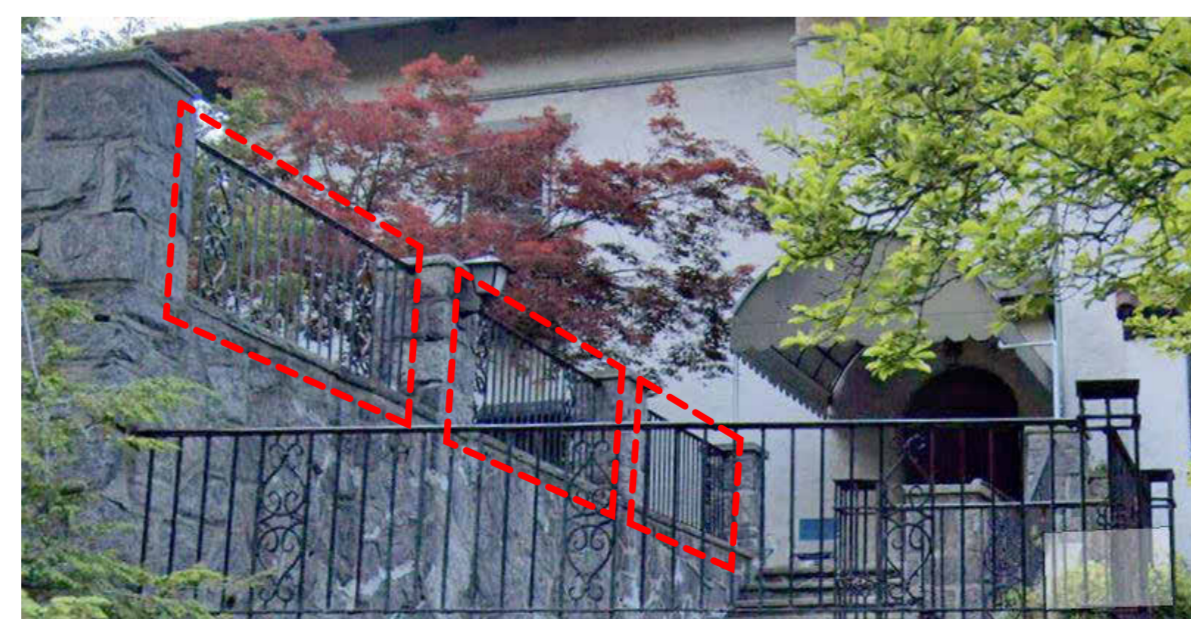
(1) ORIGINAL WROUGHT-IRON GATE



(2) REPLACEMENT OF ORIGINAL AREAWAY IRONWORK



(3) REPLACEMENT OF ORIGINAL AREAWAY IRONWORK



(4) REPLACEMENT OF ORIGINAL AREAWAY IRONWORK



(1) EXISTING STEEL DRIVEWAY GATE



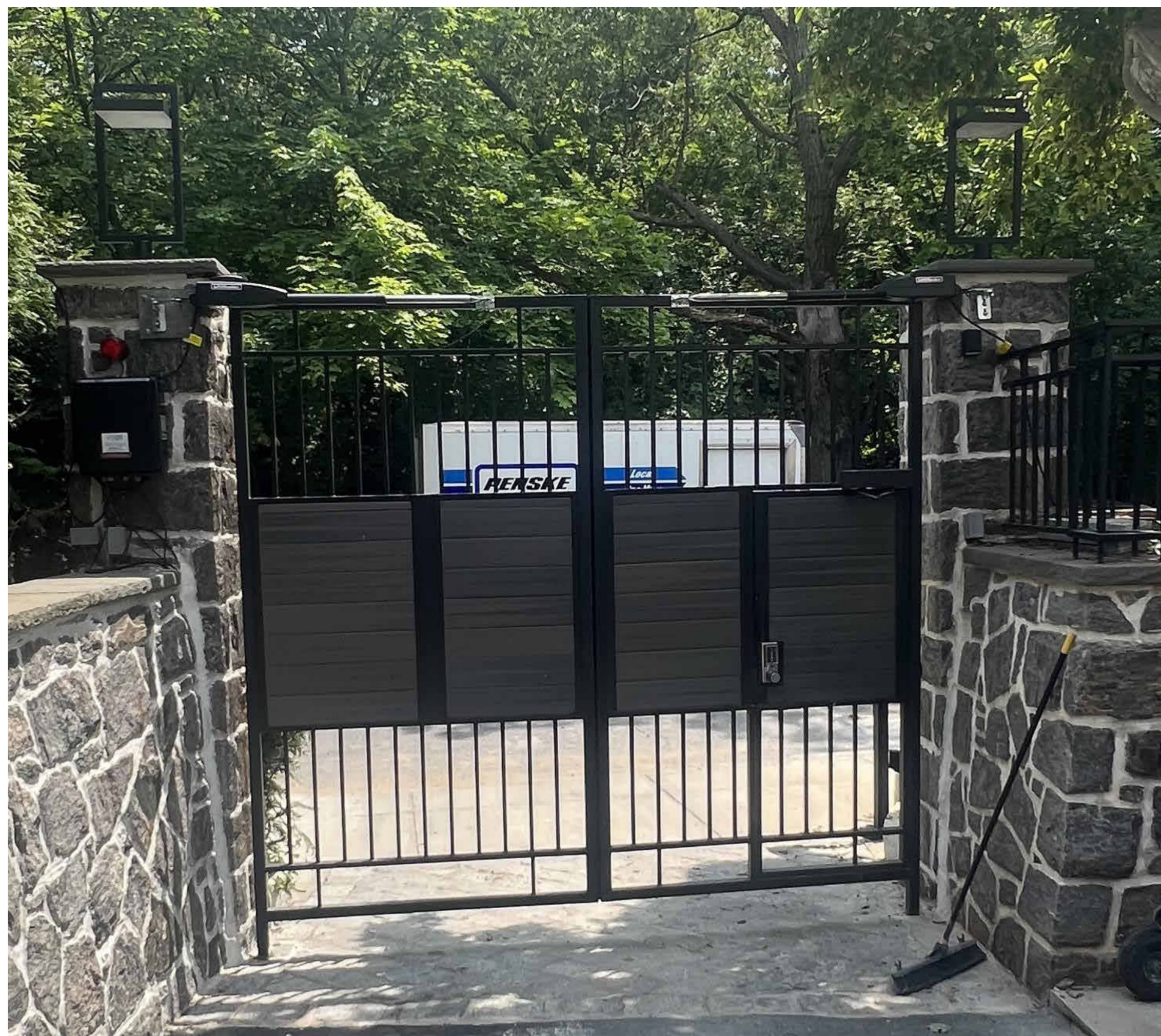
(2) EXISTING STEEL RAILING



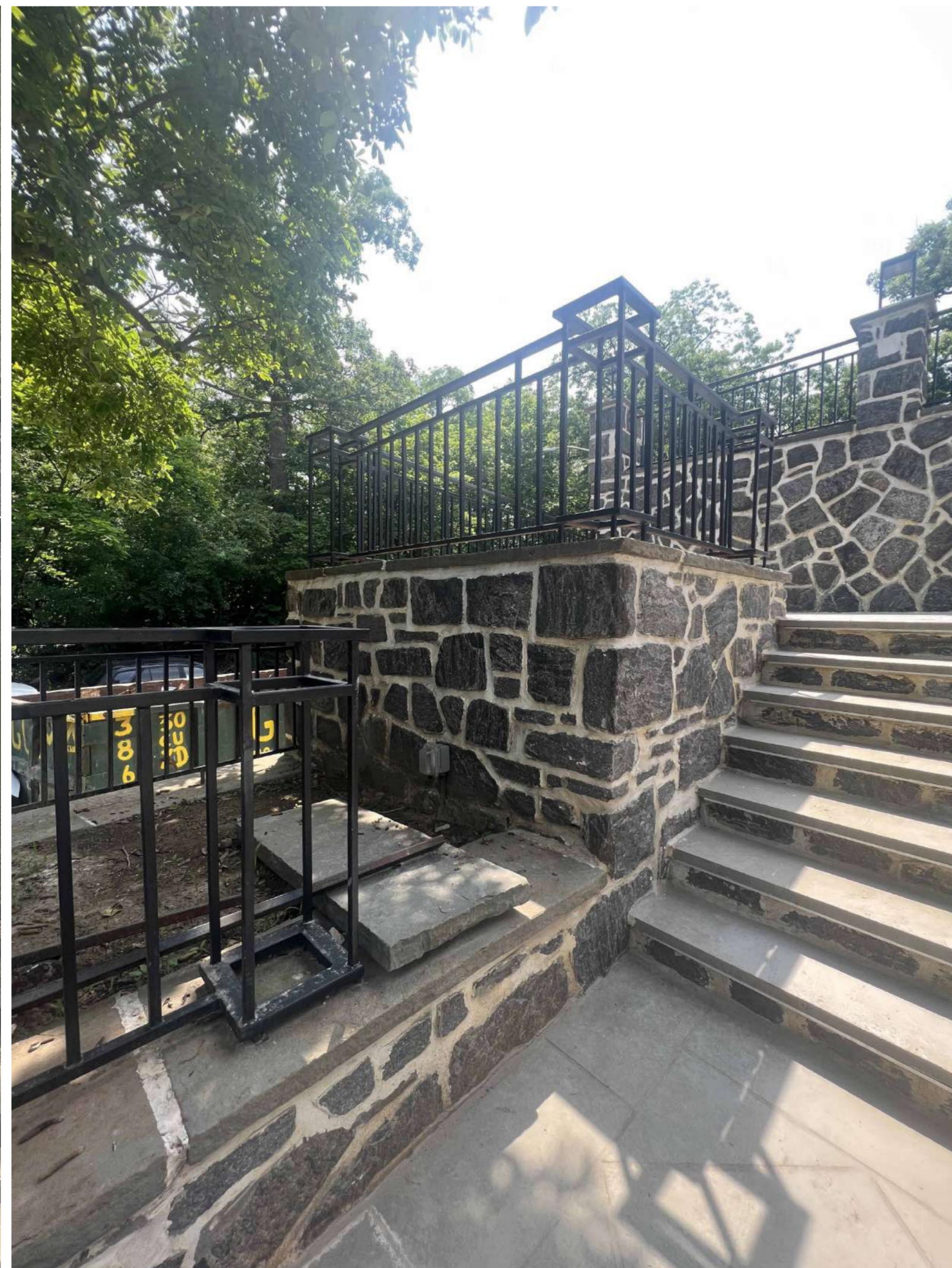
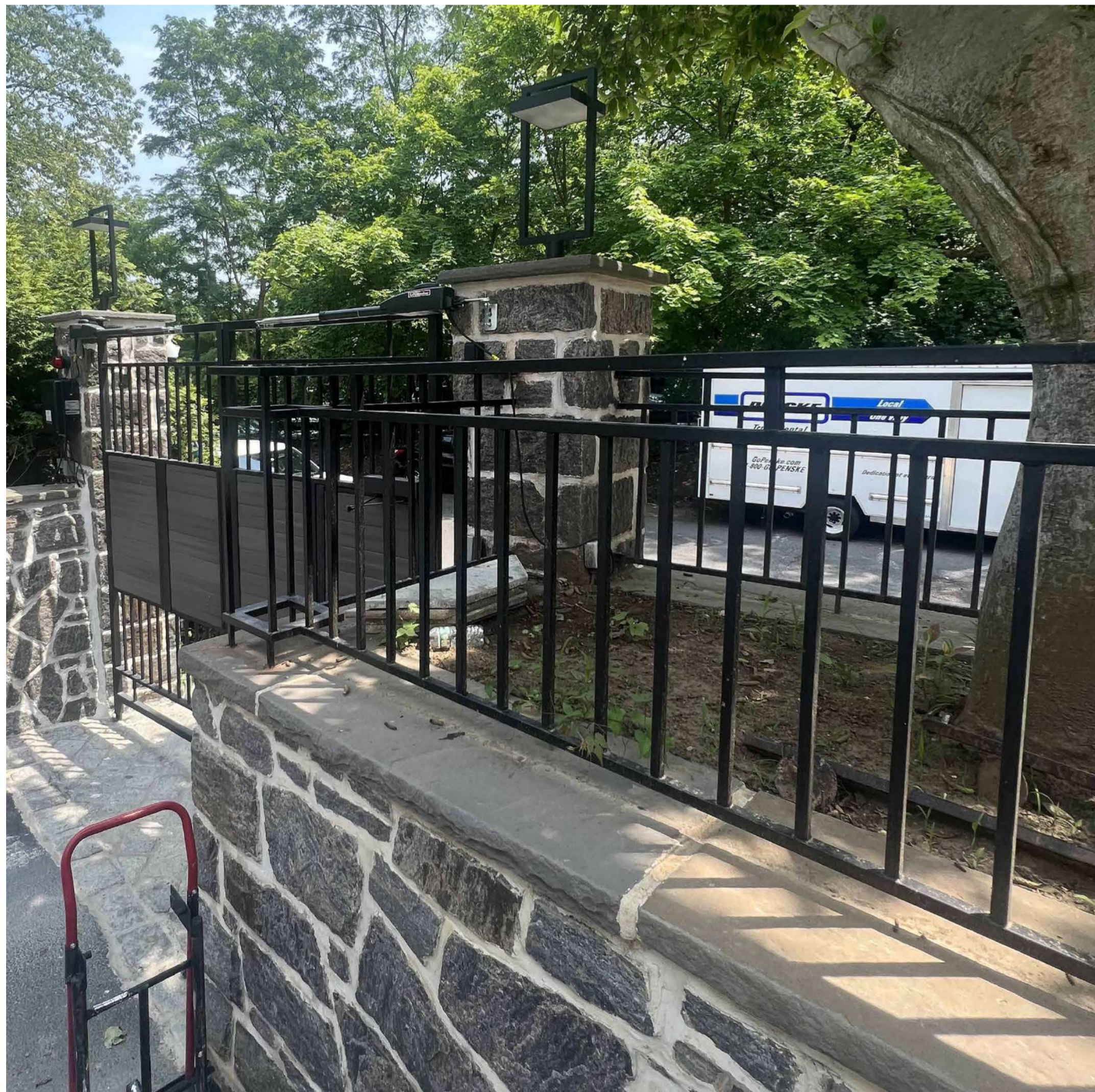
(3) EXISTING STEEL RAILING



(4) EXISTING STEEL RAILING



EXISTING MAIN GATE - FRONT AND REAR - STEEL (COL. BLACK), COMPOSITE PANELS, METAL LIGHT FIXTURES ON ORIGINAL STONE POSTS



EXISTING FENCES AND PARPAETS - STEEL (COL. BLACK), INTEGRATED LIGHT FIXTURES AT CORNERS.

PROJECT INFORMATION:

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SHEET TITLE:

GATE AND IRONWORK PHOTOS

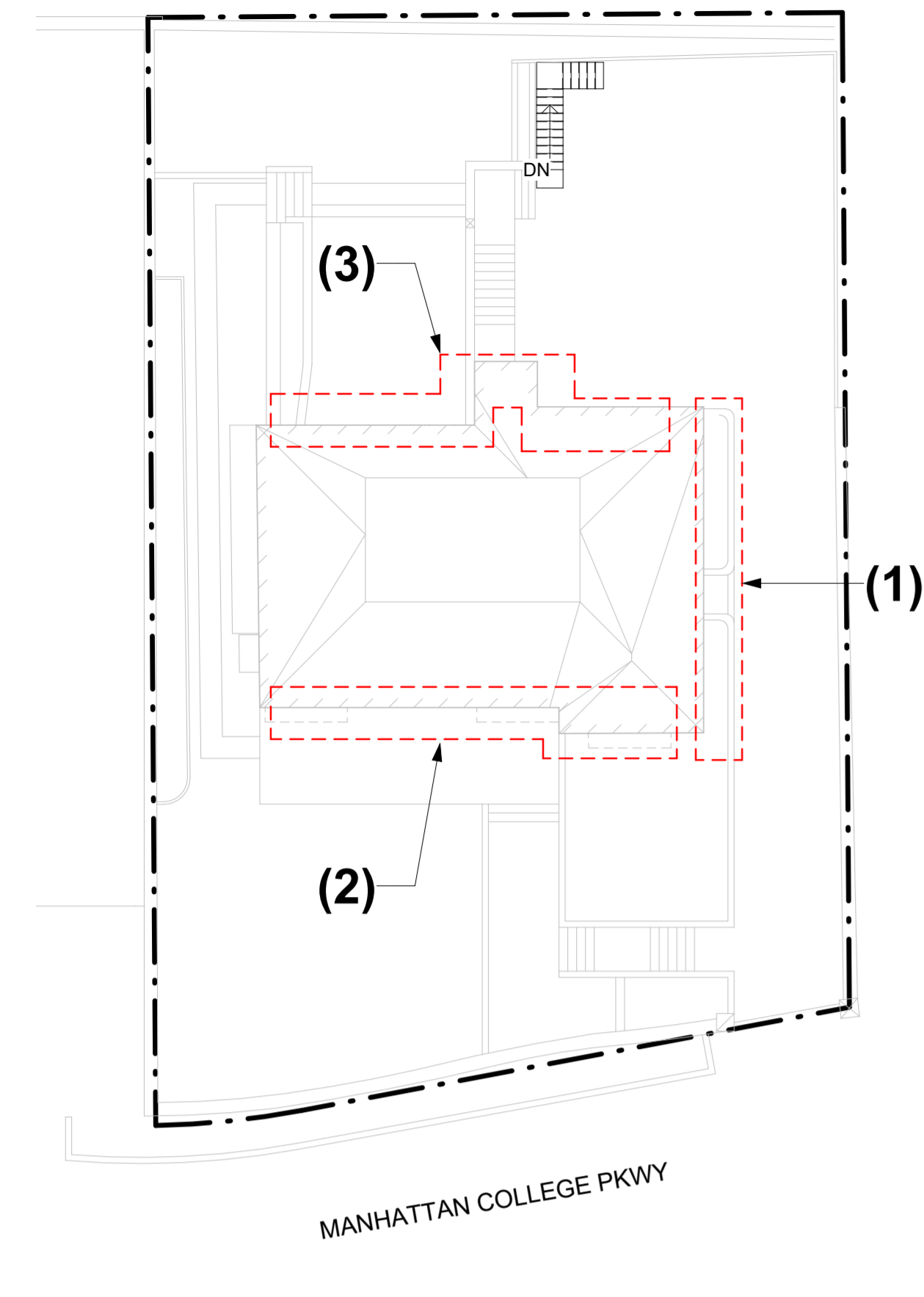
SEAL AND SIGNATURE

DATE: MM/DD/YYYY
 DRAWN BY: JI
 CHECKED BY: SM
 DYO NO. 221018NC

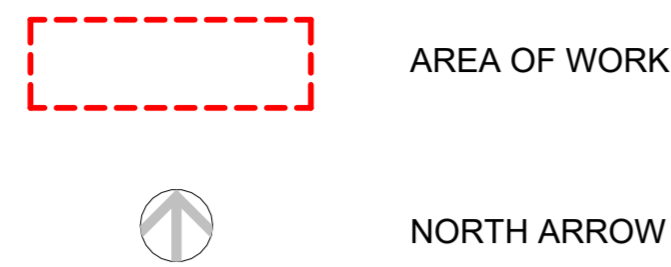


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KEY PHOTOGRAPHS PLAN



LEGEND



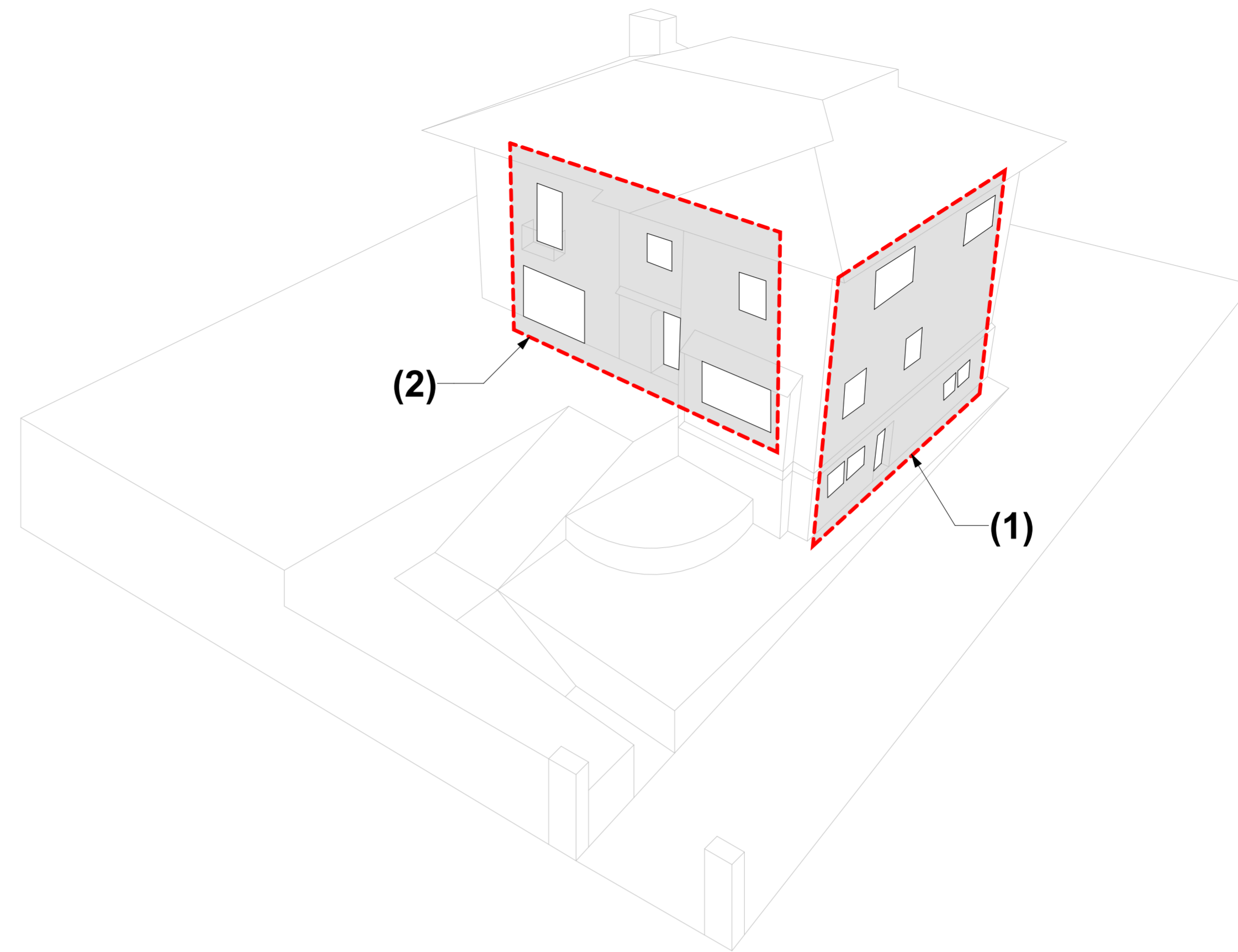
LPC VIOLATION DOCKET NO.

- DOCKET NO. WL-24-0134

KEY NOTES

- (1) ORIGINAL STEEL FRAME WINDOWS AND DOORS ON EAST FACADE HAVE BEEN REPLACED W/ NEW ALUMINUM TWO-PANE WINDOWS AND ALUMINUM SIDE YARD ENTRANCE DOOR
- (2) ORIGINAL STEEL FRAME WINDOWS AND DOORS ON SOUTH FACADE HAVE BEEN REPLACED W/ NEW ALUMINUM TWO-PANE WINDOWS AND ALUMINUM FRONT MAIN ENTRANCE DOOR
- (3) ORIGINAL STEEL FRAME WINDOWS AND DOORS ON SOUTH FACADE HAVE BEEN REPLACED W/ NEW ALUMINUM TWO-PANE WINDOWS. ORIGINAL REAR ENTRANCE DOOR W/ STEEL ARCHWAY WINDOW REMOVED IN ITS ENTIRETY. ORIGINAL 3 STEEL FRAME WINDOWS ON LEVEL 1 HAVE BEEN REPLACED W/ NEW 4-PANEL STEEL FRAME WINDOWS PAINTED COL. BLACK

KEY PHOTOGRAPHS AXONOMETRIC



PROJECT INFORMATION:

ADDRESS: 4401 MANHATTAN COLLEGE PARKWAY, BRONX, NY 10471
 DATE: 11/10/2023
 GROSS FLOOR AREA: 1,741 SF

ARCHITECT OF RECORD:

DYO
 design office
 DY-O DESIGN OFFICE
 143 WEST 29 STREET
 NEW YORK, NY 10001 SUITE# 902A
 CONTACT: STEFANO MORISI R.A.
 T: 1-917-960-3961
 E: INFO@STUDIODYO.COM

ENGINEER:

TENANT:

LANDLORD:

ORIGINAL HISTORICAL CONDITIONS: ORIGINAL WINDOWS AND DOORS

EXISTING CONDITIONS: REPLACEMENT OF ORIGINAL WINDOWS AND DOORS



(1) ORIGINAL WINDOWS AND DOOR ON SIDE YARD (EAST FACADE)



(2) ORIGINAL WINDOWS AND DOOR ON FRONT FACADE (SOUTH FACADE)



(3) ORIGINAL WINDOWS AND DOORS ON REAR FACADE (NORTH FACADE)



(1) EXISTING WINDOWS AND DOOR ON SIDE YARD (EAST FACADE)



(2) EXISTING WINDOWS AND DOOR ON FRONT FACADE (SOUTH FACADE)



(3) EXISTING WINDOWS AND DOORS ON REAR FACADE (NORTH FACADE)

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0	MM/DD/YYYY	DOB Submission 1	DYO	DOB

SHEET TITLE:

HISTORICAL ELEMENTS- WINDOWS & DOORS

SEAL AND SIGNATURE

DATE: MM/DD/YYYY
 DRAWN BY: JI
 CHECKED BY: SM
 DYO NO. 221018NC



G-105.00

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EXISTING ALUMINUM FRAME WINDOWS WITH GRILLES (COL. BLACK).



EXISTING ALUMINUM FRAME FOLDING DOOR WITH (COL. BLACK).



EXISTING FIXED ALUMINUM FRAME WINDOW (COL. BLACK).

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Rev	Date	Description	Issued By	Issued To
0	MM/DD/YYYY	DOB Submission 1	DYO	DOB

SHEET TITLE:

WINDOW AND DOORS PHOTOS

SEAL AND SIGNATURE

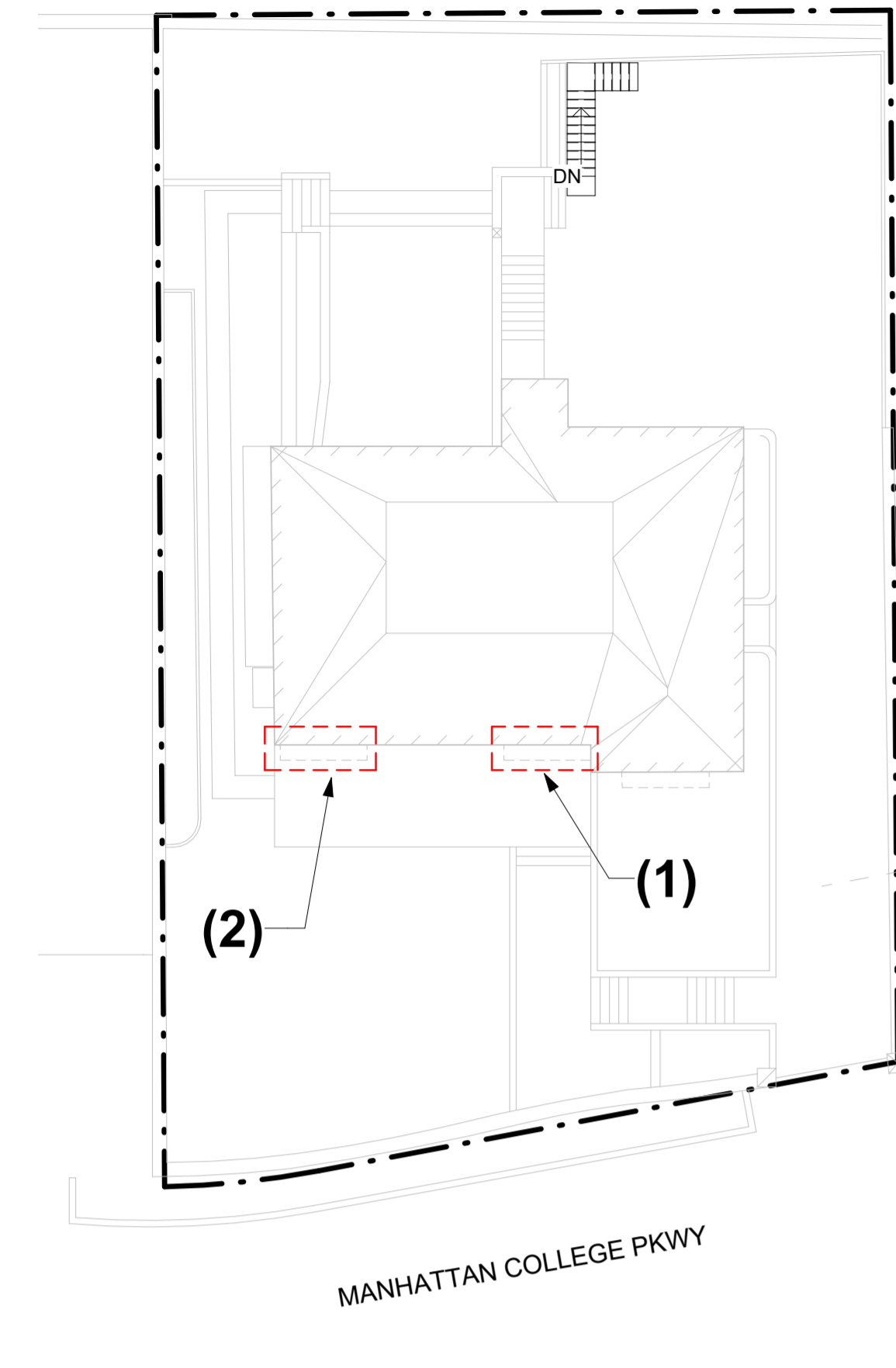
DATE: MM/DD/YYYY
 DRAWN BY: JI
 CHECKED BY: SM
 DYO NO. 221018NC



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KEY PHOTOGRAPHS PLAN



LEGEND

-  AREA OF WORK
-  NORTH ARROW

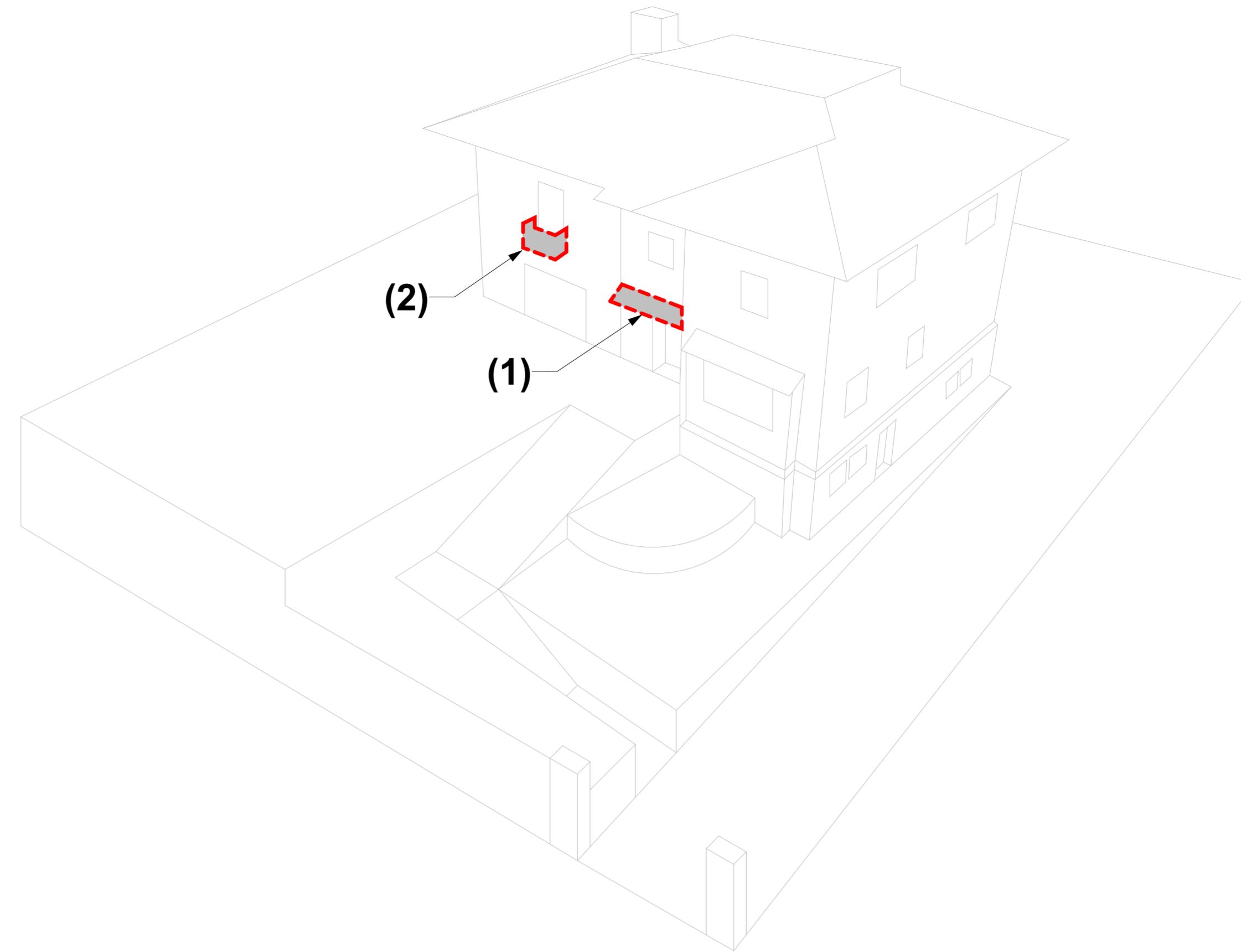
LPC VIOLATION DOCKET NO.

- DOCKET NO. WL-24-0135

KEY NOTES

- (1) ORIGINAL AWNING REPLACED W/ NEW STEEL FRAME CANOPY W/ GLASS
- (2) ORIGINAL WROUGHT IRON BALCONY SUPPORTED BY WROUGHT IRON BRACKETS REPLACED W/ NEW CONCRETE CONSTRUCTED BALCONY W/ STEEL FRAME PARAPET PAINTED COL. BLACK W/ TINTED GLASS PANELS

KEY PHOTOGRAPHS AXONOMETRIC



PROJECT INFORMATION:

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Rev	Date	Description	Issued By	Issued To
0	MM/DD/YYYY	DOB Submission 1	DYO	DOB

SHEET TITLE:

HISTORICAL ELEMENTS- BALCONY & AWNING

SEAL AND SIGNATURE

DATE: MM/DD/YYYY
 DRAWN BY: JI
 CHECKED BY: SM
 DYO NO. 221018NC



G-107.00

ORIGINAL HISTORICAL CONDITIONS: ORIGINAL AWNING AND BALCONY



(1) ORIGINAL MAIN ENTRANCE AWNING



(1) ORIGINAL BALCONY

EXISTING CONDITIONS: REPLACEMENT OF ORIGINAL AWNING AND BALCONY



(1) EXISTING MAIN ENTRANCE STEEL FRAME CANOPY



(1) EXISTING BALCONY



EXISTING MAIN ENTRY AWNING - STEEL PROFILE (COL. BLACK), GLASS PANEL.



EXISTING BALCONY - STEEL PROFILES (COL. BLACK), GLASS PANELS (TINTED).



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SHEET TITLE:

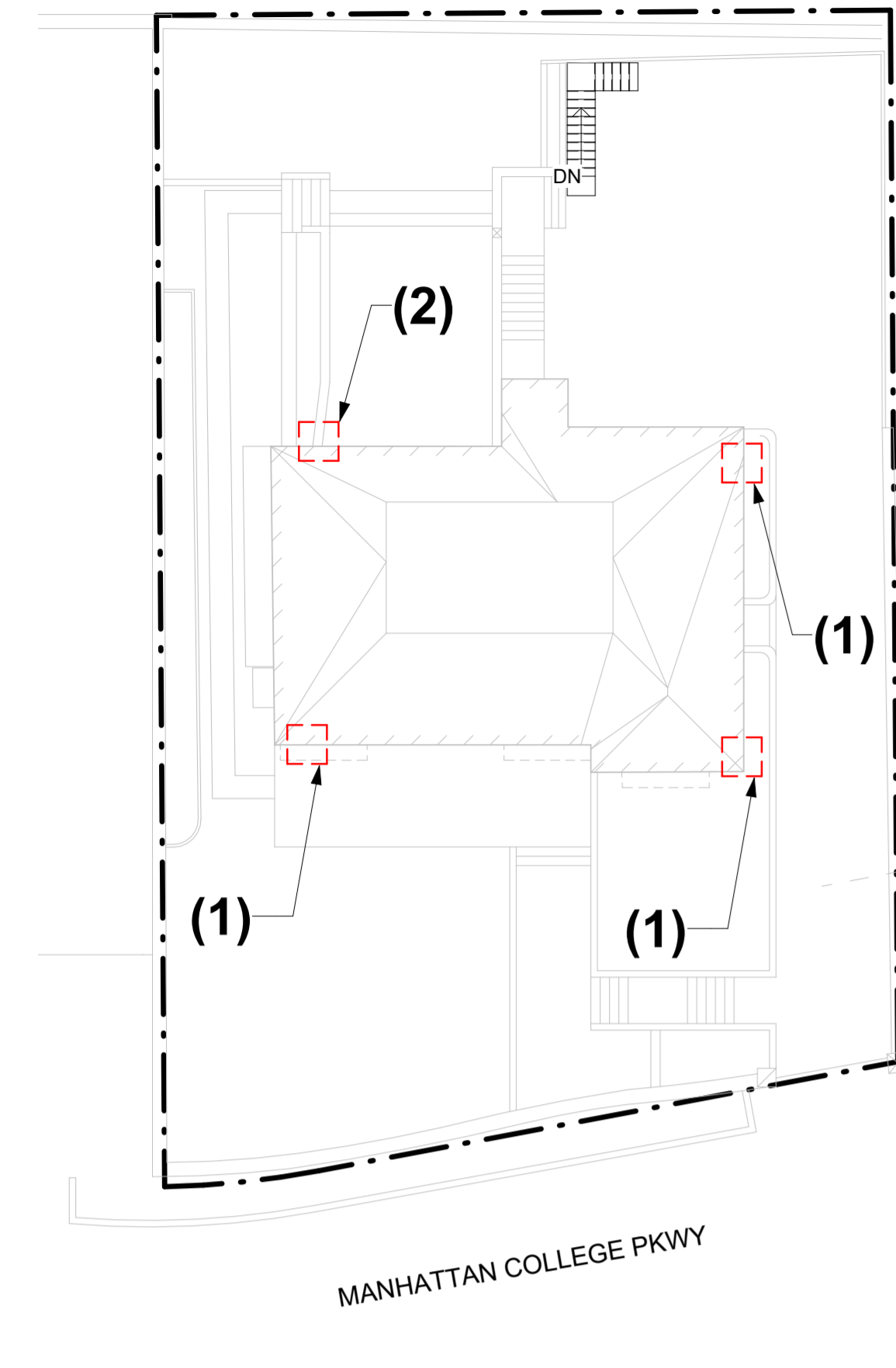
BALCONY AND AWNING PHOTOS

SEAL AND SIGNATURE DATE MM/DD/YYYY

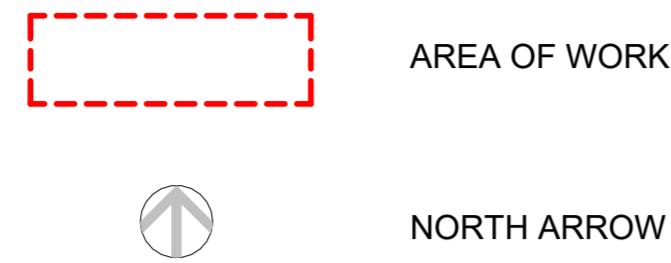
DRAWN BY JI
 CHECKED BY SM
 DYO NO. 221018NC

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KEY PHOTOGRAPHS PLAN



LEGEND



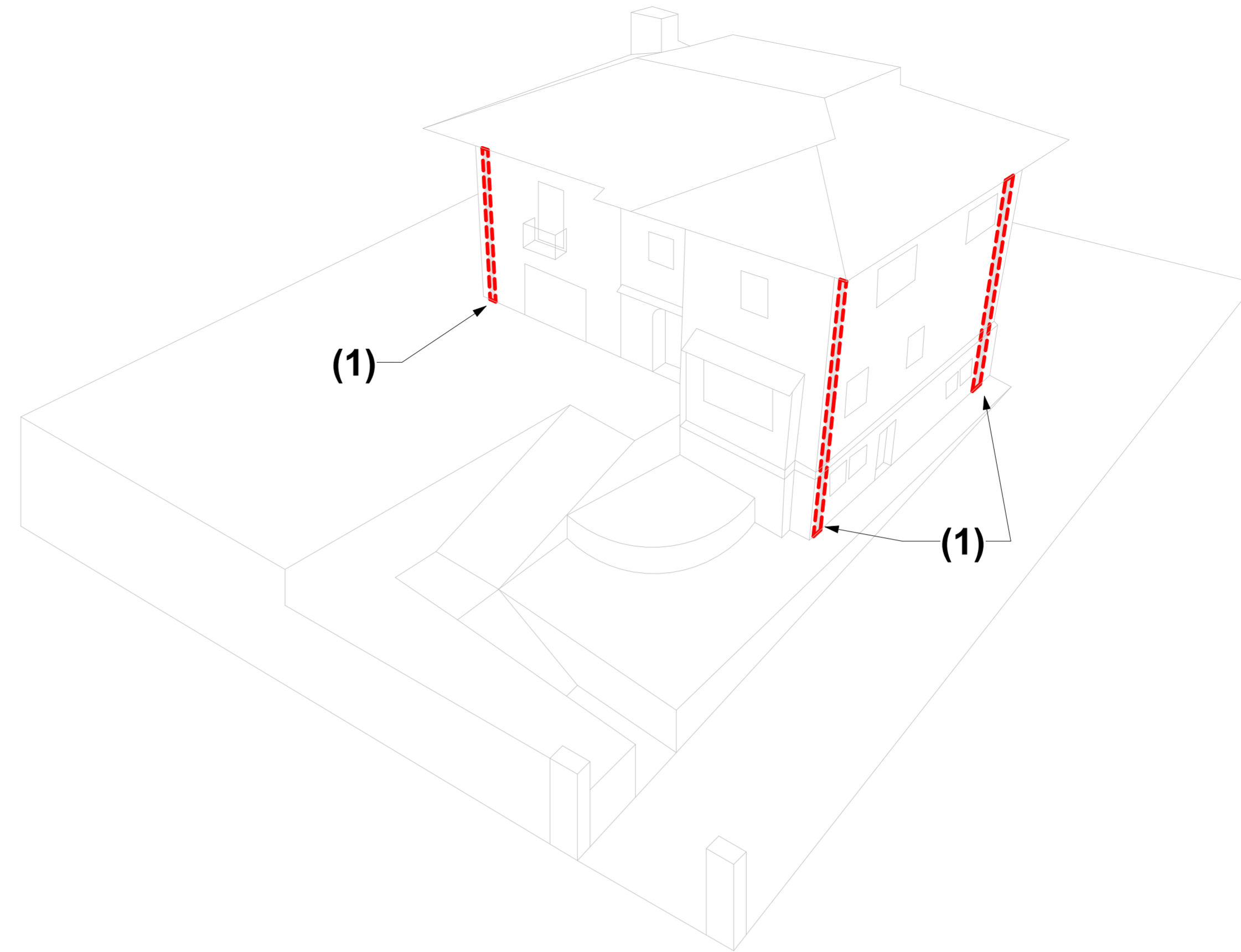
LPC VIOLATION DOCKET NO.

- DOCKET NO. WL-24-0136

KEY NOTES

- (1) ORIGINAL COPPER GUTTERS ON EAST AND SOUTH FACADE REPLACED W/ NEW ALUMINUM GUTTERS W/ BRONZE FINISH
- (2) ORIGINAL COPPER GUTTERS ON NORTH FACADE REPLACED W/ NEW ALUMINUM GUTTERS W/ BRONZE FINISH

KEY PHOTOGRAPHS AXONOMETRIC



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SHEET TITLE:

HISTORICAL ELEMENTS- GUTTERS

SEAL AND SIGNATURE

DATE: MM/DD/YYYY
 DRAWN BY: JI
 CHECKED BY: SM
 DYO NO. 221018NC



G-109.00

ORIGINAL HISTORICAL CONDITIONS: ORIGINAL GUTTERS



(1) ORIGINAL COPPER GUTTERS

EXISTING CONDITIONS: REPLACEMENT OF ORIGINAL GUTTERS



(2) ORIGINAL COPPER GUTTERS



(1) EXISTING ALUMINUM GUTTERS



(2) EXISTING ALUMINUM GUTTER

9/13/2024 6:20:51 PM



NEW GUTTERS AND DOWNPIPES IN ALUMINUM COL. BLACK



PROJECT INFORMATION:

ADDRESS: 4401 MANHATTAN COLLEGE PARKWAY, BRONX, NY 10471
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SHEET TITLE:

GUTTERS PHOTOS

SEAL AND SIGNATURE

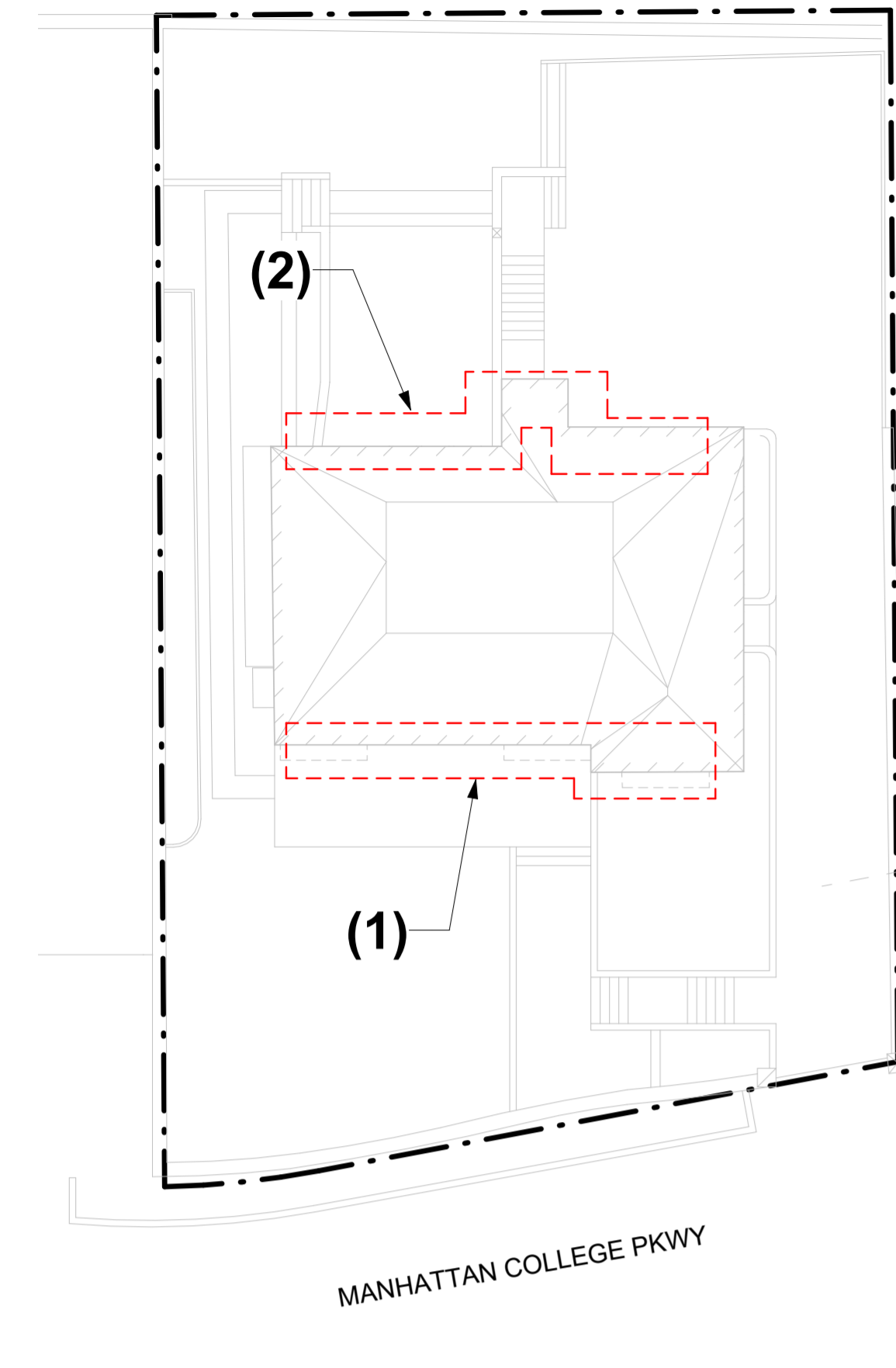
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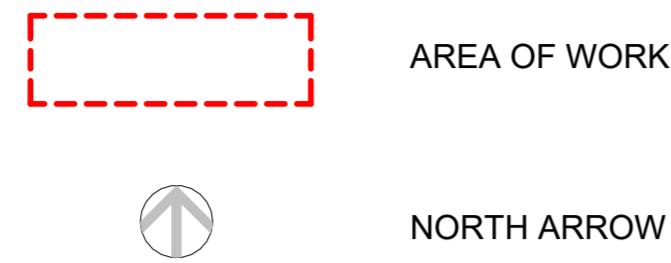
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KEY PHOTOGRAPHS PLAN



LEGEND



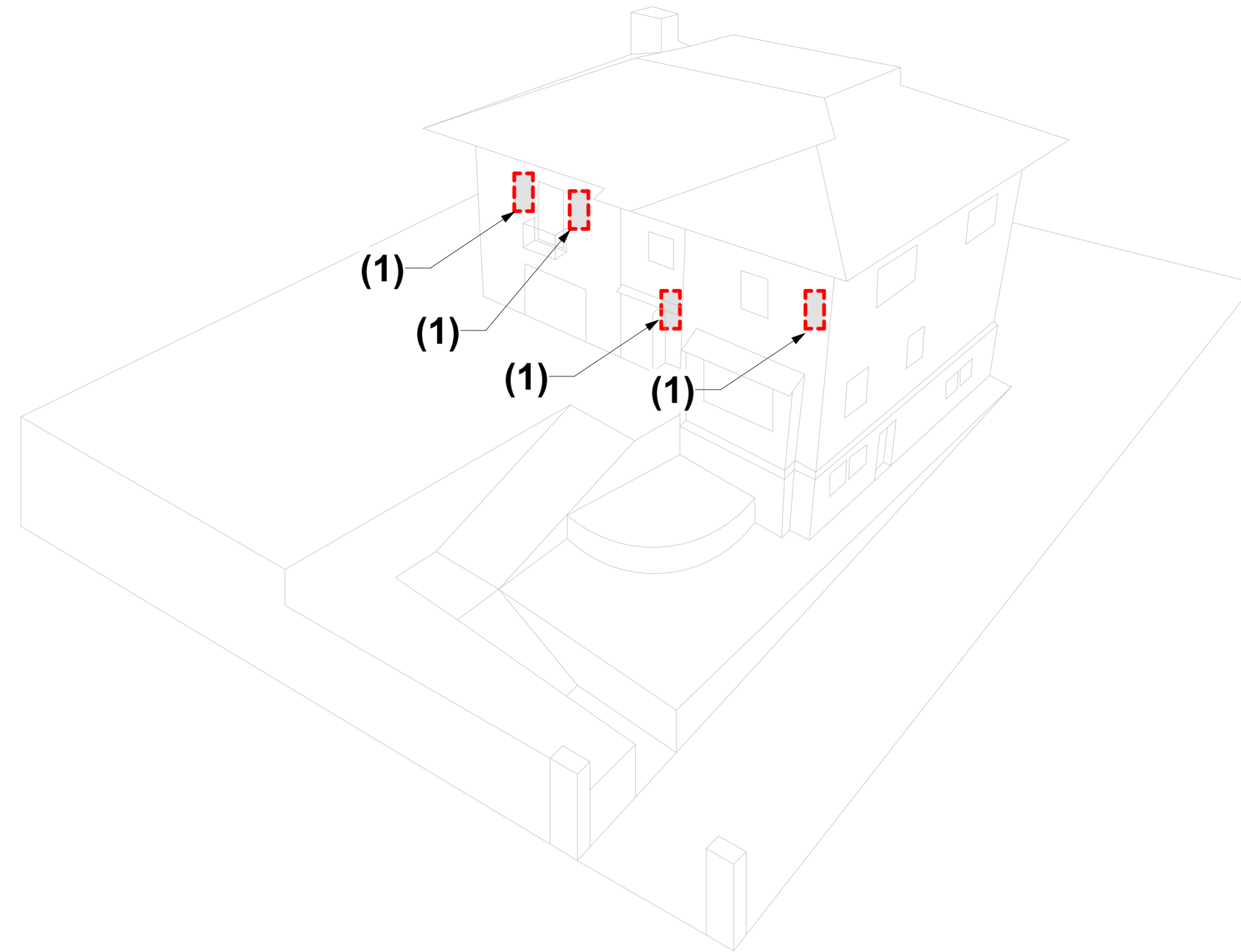
LPC VIOLATION DOCKET NO.

- DOCKET NO. WL-24-0136

KEY NOTES

- (1) INSTALLATION OF 3 NEW LIGHTING FIXTURES AND 1 NEW CAMERA ON FRONT FACADE (SOUTH FACADE)
- (2) INSTALLATION OF 4 NEW LIGHTING FIXTURES, 2 NEW CAMERAS, AND 2 NEW SPEAKERS ON REAR FACADE (NORTH FACADE)

KEY PHOTOGRAPHS AXONOMETRIC



PROJECT INFORMATION:

ADDRESS: 4401 MANHATTAN COLLEGE PARKWAY, BRONX, NY 10471
 DATE: 11/10/2023
 GROSS FLOOR AREA: 1,741 SF

ARCHITECT OF RECORD:

DYO
 design office
 DY-O DESIGN OFFICE
 143 WEST 29 STREET
 NEW YORK, NY 10001 SUITE# 902A
 CONTACT: STEFANO MORISI R.A.
 T: 1-917-960-3961
 E: INFO@STUDIODYO.COM

ENGINEER:

TENANT:

LANDLORD:

DISCLAIMER:

The architect shall not have control or charge of and shall not be responsible for construction means, methods, deviations, techniques, sequences or procedures, or for safety precautions and programs in connection with the work, for the acts or omissions of the contractor, sub-contractors, or any other persons performing any of the work, or for the failure of any of them to carry out the work in accordance with the contract documents. Written dimensions on this drawing shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job and this office must be notified of any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for review before proceeding with fabrication, not valid for construction unless signed and sealed by the architect and approved by the department of buildings.

Rev	Date	Description	Issued By	Issued To
0	MM/DD/YYYY	DOB Submission 1	DYO	DOB

SHEET TITLE:

HISTORICAL ELEMENTS- LIGHTS, CAMERAS & SPEAKERS

SEAL AND SIGNATURE _____ DATE MM/DD/YYYY _____

DRAWN BY _____ JI
 CHECKED BY _____ SM
 DYO NO. 221018NC

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SHEET 06 OF 17

ORIGINAL HISTORICAL CONDITIONS: ORIGINAL GUTTERS

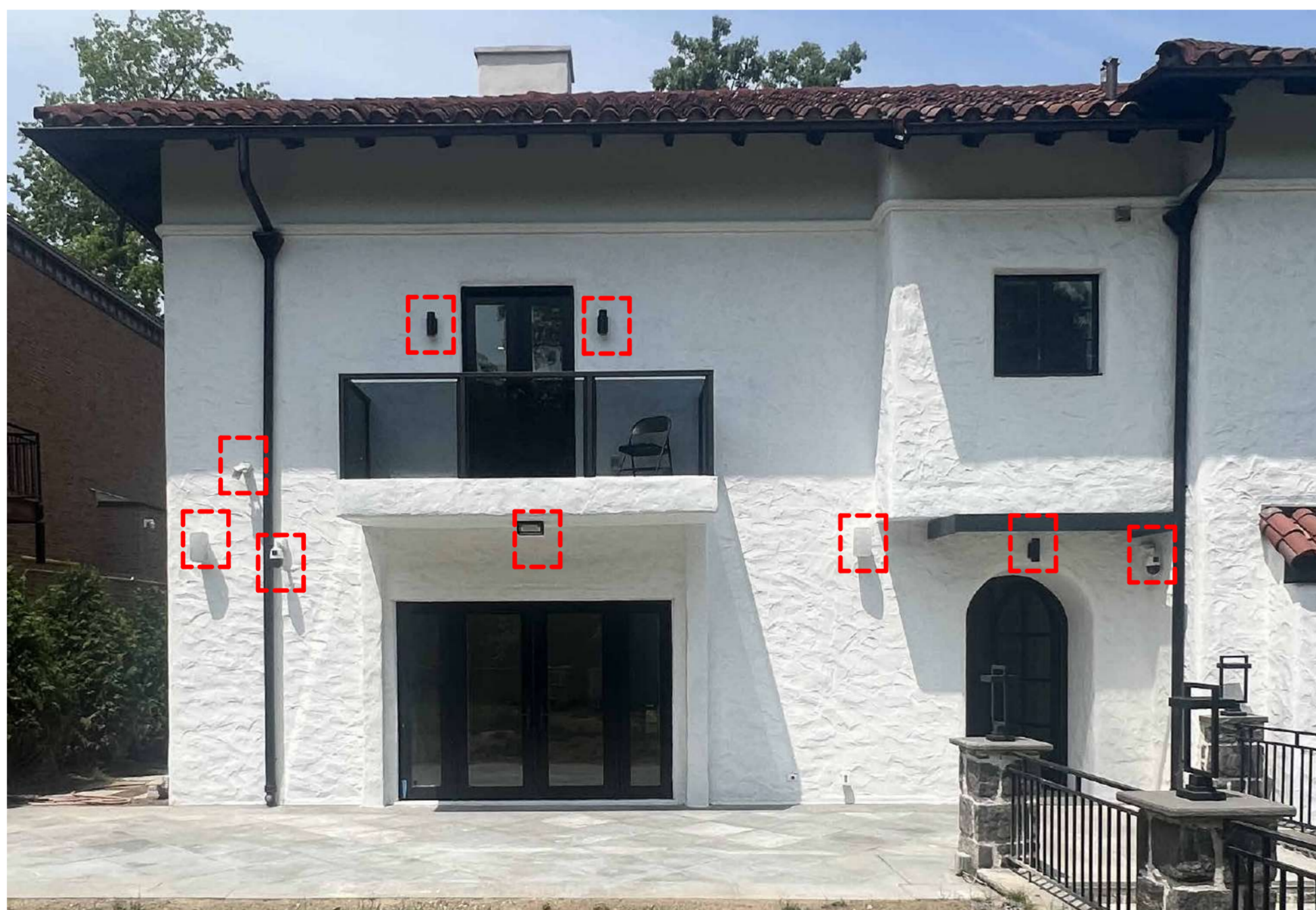


(1) ORIGINAL FRONT FACADE (SOUTH FACADE)



(2) ORIGINAL REAR FACADE (NORTH FACADE)

EXISTING CONDITIONS: REPLACEMENT OF ORIGINAL GUTTERS



(1) EXISTING FRONT FACADE W/ NEW CAMERAS AND LIGHTING FIXTURES



(2) EXISTING REAR FACADE W/ NEW CAMERAS AND LIGHTING FIXTURES

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**FRONT FACADE (SOUTH) CAMERAS,
SPEAKERS AND LIGHT FIXTURES**

**WEST FACADE CAMERA
AND HVAC EQUIPMENT**



PROJECT INFORMATION:

ADDRESS: 4401 MANHATTAN COLLEGE PARKWAY, BRONX, NY 10471
 DATE: 11/10/2023
 GROSS FLOOR AREA: 1,741 SF

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Rev	Date	Description	Issued By	Issued To
0	MM/DD/YYYY	DOB Submission 1	DYO	DOB

SHEET TITLE:

**LIGHTS CAMERAS
SPEAKERS
PHOTOS**

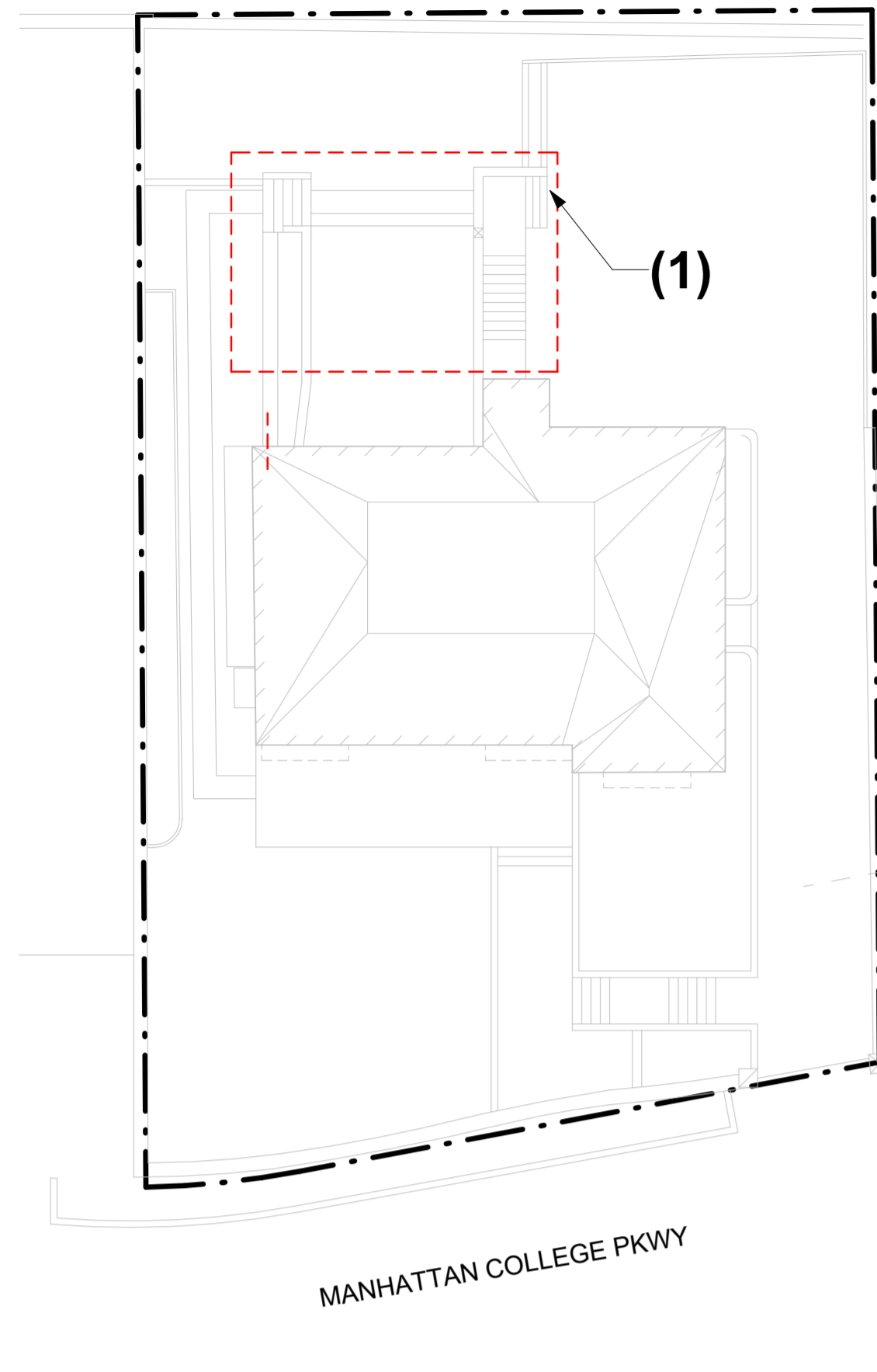
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 DYO NO. 221018NC



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KEY PHOTOGRAPHS PLAN



LEGEND

-  AREA OF WORK
-  NORTH ARROW

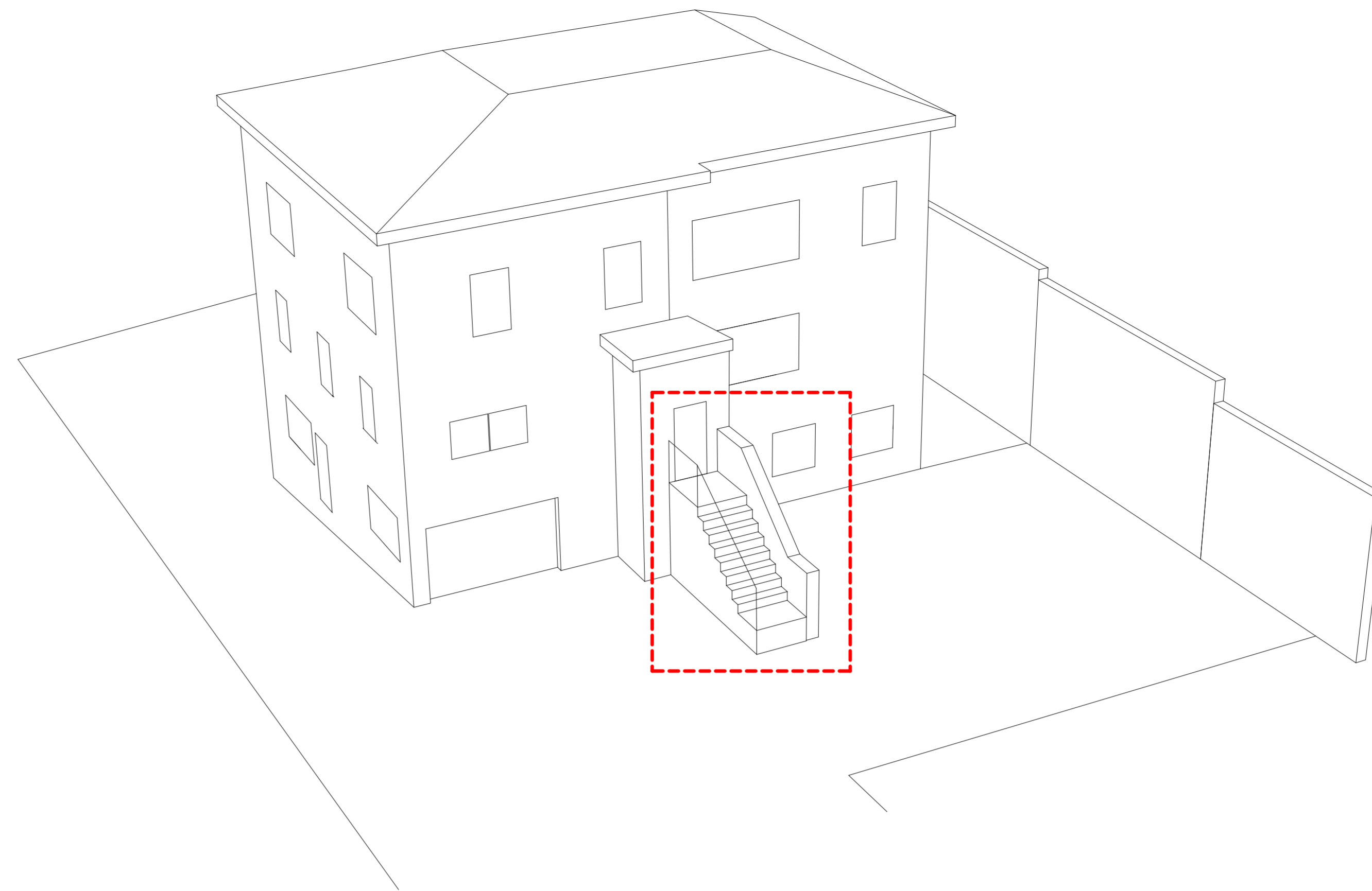
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- DOCKET NO. WL-25-0069

KEY NOTES

(1) DEMOLITION OF ORIGINAL EXTERIOR STAIRCASE, AND GARDEN STEPS. NEW CONCRETE RETAINING WALLS AT REAR BUILT WITHOUT PERMIT.

KEY PHOTOGRAPHS AXONOMETRIC



PROJECT INFORMATION:

ADDRESS: 4401 MANHATTAN COLLEGE PARKWAY, BRONX, NY 10471
 DATE: 11/10/2023
 GROSS FLOOR AREA: 1,741 SF

ARCHITECT OF RECORD:

DYO
 design office
 DY-O DESIGN OFFICE
 143 WEST 29 STREET
 NEW YORK, NY 10001 SUITE# 902A
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Rev	Date	Description	Issued By	Issued To
0	MM/DD/YYYY	DOB Submission 1	DYO	DOB

SHEET TITLE:

HISTORICAL ELEMENTS- REAR STAIRS

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ORIGINAL HISTORICAL CONDITIONS: ORIGINAL GUTTERS



(2) ORIGINAL REAR STAIRCASE (NORTH FACADE)

PREVIOUS CONDITIONS: EXISTING STAIRCASE STILL INTACT



(2) EXISTING REAR FACADE W/ NEW CAMERAS, LIGHTING FIXTURES AND SPEAKERS. EXISTING STAIRCASE

CURRENT CONDITIONS: REMOVAL OF EXTERIOR STAIRS AND NEW CONCRETE RETAINING WALLS



(1) VIEWS OF BACKYARD

GENERAL ZONING NOTES

ZONING RESOLUTION ARTICLES THAT APPLY TO THIS PROJECT:
ART. II CHAPTER 3 - RESIDENTIAL BULK REGULATIONS IN RESIDENCE DISTRICTS
ART. X CHAPTER 5 - SPECIAL NATURAL AREA DISTRICT (NA)

12-10 - DEFINITIONS

ACCESSORY USE, OR ACCESSORY (12/15/2021)
(5) SWIMMING POOLS NOT LOCATED WITHIN A BUILDING LISTED IN USE GROUP 1 OR 2. PROVIDED THAT:
(I) THE USE OF SUCH POOLS SHALL BE RESTRICTED TO OCCUPANTS OF THE PRINCIPAL USE AND GUESTS FOR WHOM NO ADMISSION OR MEMBERSHIP FEES ARE CHARGED;
(II) IF ACCESSORY TO A USE LISTED IN USE GROUP 2, EXCEPT IF SUCH USE IS A SINGLE-FAMILY OR TWO-FAMILY RESIDENCE, THE EDGE OF THE POOL SHALL BE LOCATED NOT LESS THAN 100 FEET FROM ANY LOT LINE;
(III) IF ACCESSORY TO A USE LISTED IN USE GROUP 1 OR USE GROUP 2, WHICH USE IS A SINGLE-FAMILY RESIDENCE OR TWO-FAMILY RESIDENCE, THE EDGE OF THE POOL SHALL BE LOCATED NOT LESS THAN FIVE FEET FROM ANY LOT LINE. IN THE EVENT THAT SUCH POOL IS LOCATED BETWEEN 50 AND FIVE FEET FROM ANY REAR LOT LINE OR SIDE LOT LINE, IT SHALL BE SCREENED BY A CONTINUOUS FENCE SUPPLEMENTED WITH A STRIP OF DENSELY PLANTED TREES OR SHRUBS AT LEAST FOUR FEET HIGH AT THE TIME OF PLANTING ALONG SUCH REAR LOT LINE TO SUCH POOL; AND
(IV) ILLUMINATION OF SUCH POOLS SHALL BE LIMITED TO UNDERWATER LIGHTING.

ALTERATIONS, INCIDENTAL (12/15/1961): CHANGES OR REPLACEMENTS IN THE NON-STRUCTURAL PARTS OF A BUILDING OR OTHER STRUCTURE, WITHOUT LIMITATION TO THE FOLLOWING EXAMPLES:
(2) A MINOR ADDITION TO THE EXTERIOR OF A RESIDENTIAL BUILDING, SUCH AS AN OPEN PORCH.

FLOOR AREA (5/12/2012): THE SUM OF THE GROSS AREAS OF THE SEVERAL FLOORS OF A BUILDING OR BUILDINGS, MEASURED FROM THE EXTERIOR FACES OF EXTERIOR WALLS OR FROM THE CENTER LINES OF WALLS SEPARATING TWO BUILDINGS. THE FLOOR AREA OF A BUILDING SHALL NOT INCLUDE
(5) FLOOR SPACE IN OPEN OR ROOFED BRIDGES, BREEZE WAYS OR PORCHES, PROVIDED THAT NOT MORE THAN 50 PERCENT OF THE PERIMETER OF SUCH BRIDGE, BREEZE WAY OR PORCH IS ENCLOSED, AND PROVIDED THAT A PARAPET NOT HIGHER THAN 3 FEET, 8 INCHES, OR A RAILING NOT LESS THAN 50 PERCENT OPEN AND NOT HIGHER THAN 4 FEET, 6 INCHES, SHALL NOT CONSTITUTE AN ENCLOSURE.

NATURAL FEATURE: A SPECIFIC NATURAL FEATURE BELONGING TO ONE OF THE TYPES LISTED IN SECTION 105-10 (NATURAL FEATURES) AND EXISTING WITHIN A SPECIAL NATURAL AREA DISTRICT.

SPECIAL NATURAL AREA DISTRICT (2/22/2011): A SPECIAL PURPOSE DISTRICT DESIGNATED BY THE LETTERS "NA" IN WHICH SPECIAL REGULATIONS SET FORTH IN ARTICLE X, CHAPTER 5, APPLY. THE SPECIAL NATURAL AREA DISTRICT INCLUDES ANY DISTRICT WHOSE DESIGNATION BEGINS WITH THE LETTERS "NA".

YARD (9/19/1973): A "YARD" IS THAT PORTION OF A ZONING LOT EXTENDING OPEN AND UNOBTSTRUCTED FROM THE LOWEST LEVEL TO THE SKY ALONG THE ENTIRE LENGTH OF A LOT LINE, AND FROM THE LOT LINE FOR A DEPTH OR WIDTH SET FORTH IN THE APPLICABLE DISTRICT YARD REGULATIONS. WHERE A STREET SETBACK LINE IS SHOWN ON THE CITY MAP, THE YARD EXTENDS ALONG THE ENTIRE LENGTH OF THE STREET SETBACK LINE, AND FROM THE STREET SETBACK LINE FOR A DEPTH OR WIDTH SET FORTH IN THE APPLICABLE DISTRICT YARD REGULATIONS.

YARD LINE, FRONT (12/15/1961): A "FRONT YARD LINE" IS A LINE DRAWN PARALLEL TO A FRONT LOT LINE AT A DISTANCE THEREFROM EQUAL TO THE DEPTH OF A REQUIRED FRONT YARD.

YARD LINE, REAR (12/15/1961): A "REAR YARD LINE" IS A LINE DRAWN PARALLEL TO A REAR LOT LINE AT A DISTANCE THEREFROM EQUAL TO THE DEPTH OF A REQUIRED REAR YARD.

YARD, FRONT (12/15/1961): A "FRONT YARD" IS A YARD EXTENDING ALONG THE FULL LENGTH OF A FRONT LOT LINE.

YARD, REAR (12/15/1961): A "REAR YARD" IS A YARD EXTENDING FOR THE FULL LENGTH OF A REAR LOT LINE.

YARD, SIDE (12/15/1961): A "SIDE YARD" IS A YARD EXTENDING ALONG A SIDE LOT LINE FROM THE REQUIRED FRONT YARD (OR FROM THE FRONT LOT LINE IF NO FRONT YARD IS REQUIRED) TO THE REQUIRED REAR YARD (OR TO THE REAR LOT LINE, IF NO REAR YARD IS REQUIRED). IN THE CASE OF A CORNER LOT, ANY YARD WHICH IS NOT A FRONT YARD SHALL BE CONSIDERED A SIDE YARD.

BUILDING CODE NOTES

BUILDING CODE THAT APPLY TO THIS PROJECT:
1406.4 - COMBUSTIBLE MATERIALS ON THE EXTERIOR SIDE OF EXTERIOR WALLS
1013 - GUARDS
1208 - INTERIOR SPACE DIMENSIONS
1604 - GENERAL DESIGN REQUIREMENTS
1607 - LIVE LOADS
3109 - SWIMMING POOLS, SWIMMING ENCLOSURE, AND SAFETY DEVICES

1406.4 - BAY AND ORIEL WINDOWS, DECKS, PORCHES, PORTICOS, ENTRANCEWAYS, AND STORM ENCLOSURES. BAY AND ORIEL WINDOWS, DECKS, PORCHES, PORTICOS, ENTRANCEWAYS AND STORM ENCLOSURES SHALL CONFORM TO THE TYPE OF CONSTRUCTION REQUIRED FOR THE BUILDING TO WHICH THEY ARE ATTACHED, INCLUDING REQUIRED FIRE RATING, UNLESS OTHERWISE MODIFIED BY THE REQUIREMENTS OF THIS SECTION. FOR THE PURPOSES OF THIS SECTION, SUCH STRUCTURES SHALL BE REFERRED TO AS, "APPENDAGES."

1013.1 - WHERE REQUIRED. GUARDS SHALL BE LOCATED ALONG OPEN-SIDED WALKING SURFACES, INCLUDING MEZZANINES, EQUIPMENT PLATFORMS, STAIRS, RAMPS AND LANDINGS THAT ARE LOCATED MORE THAN 30 INCHES (762 MM) MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW ANY POINT WITHIN 36 INCHES (914 MM) HORIZONTAL TO THE EDGE OF THE OPEN SIDE.

1013.2 - HEIGHT. REQUIRED GUARDS SHALL NOT BE LESS THAN 42 INCHES (1067 MM) HIGH, MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACES, ADJACENT FIXED SEATING OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS.

1013.3 - OPENING LIMITATIONS. REQUIRED GUARDS SHALL NOT HAVE OPENINGS WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES (102 MM) IN DIAMETER FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT.

1208.2 - MINIMUM CEILING HEIGHTS. HABITABLE ROOMS AND SPACES SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 8 FEET (2438.4 MM). OCCUPIABLE SPACES AND CORRIDORS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET 6 INCHES (2286 MM). BATHROOMS, TOILET ROOMS, KITCHENS IN OTHER THAN GROUP I-1 AND R OCCUPANCIES, KITCHENETTES IN GROUP I-1 OR R OCCUPANCIES, STORAGE ROOMS AND LAUNDRYROOMS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET (2133.6MM). ALL MEASUREMENTS SHALL BE TAKEN FROM THE FINISHED FLOOR TO THE FINISHED UNDERSIDE OF THE CEILING OR CEILING BEAMS.

1604.8.3 - DECKS. WHERE SUPPORTED BY ATTACHMENT TO AN EXTERIOR WALL, DECKS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE AND DESIGNED FOR BOTH VERTICAL AND LATERAL LOADS AS APPLICABLE. SUCH ATTACHMENT SHALL NOT BE ACCOMPLISHED BY THE USE OF TOENAILS OR NAILS SUBJECT TO WITHDRAWAL, WHERE POSITIVE CONNECTION TO THE PRIMARY BUILDING STRUCTURE CANNOT BE VERIFIED DURING INSPECTION, DECKS SHALL BE SELF-SUPPORTING.

1607.7.1 - HANDRAIL ASSEMBLIES AND GUARDS. HANDRAIL ASSEMBLIES AND GUARDS SHALL BE DESIGNED TO RESIST A LOAD OF 50 PLF (0.73 KN/M) APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE.

1607.7.1.1 - CONCENTRATED LOAD. HANDRAILS AND GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS (0.89 KN), APPLIED IN ANY DIRECTION AT ANY POINT, AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING.

1607.7.1.2 - COMPONENTS. INTERMEDIATE RAILS (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILLERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS (0.22 KN) ON AN AREA EQUAL TO 1 SQUARE FOOT (0.093M2), INCLUDING OPENINGS AND SPACE BETWEEN RAILS. A VERTICALLY DOWNWARD LOAD OF 50 POUNDS PER FOOT (0.73 KN/M), AND A CONCENTRATED UPWARD LOAD OF 50 POUNDS (0.22 KN) APPLIED AT THE MOST CRITICAL LOCATION.

3109.3 - POOL SAFETY AND ACCESSIBILITY. PUBLIC AND PRIVATE SWIMMING POOLS SHALL COMPLY WITH THE REQUIREMENTS FOR SAFETY AND ACCESSIBILITY AS PROVIDED IN THIS SECTION.

3109.3.1 - ENTRAPMENT PROTECTION. ENTRAPMENT PROTECTION SHALL BE PROVIDED IN COMPLIANCE WITH THIS SECTION.

3109.3.1.1 - SUCTION ENTRAPMENT AVOIDANCE. SUCTION OUTLETS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH NSI/APSP-7.

3109.3.2 - SWIMMING POOL AND SPA ALARMS. SWIMMING POOL AND SPA ALARMS SHALL COMPLY WITH SECTIONS 3109.3.2.1 THROUGH 3109.3.2.4.

3109.3.2.1 - APPLICABILITY. ALL SWIMMING POOLS AND SPAS SHALL BE EQUIPPED WITH AN APPROVED POOL ALARM. POOL ALARMS SHALL COMPLY WITH ASTM F 2208 AND SHALL BE INSTALLED, USED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THIS SECTION.

3109.3.2.2 - MULTIPLE ALARMS. A POOL ALARM MUST BE CAPABLE OF DETECTING ENTRY INTO THE WATER AT ANY POINT ON THE SURFACE OF THE SWIMMING POOL. IF NECESSARY TO PROVIDE DETECTION CAPABILITY AT EVERY POINT ON THE SURFACE OF THE SWIMMING POOL, MORE THAN ONE POOL ALARM SHALL BE PROVIDED.

3109.3.2.3 - ALARM ACTIVATION. POOL ALARMS SHALL ACTIVATE UPON DETECTING ENTRY INTO THE WATER AND SHALL SOUND POOLSIDE AND INSIDE THE BUILDING.

3109.3.2.4 - PROHIBITED ALARMS. THE USE OF PERSONAL IMMERSION ALARMS SHALL NOT BE CONSTRUED AS COMPLIANCE WITH THIS SECTION.

3109.3.3 - WATER CIRCULATION, WATER TREATMENT AND DRAINAGE. THE SUPPLY, CIRCULATION, TREATMENT, AND DRAINAGE OF WATER FOR SWIMMING POOLS SHALL MEET THE REQUIREMENTS OF THE NEW YORK CITY PLUMBING CODE.

3109.3.4 - ELECTRICAL PRECAUTIONS. NO OVERHEAD ELECTRICAL CONDUCTORS SHALL BE INSTALLED WITHIN 15 FEET (4572 MM) OF ANY SWIMMING POOL. ALL METAL FENCES, ENCLOSURES, OR RAILINGS THAT MIGHT BECOME ELECTRICALLY CHARGED AS A RESULT OF CONTACT WITH BROKEN OVERHEAD CONDUCTORS OR FROM ANY OTHER CAUSE NEAR, OR ADJACENT TO, A SWIMMING POOL SHALL BE GROUNDED IN ACCORDANCE WITH THE PROVISIONS OF LIGHTNING PROTECTION IN THE NEW YORK CITY ELECTRICAL CODE.

3109.5.1 - BARRIER HEIGHT AND CLEARANCES. THE TOP OF THE BARRIER ENCLOSING A PRIVATE SWIMMING POOL SHALL BE NOT LESS THAN 48 INCHES (1219 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. THE VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE NOT GREATER THAN 2 INCHES (51 MM) MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. WHERE THE TOP OF THE POOL STRUCTURE IS ABOVE GRADE, THE BARRIER IS AUTHORIZED TO BE ERECTED AT GRADE LEVEL OR MOUNTED ON TOP OF THE POOL STRUCTURE, AND THE VERTICAL CLEARANCE BETWEEN THE TOP OF THE POOL STRUCTURE AND THE BOTTOM OF THE BARRIER SHALL BE NOT GREATER THAN 4 INCHES (102 MM).

3109.5.1.1 - OPENINGS. OPENINGS IN THE BARRIER SHALL NOT ALLOW PASSAGE OF A 4-INCH-DIAMETER (102 MM) SPHERE.

3109.5.1.4 - WIDELY SPACED HORIZONTAL MEMBERS. WHERE THE BARRIER IS COMPOSED OF HORIZONTAL AND VERTICAL MEMBERS AND THE DISTANCE BETWEEN THE TOPS OF THE HORIZONTAL MEMBERS IS 45 INCHES (1143 MM) OR MORE, SPACING BETWEEN VERTICAL MEMBERS SHALL BE NOT GREATER THAN 4 INCHES (102 MM), WHERE THERE ARE DECORATIVE CUTOUTS WITHIN VERTICAL MEMBERS, SPACING WITHIN THE CUTOUTS SHALL BE NOT GREATER THAN 1 1/2 INCHES (44 MM) IN WIDTH.

3109.5.4 - CONSTRUCTION REQUIREMENTS. PRIVATE SWIMMING POOLS SHALL BE CONSTRUCTED SO AS TO BE WATER TIGHT AND EASILY CLEANED. THEY SHALL BE BUILT OF NONABSORBENT MATERIALS WITH SMOOTH SURFACES AND SHALL BE FREE OF OPEN CRACKS AND OPEN JOINTS.

3109.5.4.1 - WALLS. THE WALLS OF SWIMMING POOLS SHALL BE VERTICAL FOR NOT LESS THAN THE TOP 30 INCHES (762 MM) BELOW THE NORMAL WATER LEVEL. THE JUNCTIONS BETWEEN THE SIDE WALLS AND THE BOTTOM SHALL BE COVERED. A SWIMMING POOL OVERFLOW SHALL BE PROVIDED MEETING THE REQUIREMENTS OF THE NEW YORK CITY PLUMBING CODE.

3109.5.4.2 - BOTTOM SLOPES. THE BOTTOM OF THE SWIMMING POOL SHALL SLOPE DOWNWARD TOWARD THE MAIN DRAINS. THE SLOPE IN SHALLOW AREAS WITH DEPTHS LESS THAN 5 FEET (1524 MM) SHALL NOT EXCEED 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (8-PERCENT SLOPE). IN PORTIONS OF THE SWIMMING POOL WITH DEPTH GREATER THAN 5 FEET (1524 MM), THE SLOPE SHALL NOT BE STEEPER THAN 1 UNIT VERTICAL IN 3 UNITS HORIZONTAL (33-PERCENT SLOPE).

3109.5.4.3 - LADDERS. THERE SHALL BE A LADDER OR STEPS WITH HANDRAILS AT THE DEEP END AND AT THE SHALLOW END OF EVERY SWIMMING POOL. LADDERS AND STEPS SHALL HAVE NO-SLIP TREADS. ALL LADDERS SHALL BE RIGIDLY INSTALLED AND SHALL BE CONSTRUCTED OF CORROSION-RESISTANT MATERIALS.

3109.5.4.4 - WALKWAYS. EVERY SWIMMING POOL SHALL HAVE A WALKWAY NOT LESS THAN 5 FEET (1524 MM) WIDE AROUND ITS ENTIRE PERIMETER. THE WALKWAY SHALL HAVE A NONSLIP SURFACE AND SHALL BE CONSTRUCTED TO DRAIN AWAY FROM THE SWIMMING POOL.

3109.5.4.5 - HANDHOLDS. EVERY SWIMMING POOL SHALL BE CONSTRUCTED SO THAT EITHER THE OVERFLOW GUTTER, IF PROVIDED, OR THE TOPS OF THE SIDE WALLS AFFORD A CONTINUOUS HAND HOLD FOR BATHERS.

3109.5.4.6 - MARKINGS. PERMANENT MARKINGS SHOWING THE DEPTH OF THE SHALLOW END, BREAK POINTS, DIVING DEPTH AND DEEP END SHALL BE PROVIDED SO AS TO BE VISIBLE FROM BOTH INSIDE AND OUTSIDE THE SWIMMING POOL.

YARD ZONING REGULATIONS

23-44 - PERMITTED OBSTRUCTIONS IN REQUIRED YARDS OR REAR YARD EQUIVALENTS:

(A) IN ANY YARD OR REAR YARD EQUIVALENT
(19) SWIMMING POOLS, ACCESSORY, ABOVE-GRADE STRUCTURES LIMITED TO A HEIGHT NOT EXCEEDING EIGHT FEET ABOVE THE LEVEL OF THE REAR YARD OR REAR YARD EQUIVALENT.
(20) TERRACES OR PORCHES, OPEN;

23-45 - MINIMUM REQUIRED FRONT YARDS: FRONT YARD MIN. 20 FEET

23-461 - SIDE YARDS FOR SINGLE- OR TWO-FAMILY RESIDENCES: NUMBER REQUIRED: 2 REQUIRED TOTAL WIDTH: 20 FEET REQUIRED MINIMUM WIDTH OF ANY SIDE YARD: 8 FEET

23-471 - MINIMUM REQUIRED REAR YARDS - BEYOND ONE HUNDRED FEET OF A STREET LINE: (B) IN R1 THROUGH R5 DISTRICTS, A REAR YARD WITH A MINIMUM DEPTH OF EIGHT FEET SHALL BE PROVIDED HERE SUCH REAR LOT LINE COINCIDES WITH A SIDE LOT LINE OF AN ADJOINING ZONING LOT.

SPECIAL NATURAL AREA DISTRICT NOTES

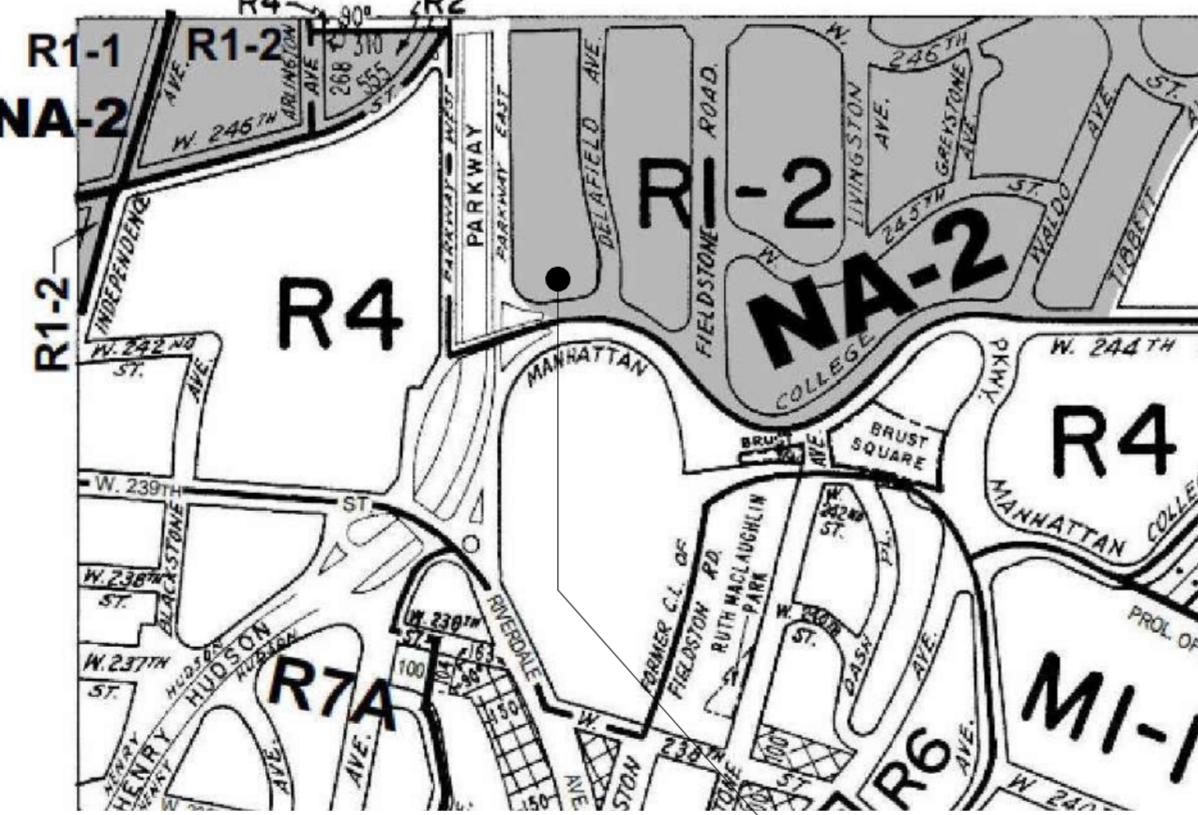
105-00 - GENERAL PURPOSES THE "SPECIAL NATURAL AREA DISTRICT" IS DESIGNED TO PROMOTE AND PROTECT PUBLIC HEALTH, SAFETY AND GENERAL WELFARE.

105-02 - GENERAL PROVISIONS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS RESOLUTION AND THE GENERAL PURPOSES OF THE SPECIAL NATURAL AREA DISTRICT, THE REGULATIONS OF THE DISTRICTS UPON WHICH THIS SPECIAL DISTRICT IS SUPERIMPOSED ARE SUPPLEMENTED OR MODIFIED IN ACCORDANCE WITH THE PROVISIONS OF THIS CHAPTER, IN ORDER TO PROTECT OUTSTANDING NATURAL FEATURES DESCRIBED HEREIN, EXCEPT AS MODIFIED BY THE EXPRESS PROVISIONS OF THIS CHAPTER, THE REGULATIONS OF THE UNDERLYING DISTRICT REMAIN IN EFFECT.

PRIOR TO ISSUANCE BY THE DEPARTMENT OF BUILDINGS OR OTHER CITY OR STATE AGENCIES, OF A PERMIT FOR ANY DEVELOPMENT, ENLARGEMENT OR SITE ALTERATION WITHIN A SPECIAL NATURAL AREA DISTRICT, OR FOR ANY SITE ALTERATION FOR WHICH NO PERMIT IS REQUIRED BY THE DEPARTMENT OF BUILDINGS OR OTHER CITY OR STATE AGENCIES, AN APPLICATION SHALL BE SUBMITTED TO THE CITY PLANNING COMMISSION FOR REVIEW AND APPROVAL PURSUANT TO SECTION 105-40 (SPECIAL REVIEW PROVISIONS), EXCEPT THOSE DEVELOPMENTS, ENLARGEMENTS AND SITE ALTERATIONS THAT ARE NOT SUBJECT TO THE PROVISIONS OF SECTION 105-40, AS SPECIFIED IN SECTION 105-021 (ACTIONS NOT REQUIRING SPECIAL REVIEW).

105-021 - ACTIONS NOT REQUIRING SPECIAL REVIEW THE SPECIAL REVIEW REQUIREMENTS OF SECTION 105-40 (SPECIAL REVIEW PROVISIONS) SHALL NOT APPLY TO THE FOLLOWING:
(A) A SITE ALTERATION ON A ZONING LOT CONTAINING BUILDINGS OR OTHER STRUCTURES, OR A DEVELOPMENT OR ENLARGEMENT ON ANY ZONING LOT, PROVIDED THAT SUCH ZONING LOTS SHALL HAVE:
(1) NOT MORE THAN 10,000 SQUARE FEET OF LOT AREA; (LOT AREA 9,213 SQFT)
(2) AN AVERAGE PERCENT OF SLOPE OF LESS THAN 10 PERCENT; (AVERAGE SLOPE: 7%)
(3) NO SIGNIFICANT NATURAL FEATURES, AND THE RESULTING DEVELOPMENT, ENLARGEMENT OR SITE ALTERATION CAN SATISFY THE REQUIREMENTS OF SECTION 105-30 (PRESERVATION OF NATURAL FEATURES), (NO ALTERATION OF ANY NATURAL FEATURES) INCLUSIVE;
(4) THE RESULTING DEVELOPMENT, ENLARGEMENT OR SITE ALTERATION NOT EXCEED 2,500 SQUARE FEET OF LOT COVERAGE; (ALTERATION AREA 1,963 SQFT) AND
(5) NO NOTICE OF RESTRICTION OR RESTRICTIVE DECLARATION RECORDED AGAINST THE TITLE OF SUCH PROPERTY;

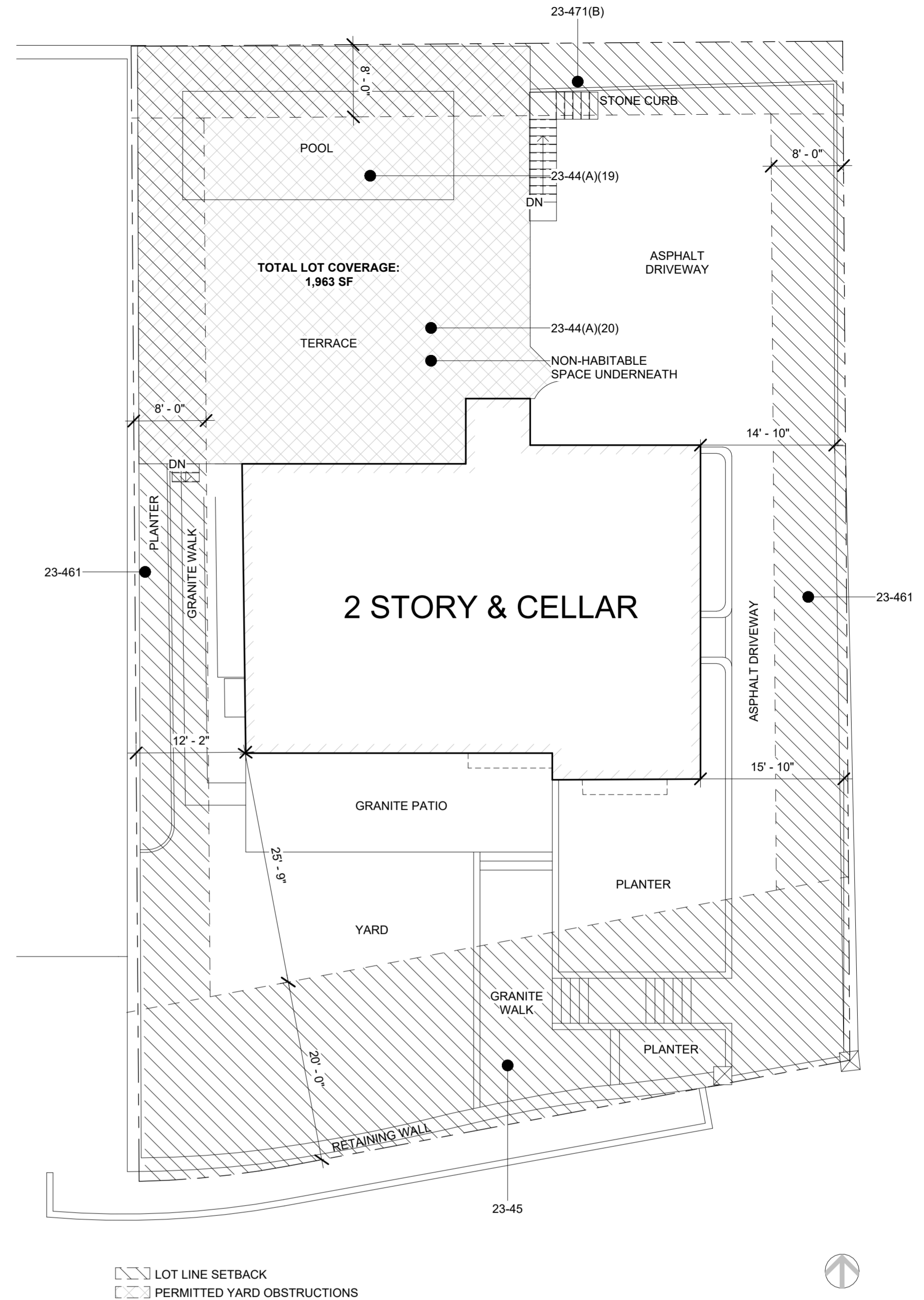
ZONING MAP



SPECIAL PURPOSE DISTRICT The letter(s) within the shaded area designates the special purpose district as described in the text of the Zoning Resolution.

PROJECT LOCATION 4401 MANHATTAN COLLEGE PARKWAY, BRONX, NY 10471

Table with 2 columns: Field Name and Value. Fields include ADDRESS (4401 MANHATTAN COLLEGE PY), BLOCK (5813), LOT (105), BUILDING CLASS (A3), BUILDINGS ON LOT (1), TOTAL UNITS (1), COMMUNITY DISTRICT (BRONX 8), LANDMARK STATUS (L-LANDMARK), LANDMARK TYPE (FIELDSTON HISTORIC DISTRICT), ENVIRONMENTAL RESTRICTIONS (N/A), SPECIAL STATUS (N/A), LOT FRONTAGE (81.83' (irregular)), LOT DEPTH (112.58' (irregular)), LOT AREA (9213 SF), GROSS FLOOR AREA (4308 SF), LOT COVERAGE (1634 SF), ZONING MAP (1d), ZONING (R1-2 NA-2), SPECIAL ZONING DISTRICT (NA-2 - NATURAL AREA-2).



ZONING ANALYSIS table with columns: ZR, ITEM/DESCRIPTION, PERMITTED, EXISTING, PROPOSED, COMPLIANCE, NOTES. Rows include USES (RESIDENTIAL, FAR, FLOOR AREA), OPEN SPACE, YARD, PERMITTED OBSTRUCTIONS, MINIMUM FRONT YARD, MINIMUM SIDE YARD, MINIMUM REAR YARD COINCIDING ADJOINING SIDE LOT LINE, HEIGHT AND SETBACKS, PARKING, and STREET TREES.

PROJECT INFORMATION:

ADDRESS: 4401 MANHATTAN COLLEGE PARKWAY, BRONX, NY 10471

DATE: 11/10/2023

GROSS FLOOR AREA: 1,741 SF

ARCHITECT OF RECORD:



DY-O DESIGN OFFICE 143 WEST 29 STREET NEW YORK, NY 10001 SUITE# 902A

CONTACT: STEFANO MORISI R.A. T: 1-917-960-3961 E: INFO@STUDIODYO.COM

ENGINEER:

TENANT:

LANDLORD:

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Revision table with columns: Rev, Date, Description, Issued By, Issued To. Row 0: 11/10/2023, DOB Submission 1, DYO, DOB.

SHEET TITLE:

ZONING

SEAL AND SIGNATURE DATE MM/DD/YYYY

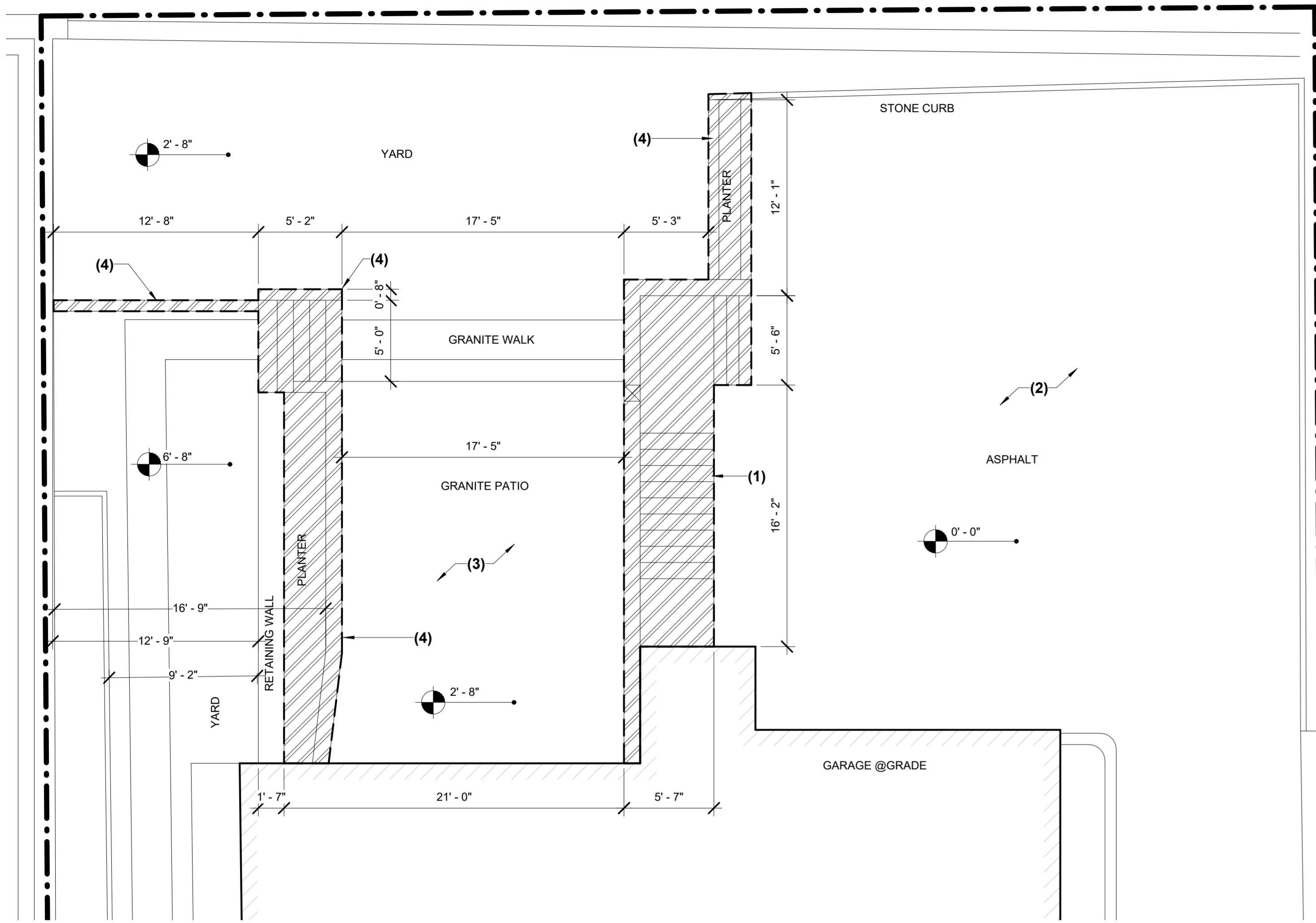


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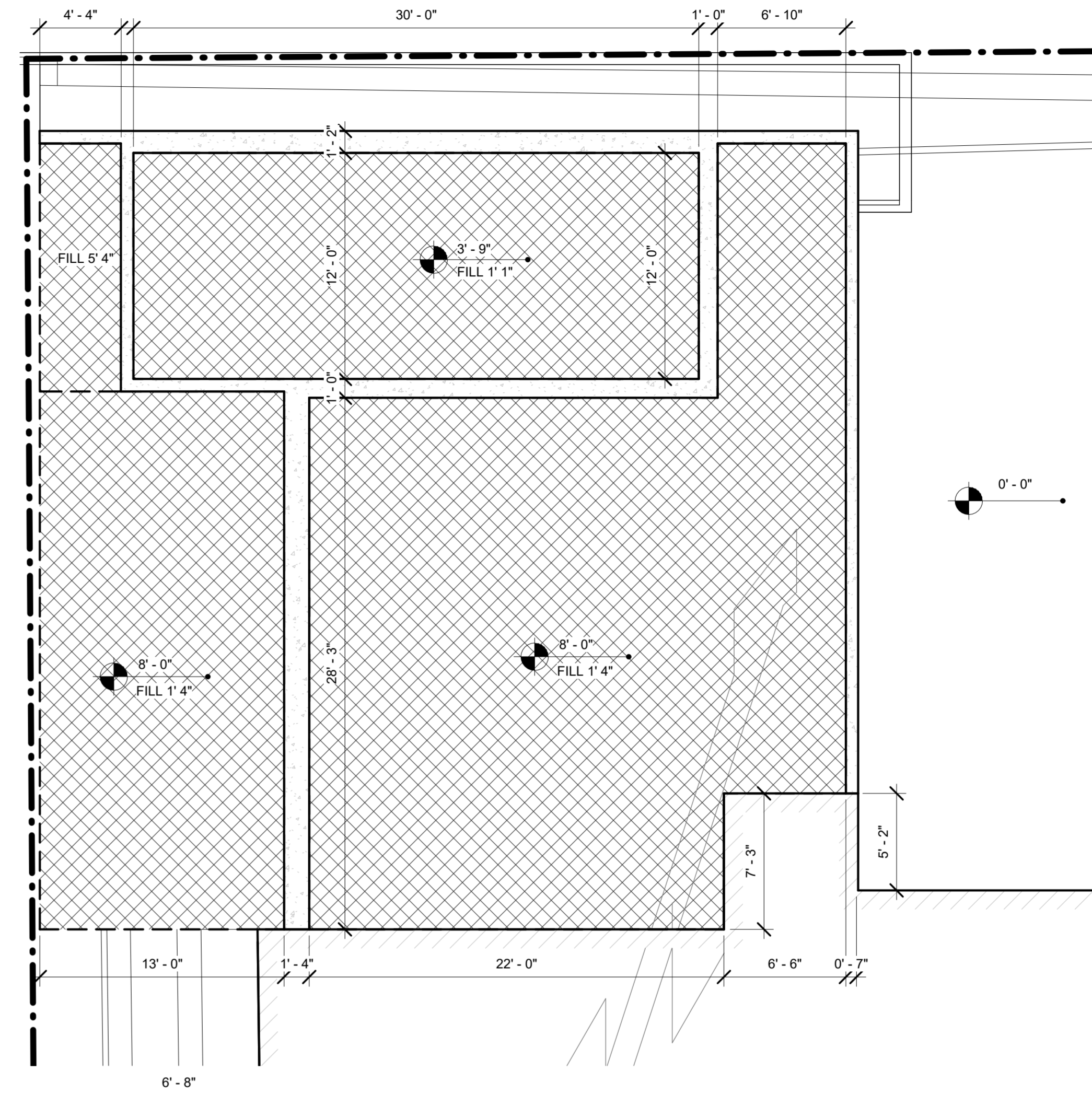
CHECKED BY SM

DYO NO. 221018NC

Z-100.00



1 Existing Rear Yard Close-Up Plan
3/16" = 1'-0"



2 Existing Rear Yard Excavation Plan
3/16" = 1'-0"

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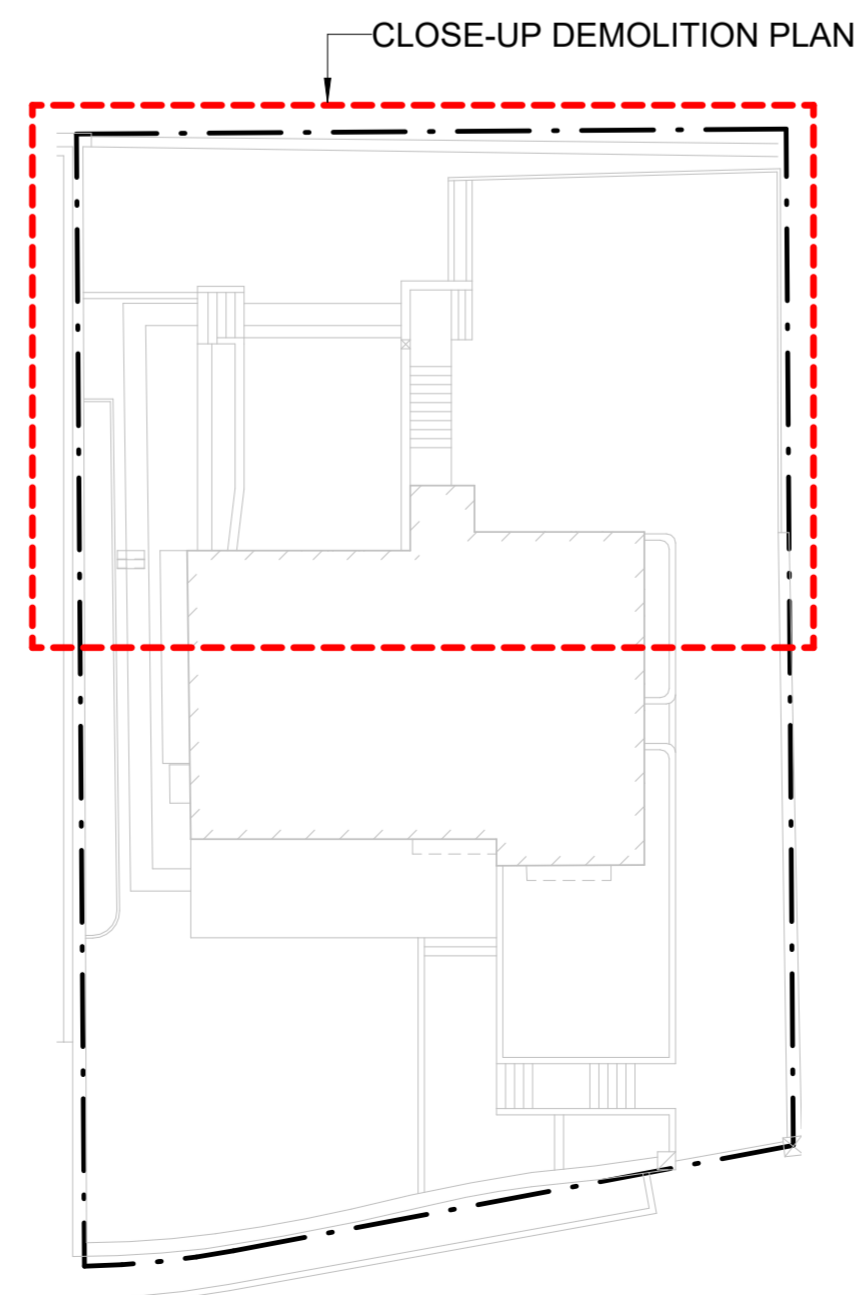
DEMOLITION FLOOR PLAN LEGEND

- EXISTING ELEMENTS TO REMAIN
- EXISTING HOUSE
- EXISTING ELEMENTS TO BE REMOVED
- NEW CONCRETE RETAINING WALL
- NEW FILL EARTHWORK
- NEW CUT EARTHWORK
- DEMOLISHED ELEMENT
- PROPERTY LINE
- IDENTIFICATION NUMBER FOR KEY NOTES
- SPOT ELEVATION

DEMOLITION KEY NOTES

- (1) EXISTING OUTDOOR STAIRS TO BE REMOVED.
- (2) EXISTING ASPHALT SURFACE TO BE REMOVED AND AREA TO BE FLATTENED TO BASE LEVEL.
- (3) EXISTING GRANITE PATIO SURFACE TO BE REMOVED AND AREA LEFT TO EXISTING LEVEL.
- (4) EXISTING PLANTER AND STAIRS TO BE REMOVED IN PREPARATION TO FILL YARD LEVEL.

KEY DEMOLITION PLAN



CUT AND FILL VOLUME

CUT AND FILL	
Earthwork	Volume (ft³)
Fill	956

SHEET TITLE:

DEMOLITION PLAN

SEAL AND SIGNATURE

DATE: MM/DD/YYYY
DRAWN BY: JI
CHECKED BY: SM
DYO NO. 221018NC

DM-100.00

PROJECT INFORMATION:

ADDRESS: 4401 MANHATTAN COLLEGE PARKWAY, BRONX, NY 10471
 DATE: 11/10/2023
 GROSS FLOOR AREA: 1,741 SF

ARCHITECT OF RECORD:

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ENGINEER:

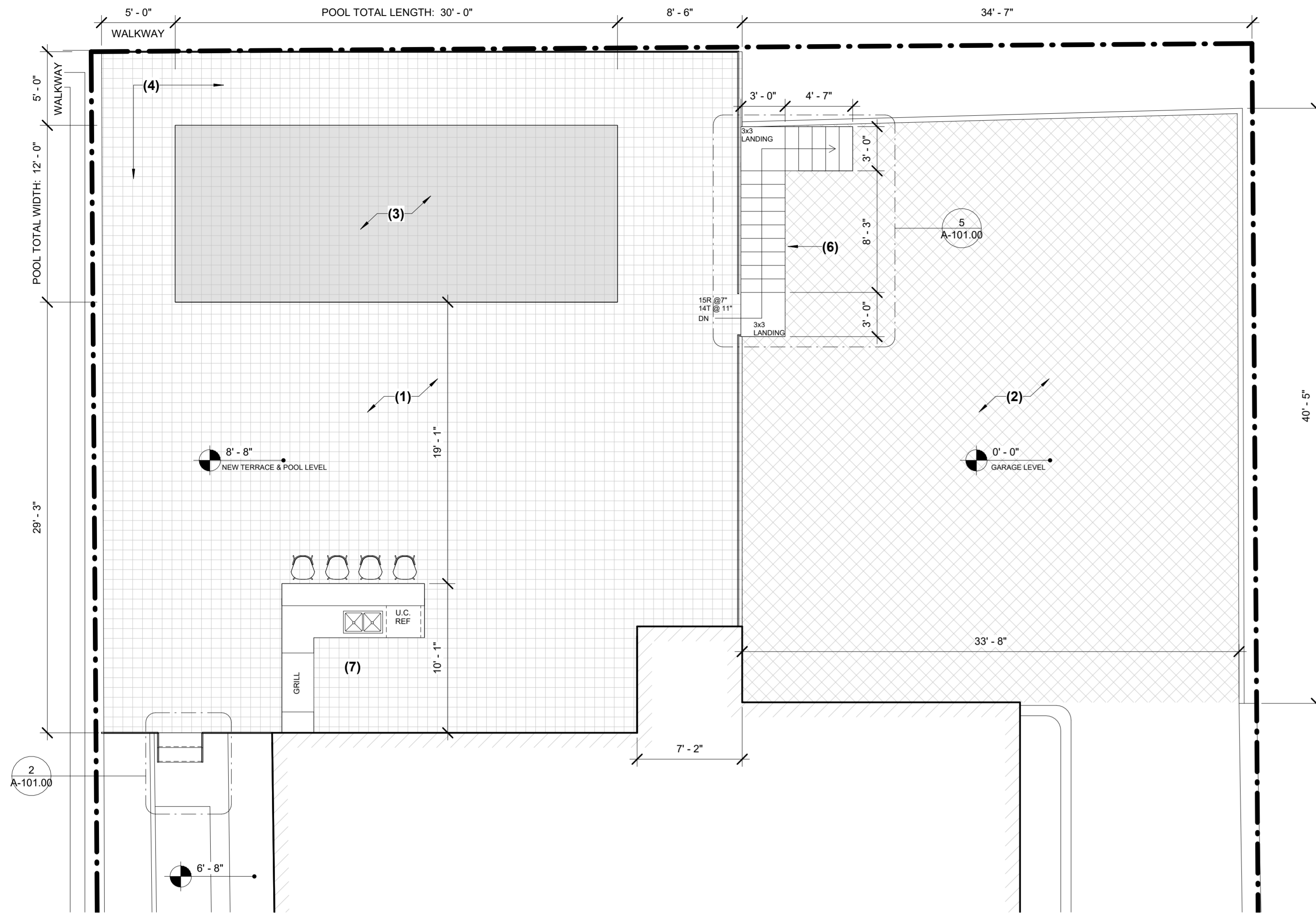
TENANT:

LANDLORD:

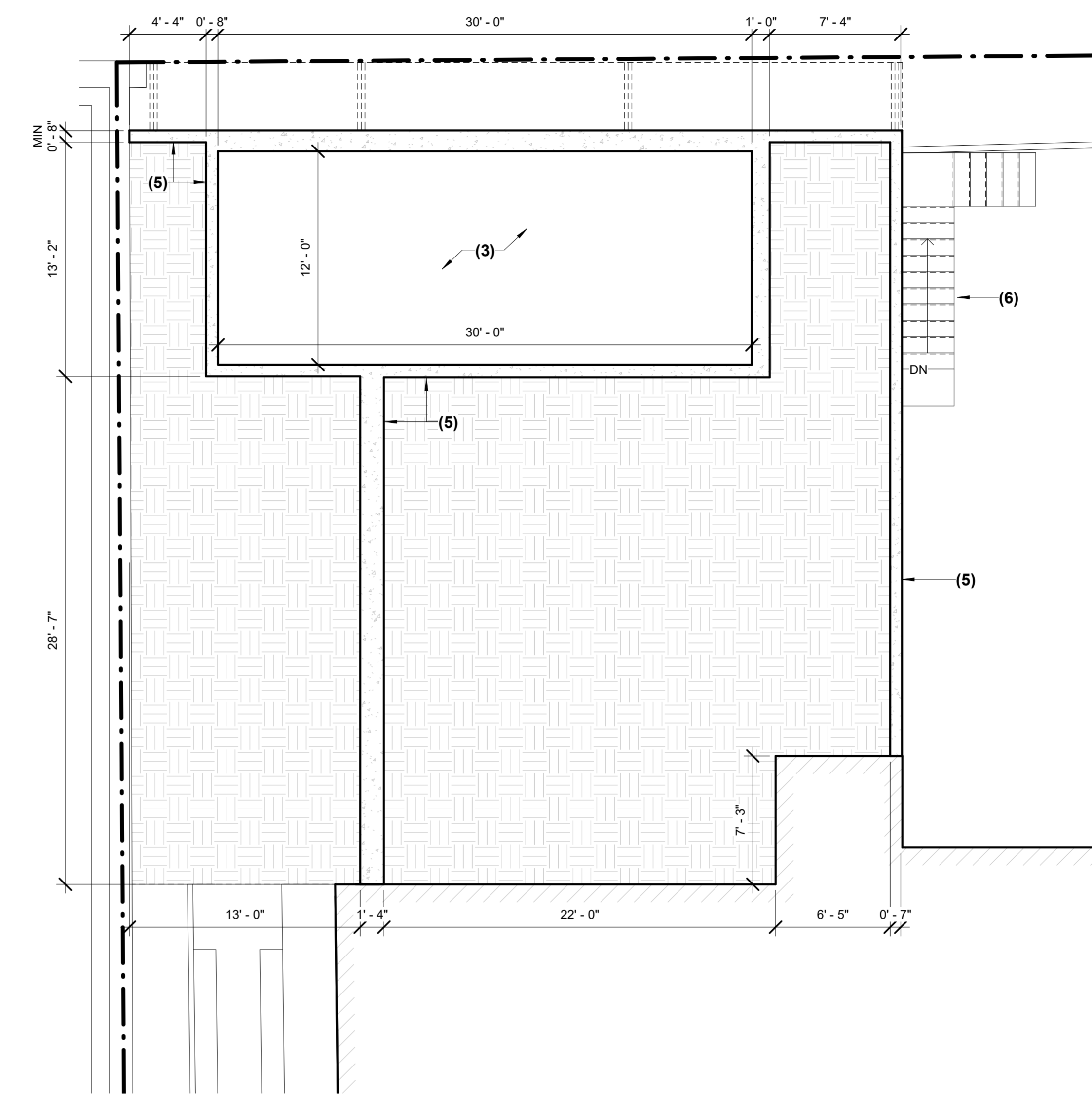
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1 Proposed Rear Yard Construction Plan
 3/16" = 1'-0"



2 Proposed Rear Yard Retaining Walls Plan
 3/16" = 1'-0"

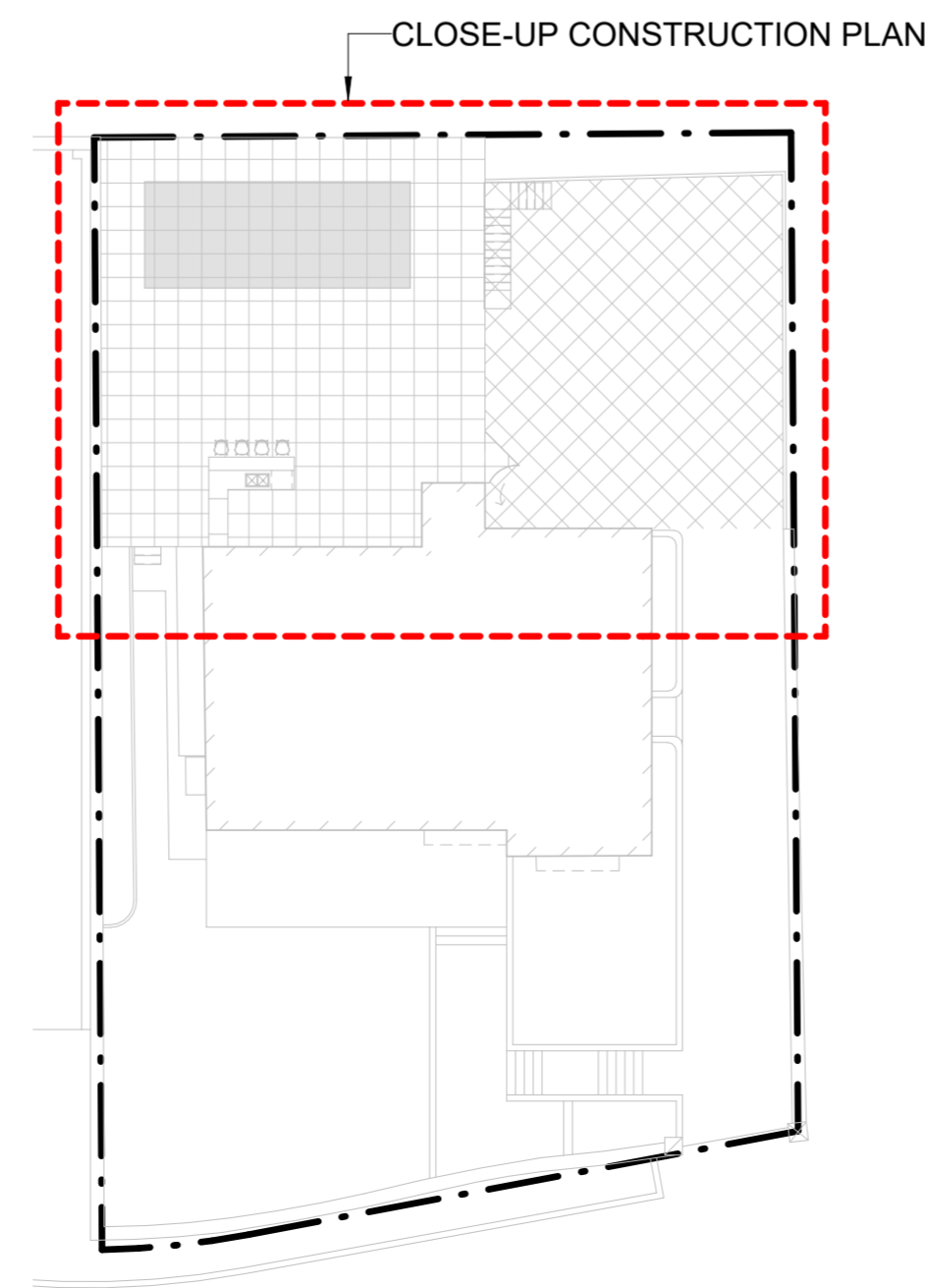
FLOOR PLAN LEGEND

- TERRACE
- WALKWAY
- ABOVE GROUND POOL
- ASPHALT SURFACE
- EXISTING HOUSE
- NEW COLUMN
- NEW LAMINATED VENEER LUMBER (LVL) JOISTS
- NEW LAMINATED VENEER LUMBER (LVL) BEAM
- PROPERTY LINE
- IDENTIFICATION NUMBER FOR KEY NOTES
- SPOT ELEVATION

CONSTRUCTION PLAN KEY NOTES

- (1) NEW TERRACE
- (2) EXISTING ASPHALT SURFACE TO HAVE A DRAINAGE SLOPE RATIO 12 TO 1.5 IN THE DIRECTION OF DRAIN
- (3) NEW POOL WITH BOTTOM SLOPE TO MAIN DRAIN. SLOPE NOT TO EXCEED 8% (1 TO 12)
- (4) NEW 5' WALKWAY AROUND ENTIRE PERIMETER OF POOL
- (5) NEW CONCRETE RETAINING WALL. SEE STR. DRAWINGS
- (6) NEW CONCRETE CONSTRUCTED STAIRS: 15 RISERS @ 7" & 14 TREADS @ 11". 36"X36" CONCRETE LANDING
- (7) NEW OUTDOOR KITCHEN, ELECTRIC, NO GAS

KEY PLAN



NOTES

1. POOLS SHALL BE CONSTRUCTED SO AS TO BE WATER TIGHT AND EASILY LEANED. THEY SHALL BE BUILT OF NONABSORBENT MATERIALS WITH SMOOTH SURFACES AND SHALL BE FREE OF OPEN CRACKS AND OPEN JOINTS.
2. THE WALLS OF SWIMMING POOLS SHALL BE VERTICAL FOR AT LEAST THE TOP 30 INCHES (762 MM) BELOW THE NORMAL WATER LEVEL. THE JUNCTIONS BETWEEN THE SIDE WALLS AND THE BOTTOM SHALL BE COVERED. A SWIMMING POOL OVERFLOW SHALL BE PROVIDED MEETING THE REQUIREMENTS OF THE NEW YORK CITY PLUMBING CODE.
3. THE BOTTOM OF THE SWIMMING POOL SHALL SLOPE DOWNWARD TOWARD THE MAIN DRAINS. THE SLOPE IN SHALLOW AREAS WITH DEPTHS LESS THAN 5 FEET (1524 MM) SHALL NOT EXCEED 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (8-PERCENT SLOPE).
4. THERE SHALL BE A LADDER OR STEPS WITH HANDRAILS AT THE DEEP END AND AT THE SHALLOW END OF EVERY SWIMMING POOL. LADDERS AND STEPS SHALL HAVE NON-SLIP TREADS. ALL LADDERS SHALL BE RIGIDLY INSTALLED AND SHALL BE CONSTRUCTED OF CORROSION-RESISTANT MATERIALS.
5. EVERY SWIMMING POOL SHALL HAVE A WALKWAY AT LEAST 5 FEET (1524 MM) WIDE AROUND ITS ENTIRE PERIMETER. THE WALKWAY SHALL HAVE A NONSLIP SURFACE AND SHALL BE CONSTRUCTED TO DRAIN AWAY FROM THE SWIMMING POOL.
6. EVERY SWIMMING POOL SHALL BE CONSTRUCTED SO THAT EITHER THE OVERFLOW GUTTER, IF PROVIDED, OR THE TOPS OF THE SIDE WALLS AFFORD A CONTINUOUS HANDHOLD FOR BATHERS.
7. PERMANENT MARKINGS SHOWING THE DEPTH OF THE SHALLOW END, BREAK POINTS, DIVING DEPTH AND DEEP END SHALL BE PROVIDED SO AS TO BE VISIBLE FROM BOTH INSIDE AND OUTSIDE THE SWIMMING POOL.
8. THE TOP OF THE BARRIER ENCLOSING A PRIVATE SWIMMING POOL SHALL BE AT LEAST 48 INCHES (1219 MM) ABOVE GRADE MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. THE MAXIMUM VERTICAL CLEARANCE BETWEEN GRADE AND THE BOTTOM OF THE BARRIER SHALL BE 2 INCHES (51 MM) MEASURED ON THE SIDE OF THE BARRIER THAT FACES AWAY FROM THE SWIMMING POOL. WHERE THE TOP OF THE POOL STRUCTURE IS ABOVE GRADE, THE BARRIER IS AUTHORIZED TO BE ERECTED AT GRADE LEVEL OR MOUNTED ON TOP OF THE POOL STRUCTURE. THE MAXIMUM VERTICAL CLEARANCE BETWEEN THE TOP OF THE POOL STRUCTURE AND THE BOTTOM OF THE BARRIER SHALL BE 4 INCHES (102 MM).

TOTAL SQUARE FOOTAGES

Area Schedule	
Name	Area
Pool	360 SF
Terrace	1615 SF
TOTAL	1745 SF

SHEET TITLE:

PROPOSED CONSTRUCTION PLAN

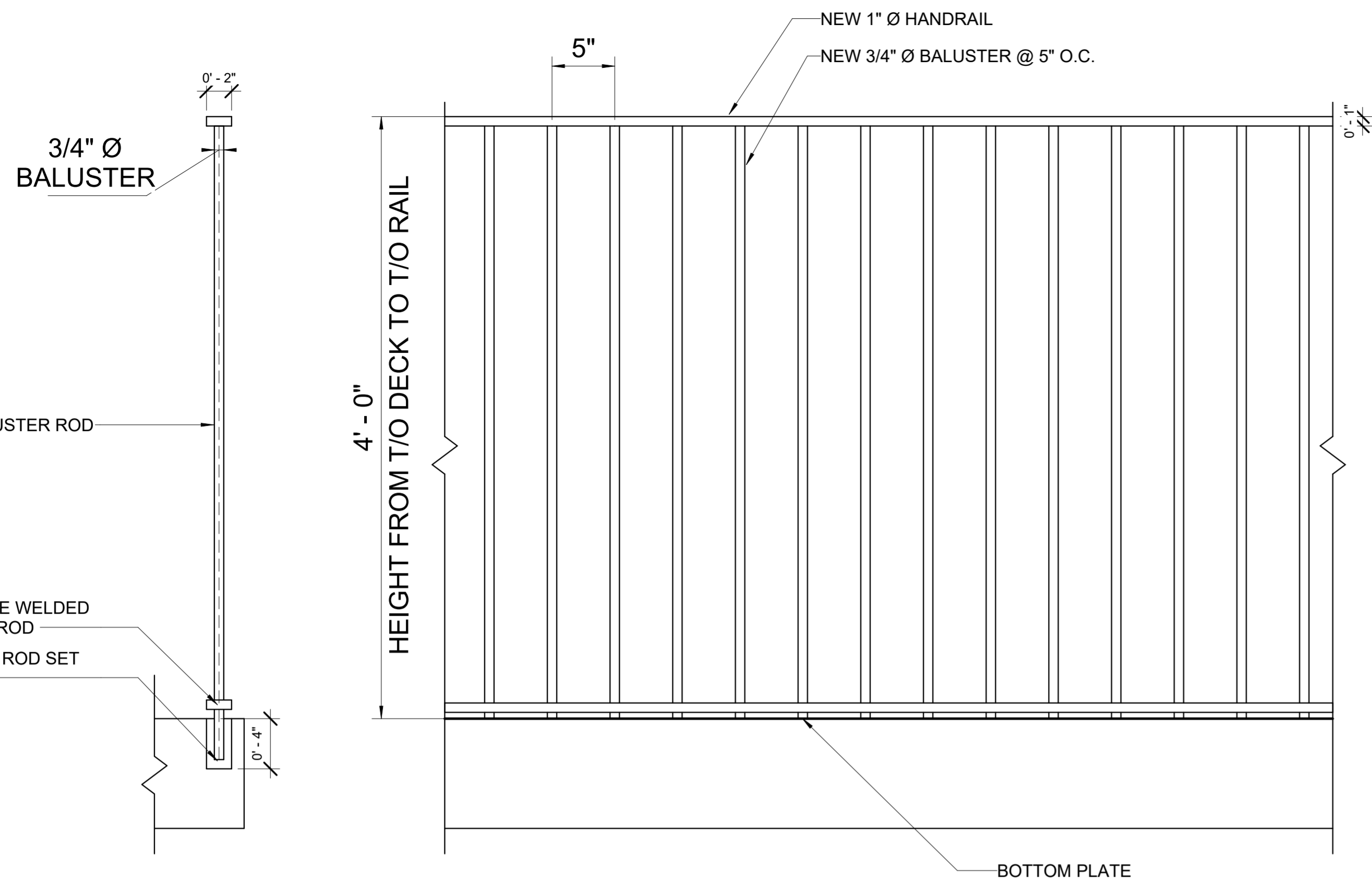
SEAL AND SIGNATURE

DATE: MM/DD/YYYY
 DRAWN BY: JI
 CHECKED BY: SM



DYO NO. 221018NC

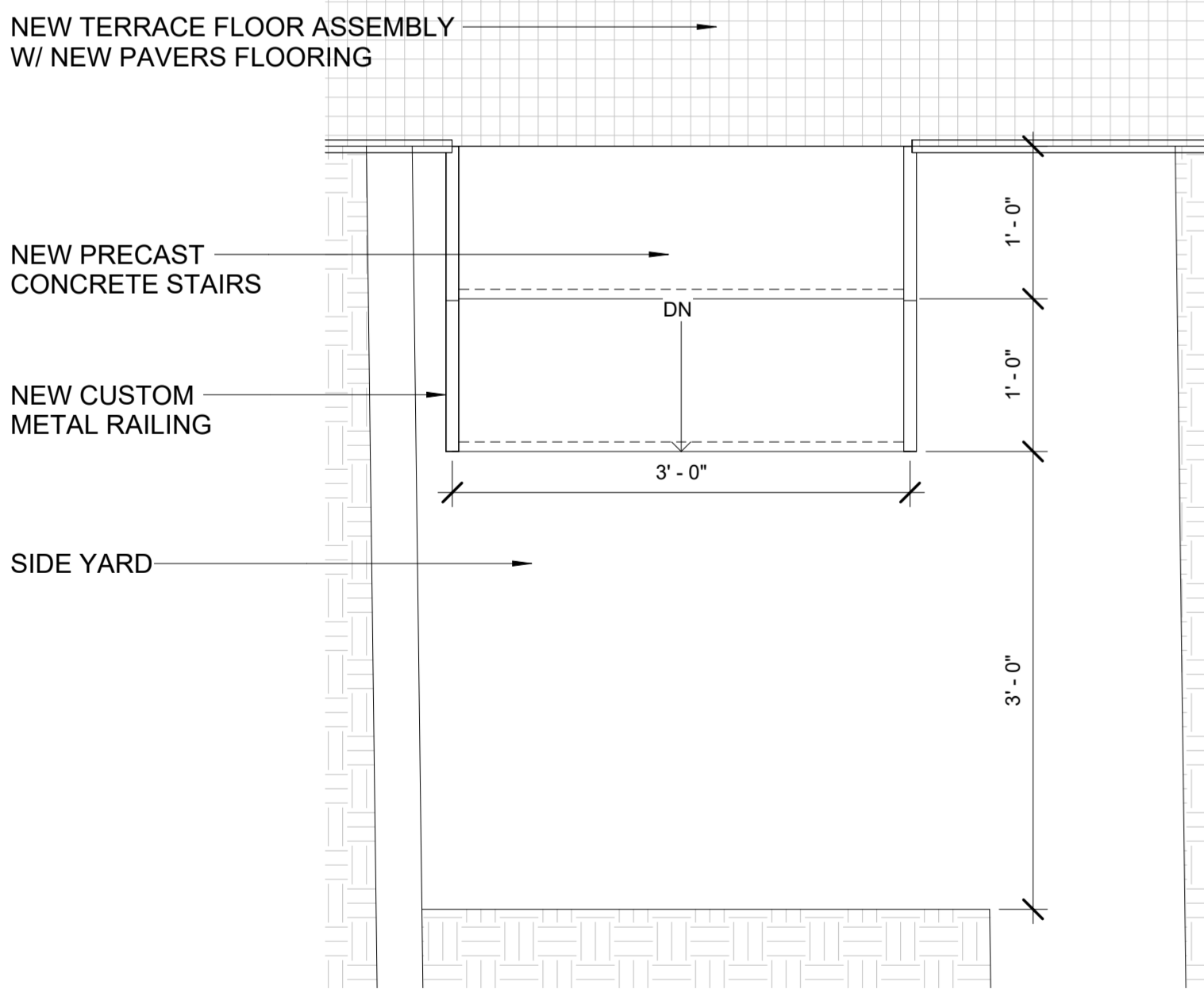
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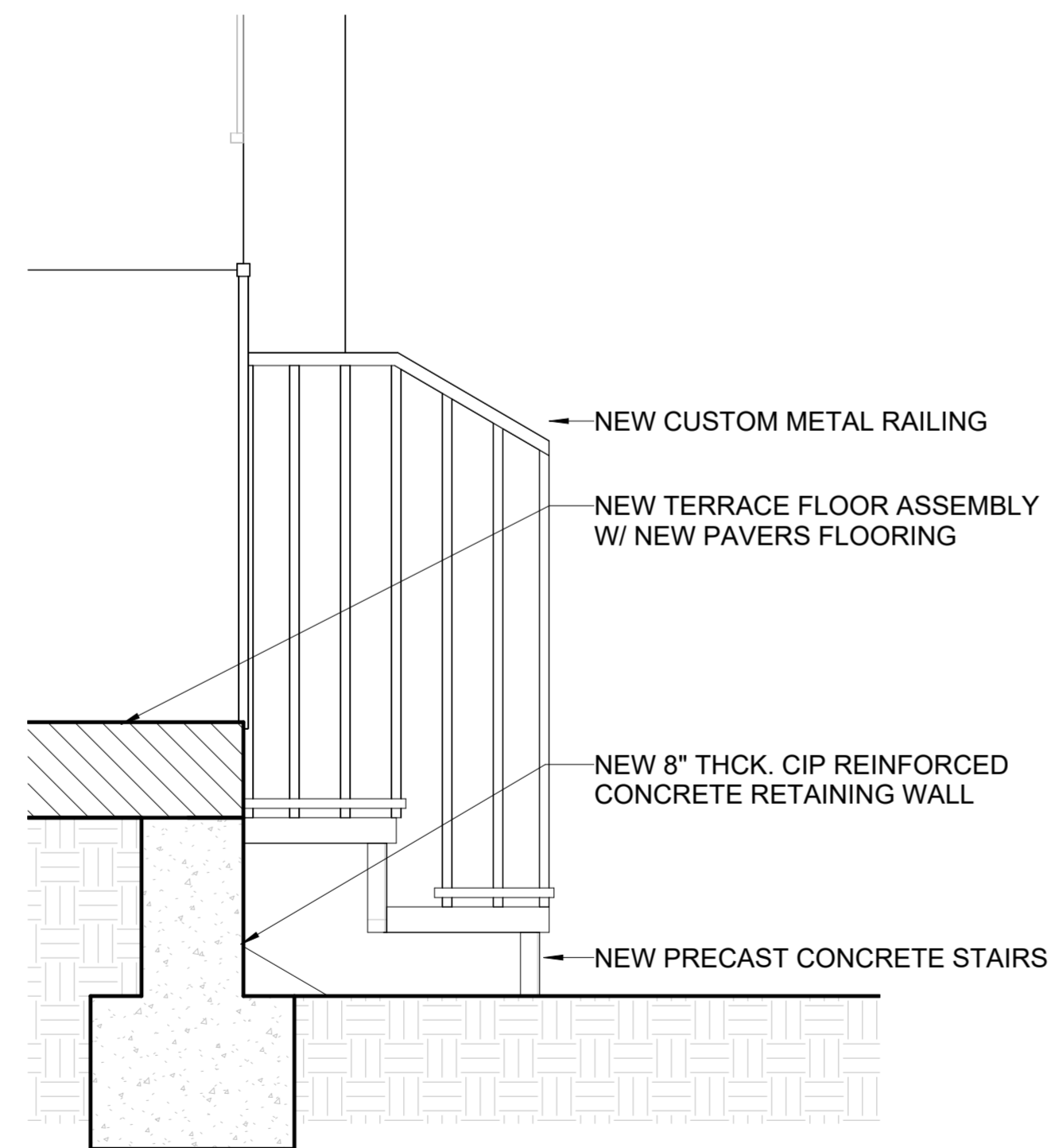
NOTES:

- BALUSTERS AND HANDRAILS TO BE POWDER-COATED, WELDED.
- HOT DIPPED GALVANIZED OR OTHERWISE PROTECTIVE COATED FASTENERS SHALL BE USED.
- RAILING TO WITHSTAND A 200 POINT LOAD IN ANY DIRECTION, AS PER NYC DOB CODE.

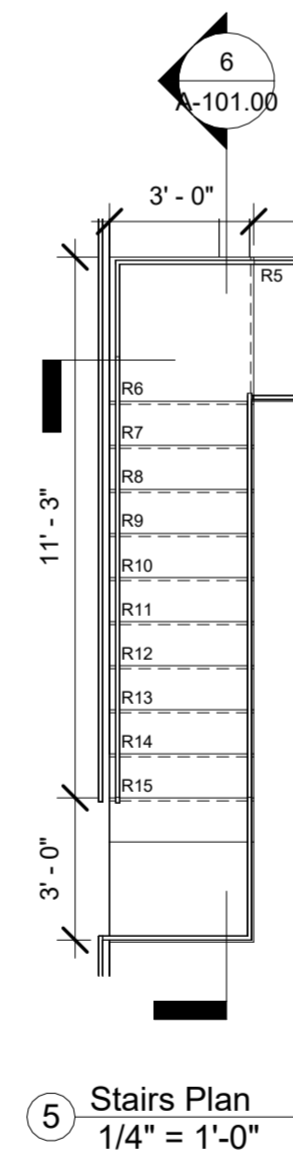
① Handrail Detail
1 1/2" = 1'-0"



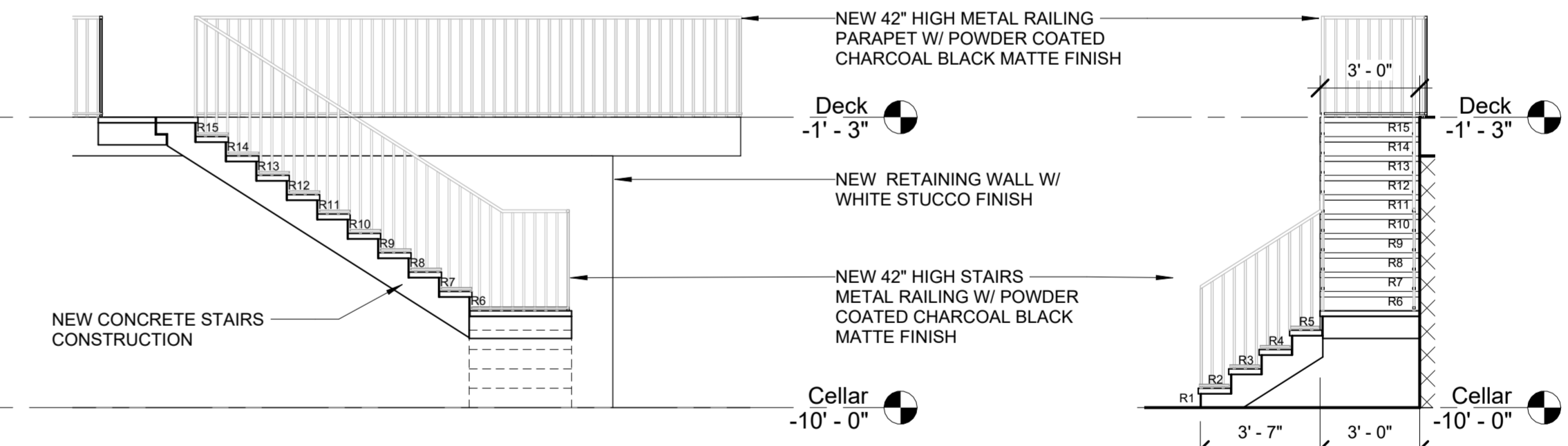
② Proposed New Stair Plan
1" = 1'-0"



③ Proposed New Stair Section
1" = 1'-0"

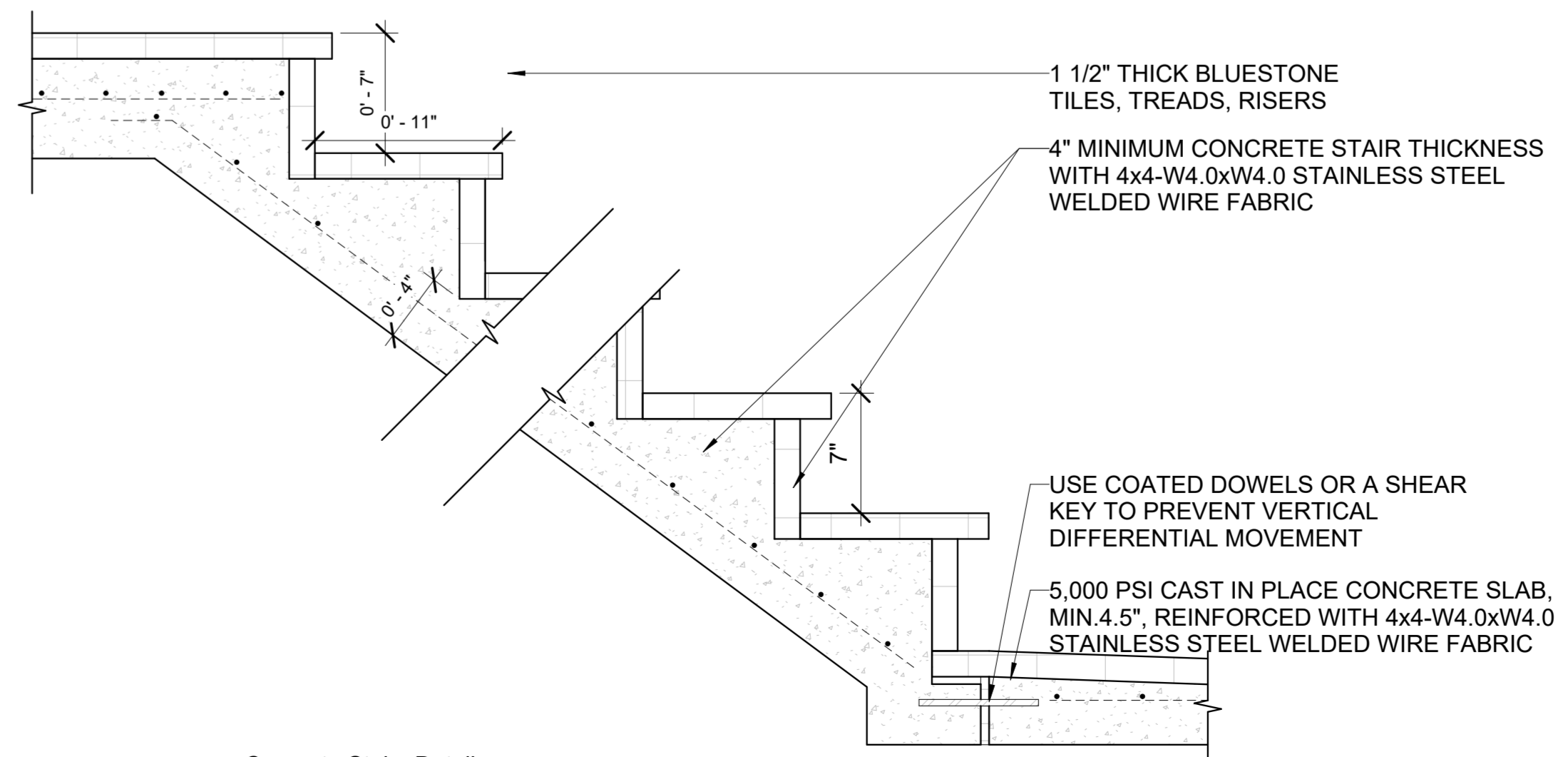


⑤ Stairs Plan
1/4" = 1'-0"

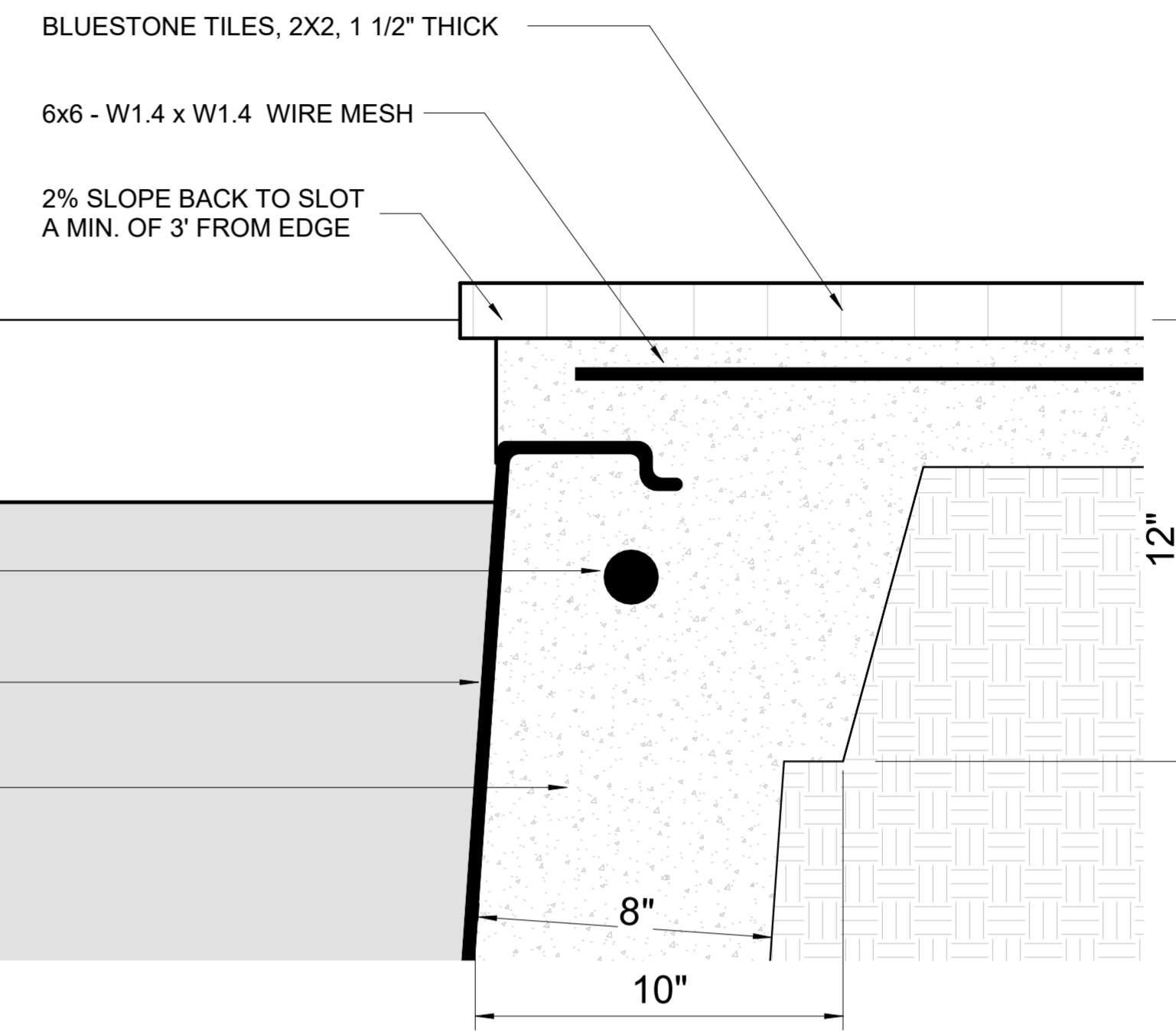


⑥ Stairs Section 1
1/4" = 1'-0"

⑧ Stairs Section 2
1/4" = 1'-0"



⑦ Concrete Stairs Detail
1 1/2" = 1'-0"



④ Edge Pool Detail
3" = 1'-0"

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DATE: 11/10/2023
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ARCHITECT OF RECORD:

DYO design office
DY-O DESIGN OFFICE
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NEW YORK, NY 10001 SUITE# 902A
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T: 1-917-960-3961
E: INFO@STUDIODYO.COM

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TENANT:

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SHEET TITLE:

PROPOSED DETAILS

SEAL AND SIGNATURE

DATE MM/DD/YYYY

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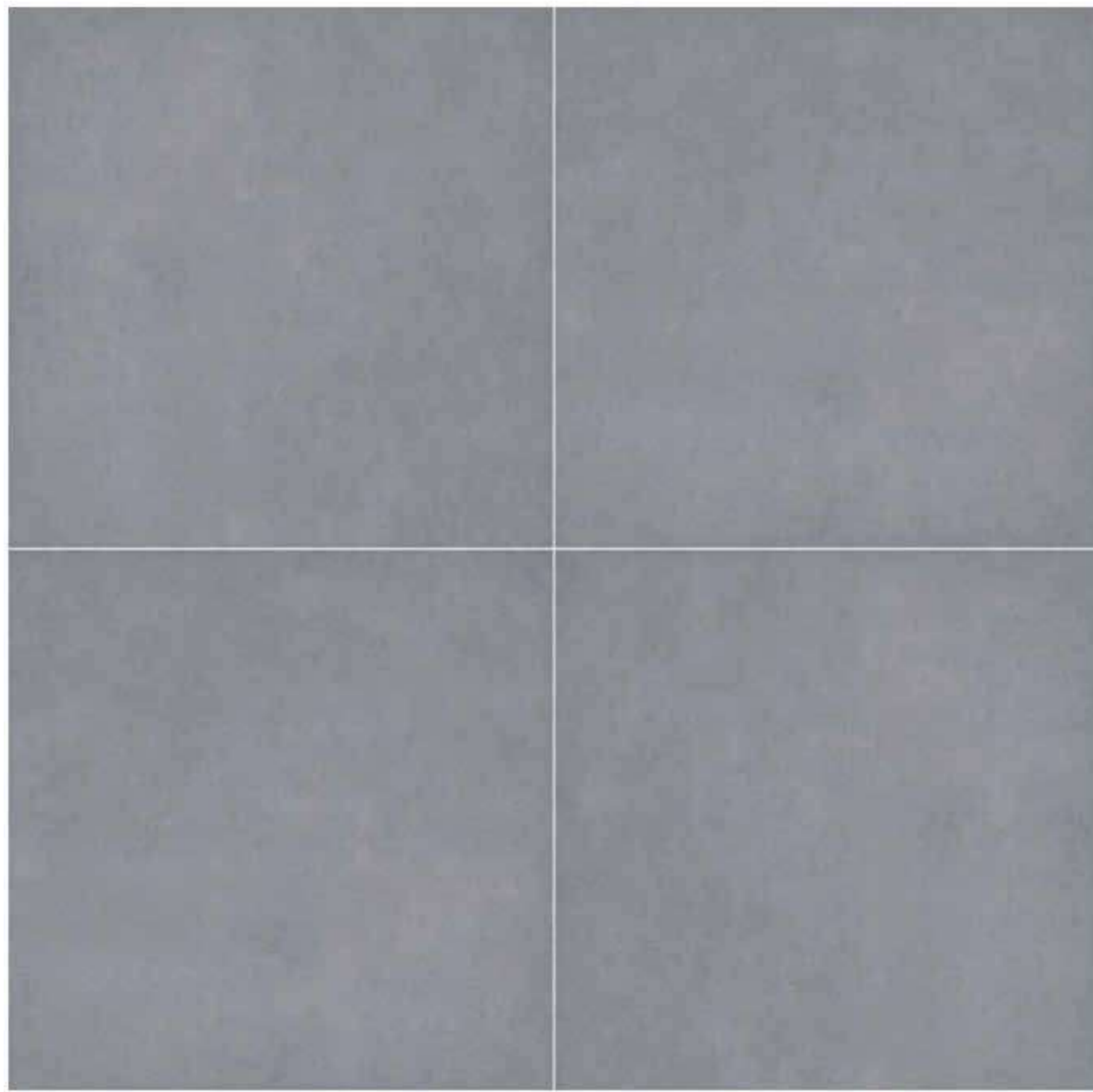
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SHEET 13 OF 17

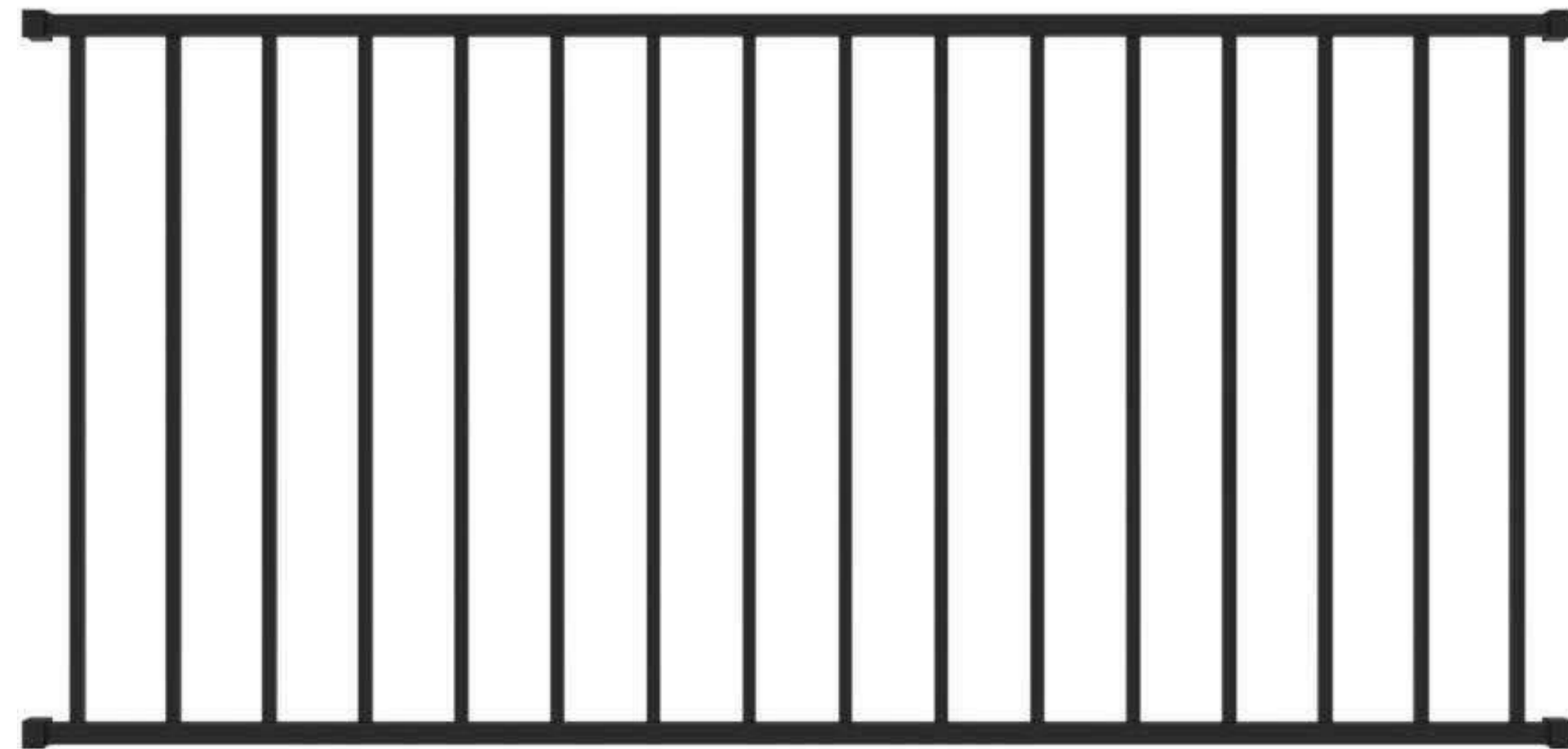
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TRUE BLUESTONE ARTERRA® PORCELAIN PAVERS
 COLOR: BLUE
 24 IN X 24 IN X 3/4 IN



WHITE STUCCO FINISH



CUSTOM-MADE METAL RAILING WITH POWDER-COATED PAINT
 COLOR: CHARCOAL BLACK, FINISH: MATTE
 42" HEIGHT

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SHEET TITLE:

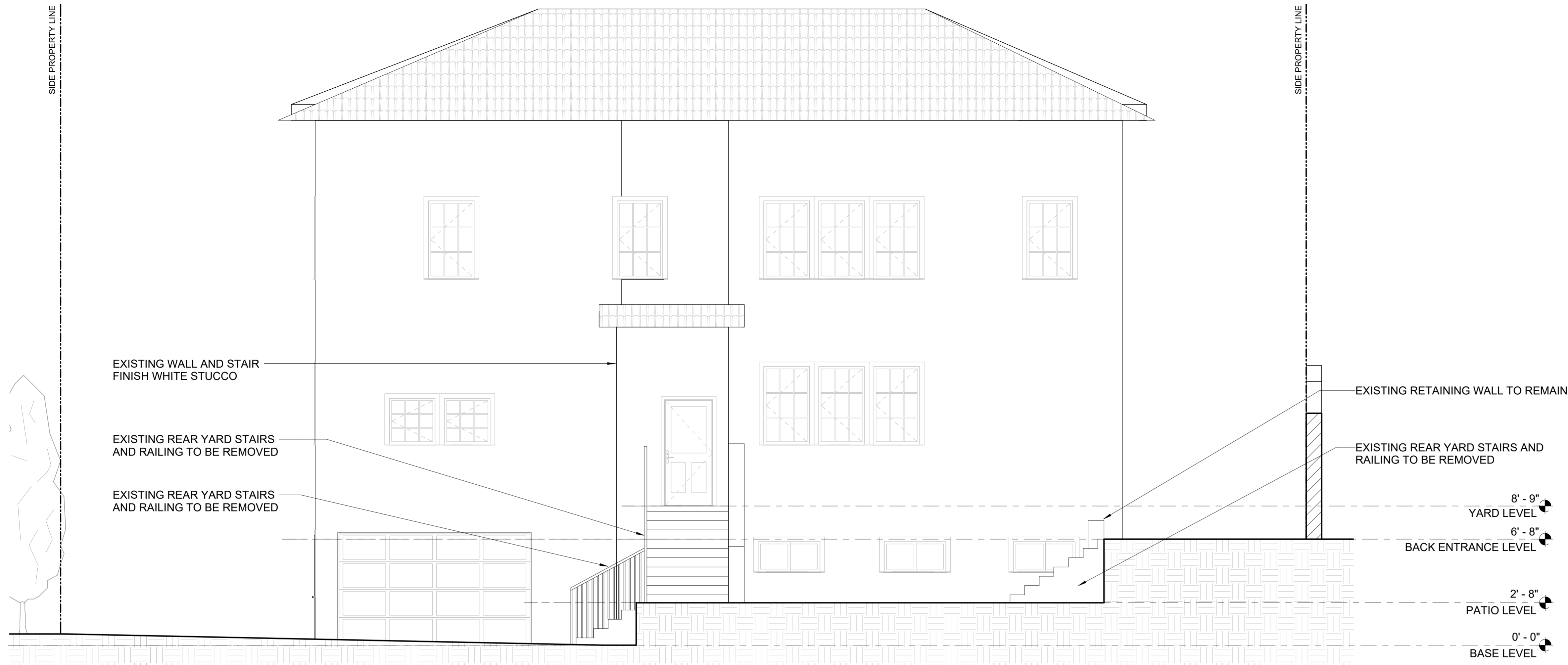
PROPOSED MATERIALS

SEAL AND SIGNATURE DATE MM/DD/YYYY

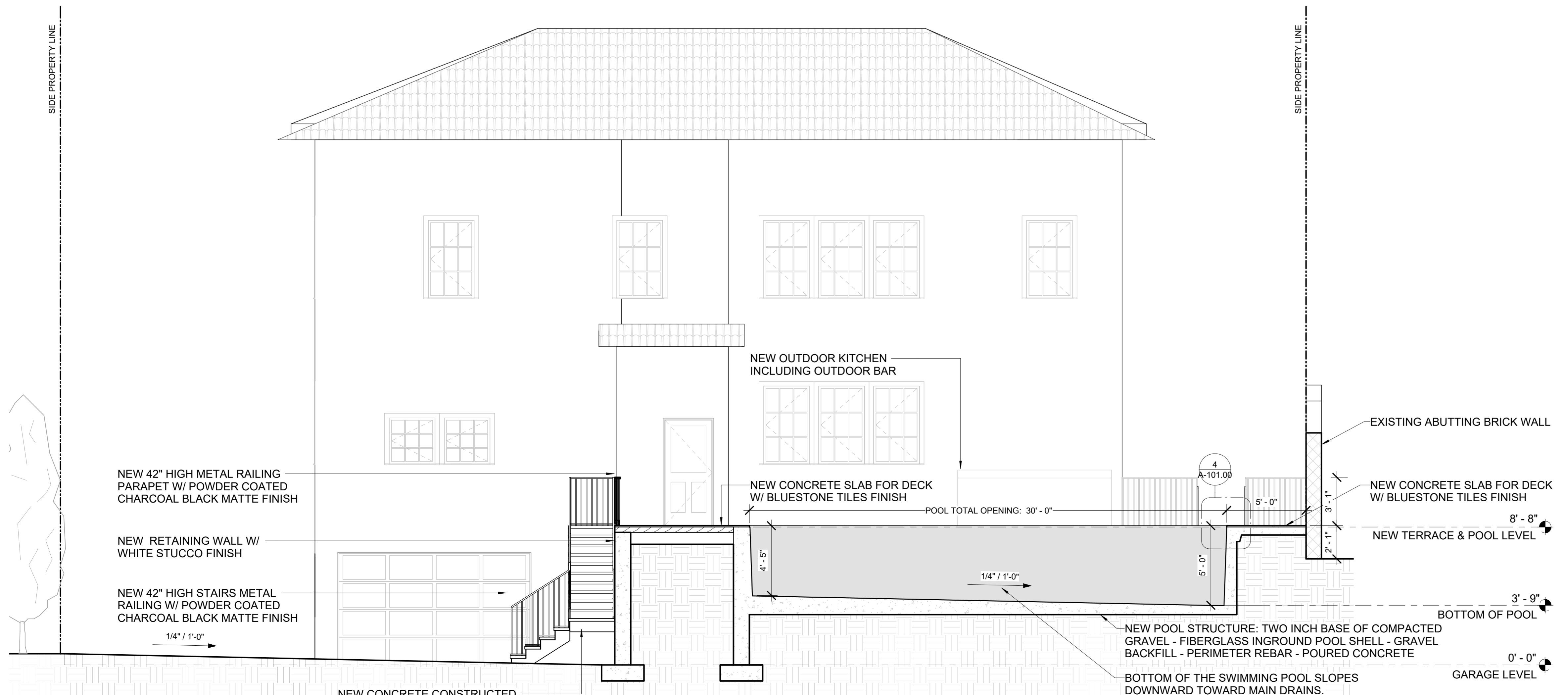
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 CHECKED BY: SM
 DYO NO. 221018NC



A-102.00



1 Existing North Elevation
1/4" = 1'-0"



2 Proposed North Elevation
1/4" = 1'-0"

NEW CONCRETE CONSTRUCTED STAIRS: 15 RISERS @ 7" & 14 TREADS @ 11". 36"X36" CONCRETE LANDING

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0	MM/DD/YYYY	DOB Submission 1	DYO	DOB

SHEET TITLE:

EXISTING & PROPOSED REAR SECTION

SEAL AND SIGNATURE DATE MM/DD/YYYY

DRAWN BY: JI
CHECKED BY: SM

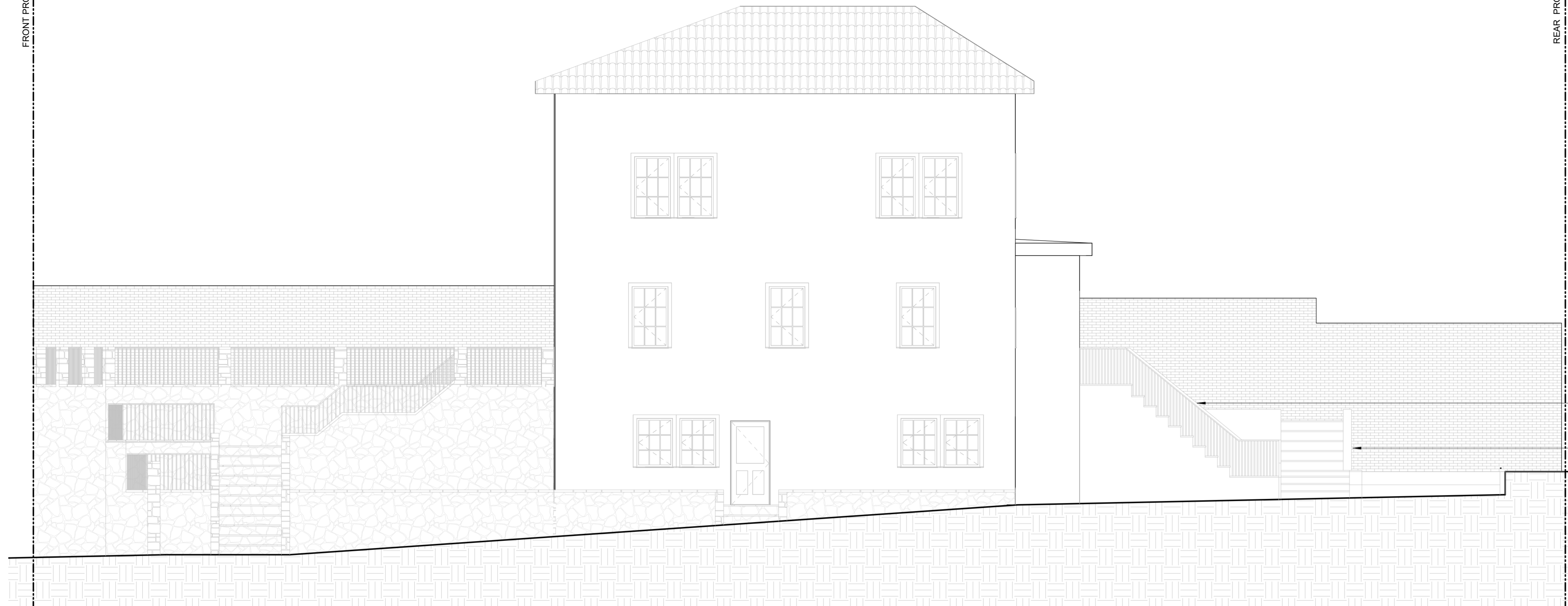
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FRONT PROPERTY LINE

REAR PROPERTY LINE



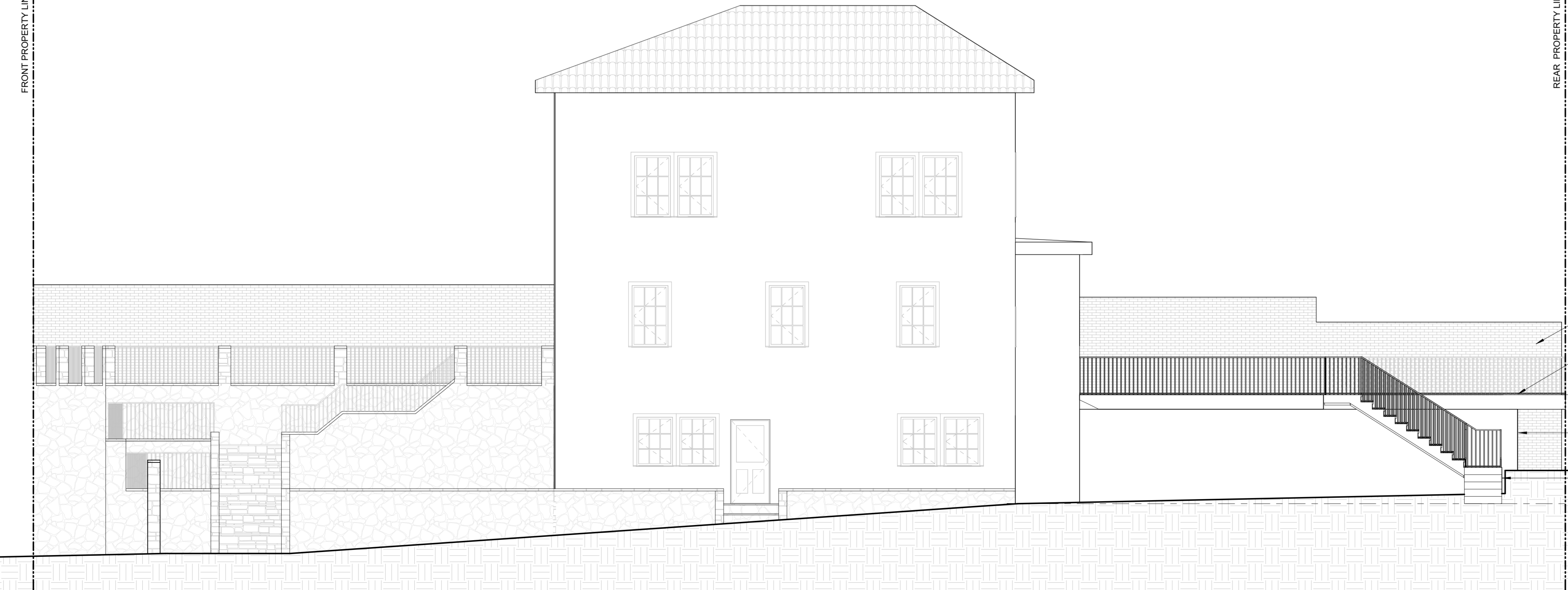
EXISTING STAIRS AND RAILING TO BE REMOVED

EXISTING REAR YARD STAIRS AND RAILING TO BE REMOVED

① Existing East Elevation
3/16" = 1'-0"

FRONT PROPERTY LINE

REAR PROPERTY LINE



NEW METAL RAILING W/ POWDER COATED CHARCOAL BLACK MATTE FINISH

NEW DECK W/ BLUESTONE TILES FINISH

8' - 9"

DECK LEVEL

NEW RETAINING WALL W/ WHITE STUCCO FINISH

NEW STAIRS

0' - 0"

GARAGE LEVEL

② Proposed East Elevation
3/16" = 1'-0"

PROJECT INFORMATION:

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DATE: 11/10/2023

GROSS FLOOR AREA: 1,741 SF

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0	MM/DD/YYYY	DOB Submission 1	DYO	DOB

SHEET TITLE:

EXISTING & PROPOSED SIDE ELEVATION

SEAL AND SIGNATURE

DATE MM/DD/YYYY

DRAWN BY JI

CHECKED BY SM

DYO NO. 221018NC



A-201.00

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PROJECT INFORMATION:

ADDRESS: 4401 MANHATTAN COLLEGE PARKWAY, BRONX, NY 10471
 DATE: 11/10/2023
 GROSS FLOOR AREA: 1,741 SF

ARCHITECT OF RECORD:

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Rev	Date	Description	Issued By	Issued To

SHEET TITLE:

RENDERS

SEAL AND SIGNATURE DATE MM/DD/YYYY

DRAWN BY JI
 CHECKED BY SM
 DYO NO. 221018NC

A-300.00
 SHEET OF 17



October 8, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 3, LPC-23-04449

4401 Manhattan College Parkway – Fieldston Historic District Borough of Bronx

To testify virtually, please join Zoom

Webinar ID: 832 0475 2631

Passcode: 804927

By Phone: 646-558-8656 (NY)

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Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.