

October 29, 2024  
Public Hearing

The current proposal is:

Preservation Department – Item 3, LPC-24-08616

## **891 St Mark's Avenue – Crown Heights North Historic District Borough of Brooklyn**

To testify virtually, please join Zoom

**Webinar ID:** 820 4014 2259

**Passcode:** 476351

By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

888-475-4499 (Toll free)

**Note:** If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (\*9 on the phone). Those who signed up in advance will be called first.



LEGEND	
—	Existing Wall
—	New Wall
- - - -	Demolition
— · — · —	Line Above
· — · — ·	Line Below
— · — · —	Property Line
—	Fire Separation
—	1-Hour (1-HR)
—	2-Hour (2-HR)
—	3-Hour (3-HR)
⊙	Spot Elevation
⊙	Drain
⊙	Supply Register
⊙	Exhaust Register
⊙	Exhaust Fan
⊙	Rough Opening
⊙	Recessed Night
⊙	Smoke Detector
⊙	CO Detector
⊙	Combo SD/CO Detector
# T	No. of Treads
# R	No. of Risers
AD	Area Drain
AFF	Above Fin Floor
B/	Bottom of
BD	Bottom of
CL	Center Line
EXG	Existing
FD	Floor Drain
FF	Finished Floor
FL	Floor
FO	Finished Opening
GA	Gauge
GWB	Gypsum Wallboard
IGU	Insulated Glass Unit
MIN	Minimum
MAX	Maximum
PSI	Pounds per Sq Inch
PSF	Pounds per Sq Foot
RO	Rough Opening
SIM	Similar
SF	Square Foot
SI	Square Inch
SG	Safety Glass
TEMP	Temporary
TYP	Typical
TI	Top of
TO	Top of
VIF	Verify in Field

SEAL

OWNER'S SIGNATURE

PROJECT  
 HILLBERTZ/MOZO STOOP  
 REPLACEMENT

ADDRESS  
 891 ST. MARK'S AVE  
 BROOKLYN, NY 11213

REVISION		
NO.	DATE	DESCR.

DATE: 09/28/2024 SCALE: AS NOTED DRAWN: MPH

DRAWING SERIES  
 LPC

DWG NAME  
 HISTORIC PHOTO &  
 EXISTING CONDITIONS

DWG NO.  
 LPC-001.00

SHEET 01 OF 12

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**1** 1940 HISTORIC PHOTO  
 SCALE: NTS

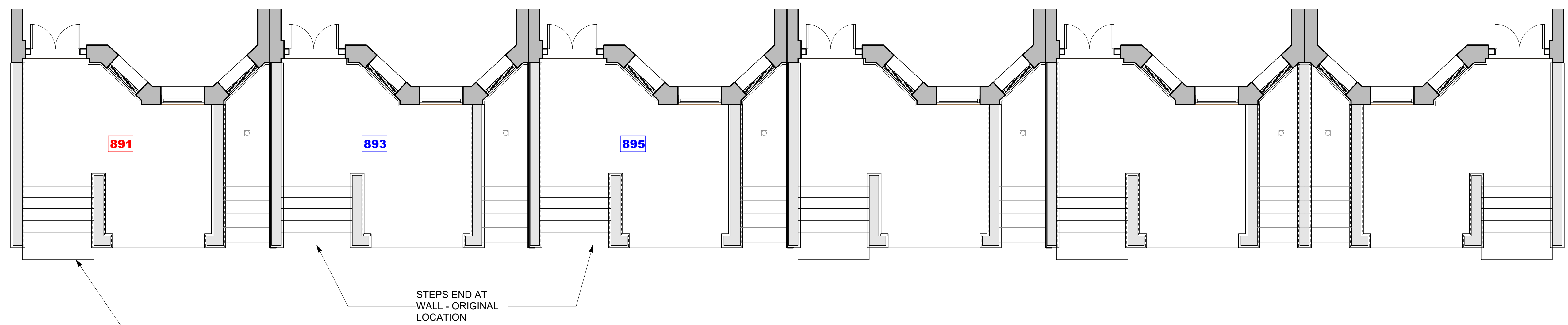


**2** CURRENT CONDITION @ FRONT FACADE  
 SCALE: NTS



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**4** CONTEXT DIAGRAM - NORTH SIDE OF ST. MARK'S AVE  
 Scale: 1:50

**LEGEND**

Existing Wall	# T	No. of Treads
New Wall	# R	No. of Risers
AD	AD	Area Drain
Demolition	AFF	Above Fin Floor
Line Above	B/	Bottom of
Line Below	BD	Bottom of
Property Line	CL	Center Line
Existing	EXG	Existing
Fire Separation	FD	Floor Drain
1-Hour (1-HR)	FF	Finished Floor
2-Hour (2-HR)	FL	Floor
3-Hour (3-HR)	FO	Finished Opening
Spot Elevation	GA	Gauge
2'-0" F.L.T. 2'-0"	GWB	Gypsum Wallboard
Drain	IGU	Insulated Glass Unit
Supply Register	MIN	Minimum
Exhaust Register	MAX	Maximum
Exhaust Fan	PSI	Pounds per Sq Inch
Recessed Nightlight	PSF	Pounds per Sq Foot
Smoke Detector	RO	Rough Opening
CO Detector	SIM	Similar
Combo SD/CO Detector	SF	Square Foot
	SI	Square Inch
	SG	Safety Glass
	TEMP	Temporary
	TYP	Typical
	TI	Top of
	TO	Top of
	VIF	Verify in Field



**1** CONTEXT - 891 ST. MARK'S  
 SCALE: NTS



**2** CONTEXT - 893 ST. MARK'S  
 SCALE: NTS



**3** CONTEXT - 895 ST. MARK'S  
 SCALE: NTS

SEAL

OWNER'S SIGNATURE

PROJECT  
**HILLBERTZ/MOZO STOOP REPLACEMENT**

ADDRESS  
**891 ST. MARK'S AVE  
 BROOKLYN, NY 11213**

REVISION

NO.	DATE	DESCR.

DATE: 09/28/2024 SCALE: AS NOTED DRAWN: MPH

DRAWING SERIES  
**LPC**

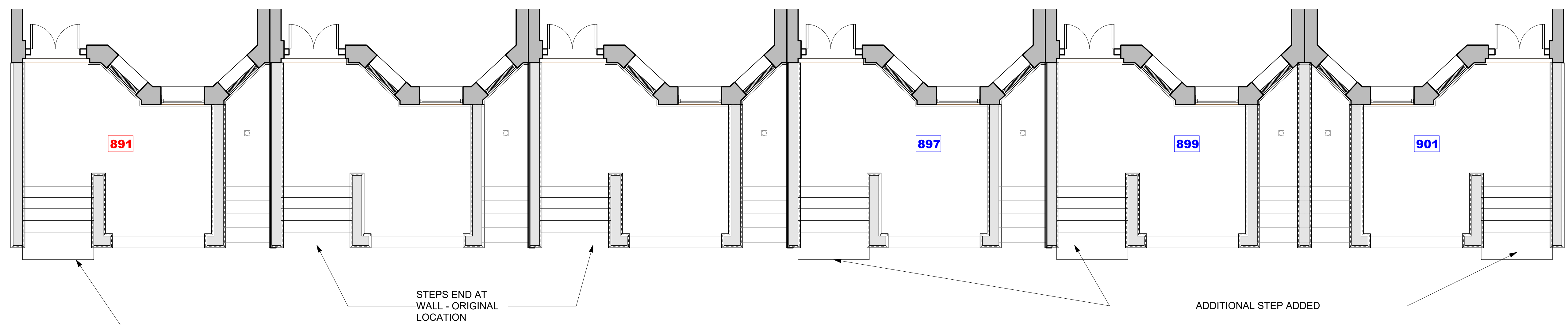
DWG NAME  
**NEIGHBORHOOD CONTEXT**

DWG NO.  
**LPC-002.00**  
 SHEET 02 OF 12



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CONSULTANT



**4** CONTEXT DIAGRAM - NORTH SIDE OF ST. MARK'S AVE  
 Scale: 1:50

**LEGEND**

Existing Wall	# T	No. of Treads
New Wall	# R	No. of Risers
AD	AD	Area Drain
Demolition	AFF	Above Fin Floor
Line Above	B/	Bottom of
Line Below	BD	Bottom of
Property Line	CL	Center Line
Existing	EXG	Existing
Fire Separation	FD	Floor Drain
1-Hour (1-HR)	FF	Finished Floor
2-Hour (2-HR)	FL	Floor
3-Hour (3-HR)	FO	Finished Opening
Gauge	GA	Gauge
Spot Elevation	GE	Spot Elevation
Drain	GWB	Gypsum Wallboard
Supply Register	IGU	Insulated Glass Unit
Exhaust Register	MIN	Minimum
Exhaust Fan	MAX	Maximum
Recessed Night	PSI	Pounds per Sq Inch
Smoke Detector	PSF	Pounds per Sq Foot
CO Detector	RO	Rough Opening
Combo SD/CO Detector	SIM	Similar
	SF	Square Foot
	SI	Square Inch
	SG	Safety Glass
	TEMP	Temporary
	TYP	Typical
	TI	Top of
	TO	Top of
	VIF	Verify in Field



**1** CONTEXT - 897 ST. MARK'S  
 SCALE: NTS

**2** CONTEXT - 899 ST. MARK'S  
 SCALE: NTS

**3** CONTEXT - 901 ST. MARK'S  
 SCALE: NTS

SEAL

OWNER'S SIGNATURE

PROJECT  
 HILLBERTZ/MOZO STOOP  
 REPLACEMENT

ADDRESS  
 891 ST. MARK'S AVE  
 BROOKLYN, NY 11213

REVISION

NO.	DATE	DESCR.

DATE: 09/28/2024 SCALE: AS NOTED DRAWN: MPH

DRAWING SERIES  
 LPC  
 DWG NAME  
 NEIGHBORHOOD CONTEXT

DWG NO.  
**LPC-003.00**  
 SHEET 03 OF 12





LEGEND

Existing Wall	# T	No. of Treads
New Wall	# R	No. of Risers
AD	AD	Area Drain
Demolition	AF	Above Fin Floor
Line Above	B/	Bottom of
Line Below	BD	Bottom of
Property Line	CL	Center Line
Existing	EXG	Existing
Fire Separation	FD	Floor Drain
1-Hour (1-HR)	FF	Finished Floor
2-Hour (2-HR)	FL	Floor
3-Hour (3-HR)	FO	Finished Opening
Spot Elevation	GA	Gauge
2'-0" F.L.T.	GWB	Gypsum Wallboard
2'-0" F.L.T.	IGU	Insulated Glass Unit
Drain	MIN	Minimum
Supply Register	MAX	Maximum
Exhaust Register	PSI	Pounds per Sq Inch
Exhaust Fan	PSF	Pounds per Sq Foot
Recessed Nightlight	RO	Rough Opening
Smoke Detector	SIM	Similar
CO Detector	SF	Square Foot
Combo SD/CO Detector	SI	Square Inch
	SG	Safety Glass
	TEMP	Temporary
	TYP	Typical
	TI	Top of
	TO	Top of
	VIF	Verify in Field

SEAL

OWNERS SIGNATURE

PROJECT  
 HILLBERTZ/MOZO STOOP  
 REPLACEMENT

ADDRESS  
 891 ST. MARK'S AVE  
 BROOKLYN, NY 11213

REVISION

NO.	DATE	DESCR.

DATE: 09/28/2024 SCALE: AS NOTED DRAWN: MPH

DRAWING SERIES  
 LPC

DWG NAME  
 EXISTING CONDITIONS &  
 PROBES

DWG NO.  
**LPC-004.00**  
 SHEET 04 OF 12

**1** INT DTL - CORRODED SUPPORTS  
 SCALE: NTS

**2** INT DTL - CORRODED SUPPORTS  
 SCALE: NTS

**3** STOOP EXTERIOR CONDITION  
 SCALE: NTS





**1** EXTERIOR PROBE  
 SCALE: NTS



BRICK FOUNDATION WITH  
 STUCCO CLADDING

BLUESTONE SLAB

**2** INTERIOR PROBE CONDITION  
 SCALE: NTS



**3** PROBE STUCCO DETAIL  
 SCALE: NTS

LEGEND	
—	Existing Wall
—	New Wall
- - - -	Demolition
—	Line Above
—	Line Below
—	Property Line
—	Fire Separation
—	1-Hour (1-HR)
—	2-Hour (2-HR)
—	3-Hour (3-HR)
•	Spot Elevation
•	Drain
•	Supply Register
•	Exhaust Register
•	Exhaust Fan
•	Recessed Nightlight
•	Smoke Detector
•	CO Detector
•	Combo SD/CO Detector
# T	No. of Treads
# R	No. of Risers
AD	Area Drain
AFF	Above Fin Floor
B/	Bottom of
BD	Bottom of
CL	Center Line
EXG	Existing
FD	Floor Drain
FF	Finished Floor
FL	Floor
FO	Finished Opening
GA	Gauge
GWB	Gypsum Wallboard
IGU	Insulated Glass Unit
MIN	Minimum
MAX	Maximum
PSI	Pounds per Sq Inch
PSF	Pounds per Sq Foot
RO	Rough Opening
SIM	Similar
SF	Square Foot
SI	Square Inch
SG	Safety Glass
TEMP	Temporary
TYP	Typical
TI	Top of
TO	Top of
VIF	Verify in Field

REVISION	
NO.	DESCR.





**2** EXISTING STEP CONDITION - INTERIOR  
SCALE: NTS

**1** EXISTING STEP CONDITION - EXTERIOR  
SCALE: NTS

LEGEND	
—	Existing Wall
—	New Wall
AD	Area Drain
---	Demolition
---	Line Above
---	Line Below
---	Property Line
---	Fire Separation
---	1-Hour (1-HR)
---	2-Hour (2-HR)
---	3-Hour (3-HR)
SPOT ELEV.	Spot Elevation
20' ±	Spot Elevation
⊠	Drain
⊠	Supply Register
⊠	Exhaust Register
⊠	Exhaust Fan
⊠	Recessed Nightlight
⊠	Smoke Detector
⊠	CO Detector
⊠	Combo SD/CO Detector
# T	No. of Treads
# R	No. of Risers
AFF	Above Fin Floor
B/	Bottom of
CL	Center Line
EXG	Existing
FD	Floor Drain
FF	Finished Floor
FL	Floor
FO	Finished Opening
GA	Gauge
GWB	Gypsum Wallboard
IGU	Insulated Glass Unit
MIN	Minimum
MAX	Maximum
PSI	Pounds per Sq Inch
PSF	Pounds per Sq Foot
RO	Rough Opening
SIM	Similar
SF	Square Foot
SI	Square Inch
SG	Safety Glass
TEMP	Temporary
TYP	Typical
TI	Top of
TO	Top of
VIF	Verify in Field

SEAL

OWNER'S SIGNATURE

PROJECT  
**HILLBERTZ/MOZO STOOP  
 REPLACEMENT**

ADDRESS  
**891 ST. MARK'S AVE  
 BROOKLYN, NY 11213**

REVISION	
NO.	DESCR.

DATE: 09/28/2024    SCALE: AS NOTED    DRAWN: MPH

DRAWING SERIES  
**LPC**  
 DWG NAME  
**EXISTING CONDITIONS &  
 PROBES**

DWG NO.  
**LPC-006.00**  
 SHEET 06 OF 12

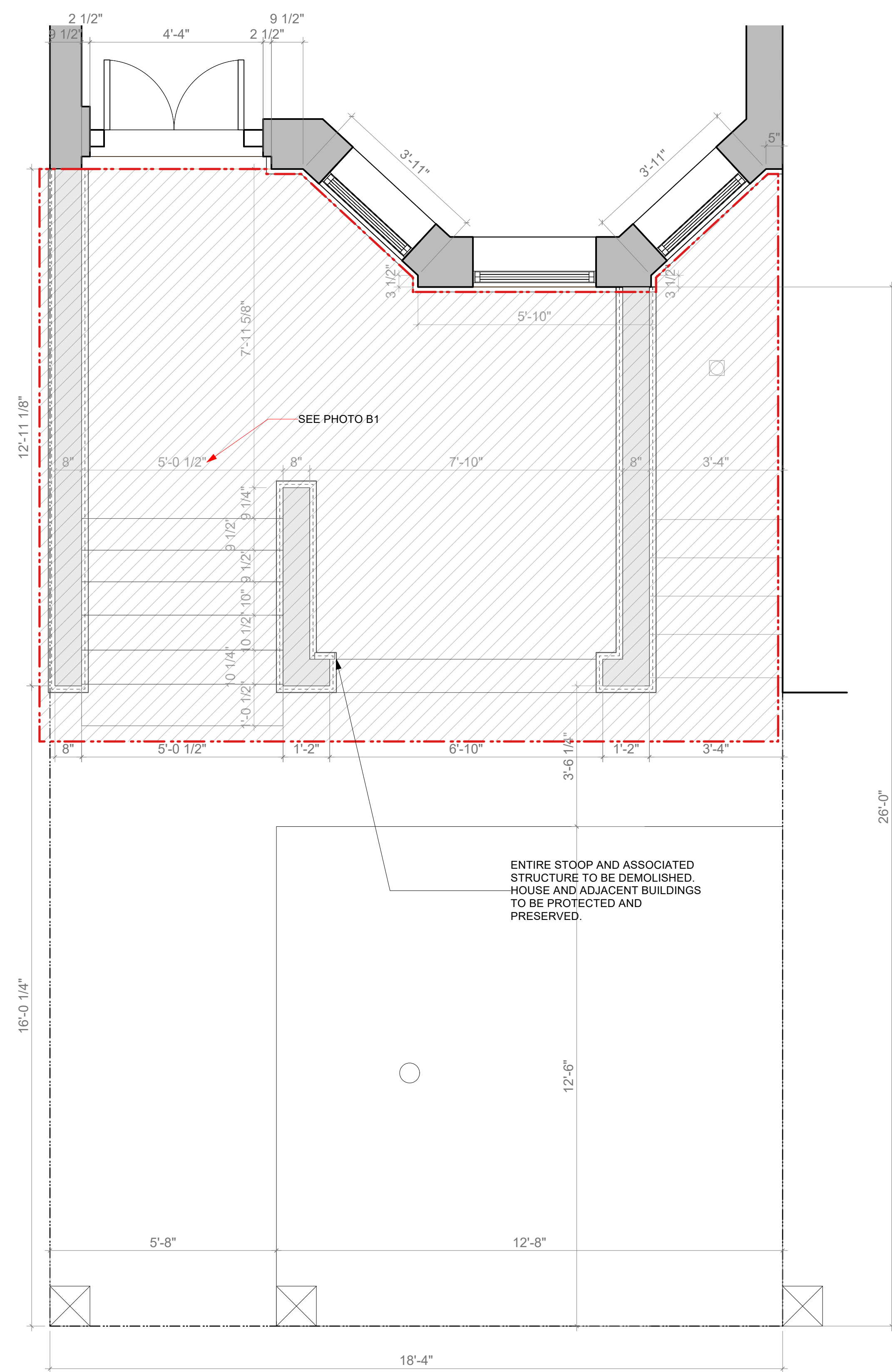


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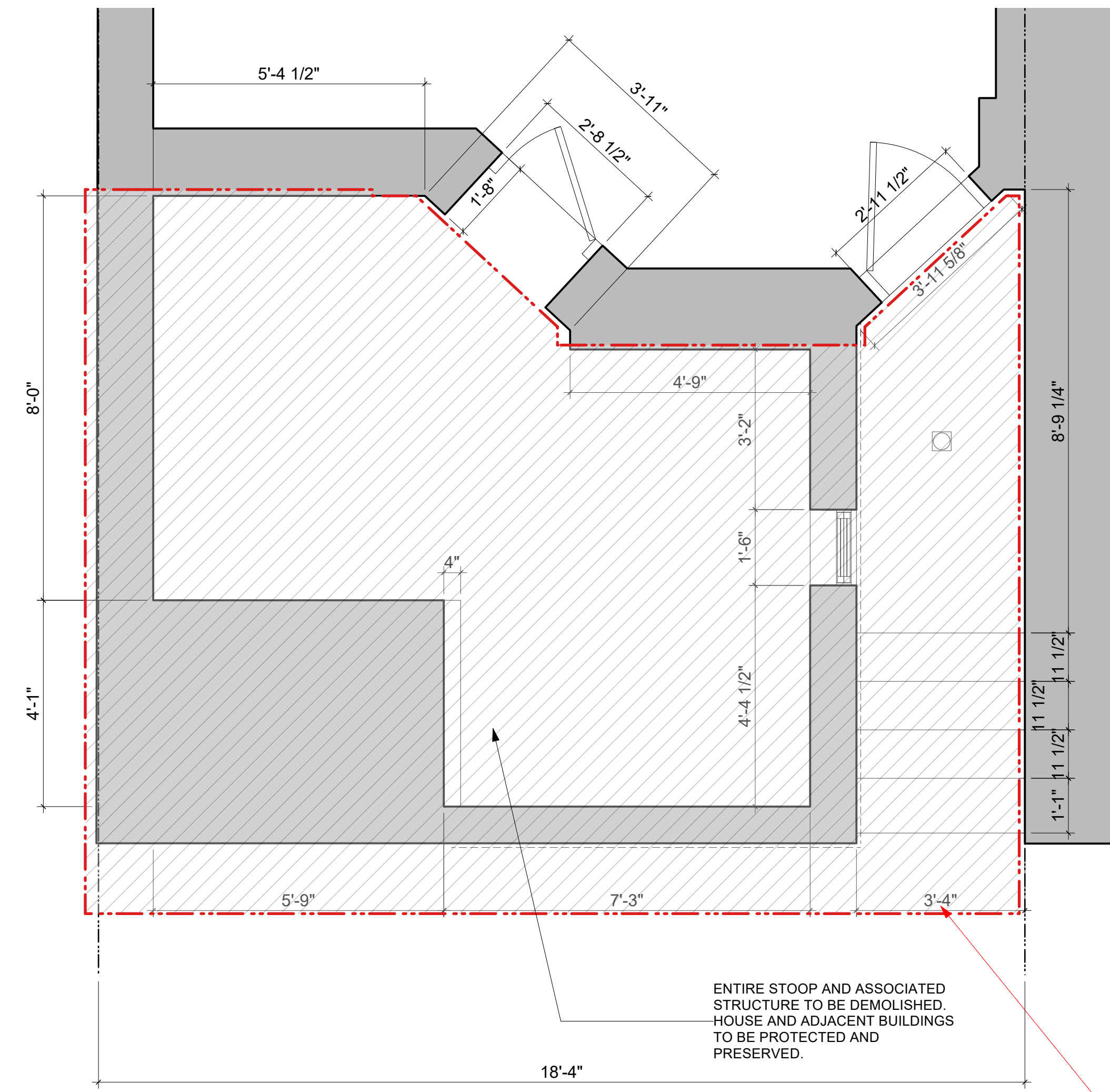
CONSULTANT

**LEGEND**

Existing Wall	# T	No. of Treads
New Wall	# R	No. of Risers
AD	AD	Area Drain
Demolition	AFF	Above Fin Floor
Line Above	B/	Bottom of
Line Below	BD	Bottom of
Property Line	CL	Center Line
Existing	EXG	Existing
Fire Separation	FD	Fire Separation
1-Hour (1-HR)	FF	Finished Floor
2-Hour (2-HR)	FL	Floor
3-Hour (3-HR)	FO	Finished Opening
Spot Elevation	GA	Gauge
Drain	IGU	Insulated Glass Unit
Supply Register	MIN	Minimum
Exhaust Register	MAX	Maximum
Exhaust Fan	PSI	Pounds per Sq Inch
Recessed Nightlight	PSF	Pounds per Sq Foot
Smoke Detector	RD	Rough Opening
CO Detector	SIM	Similar
Combo SD/CO Detector	SF	Square Foot
	SI	Square Inch
	SG	Safety Glass
	TEMP	Temporary
	TYP	Typical
	TI	Top of
	TO	Top of
	VIF	Verify in Field



**2 PARTIAL STOOP LEVEL EXISTING**  
 Scale: 1/2" = 1'-0"



**1 PARTIAL BASMENT LEVEL EXISTING**  
 Scale: 1/2" = 1'-0"



SEAL

OWNERS SIGNATURE

PROJECT  
**HILLBERTZ/MOZO STOOP REPLACEMENT**

ADDRESS  
**891 ST. MARK'S AVE  
 BROOKLYN, NY 11213**

REVISION

NO.	DATE	DESCR.

DATE: 02/13/2024 SCALE: AS NOTED DRAWN: MPH

DRAWING SERIES  
**PROPOSED WORK**  
 DWG NAME  
**EXISTING/DEMO PLANS**

DWG NO.  
**LPC-007.00**  
 SHEET 07 OF 12

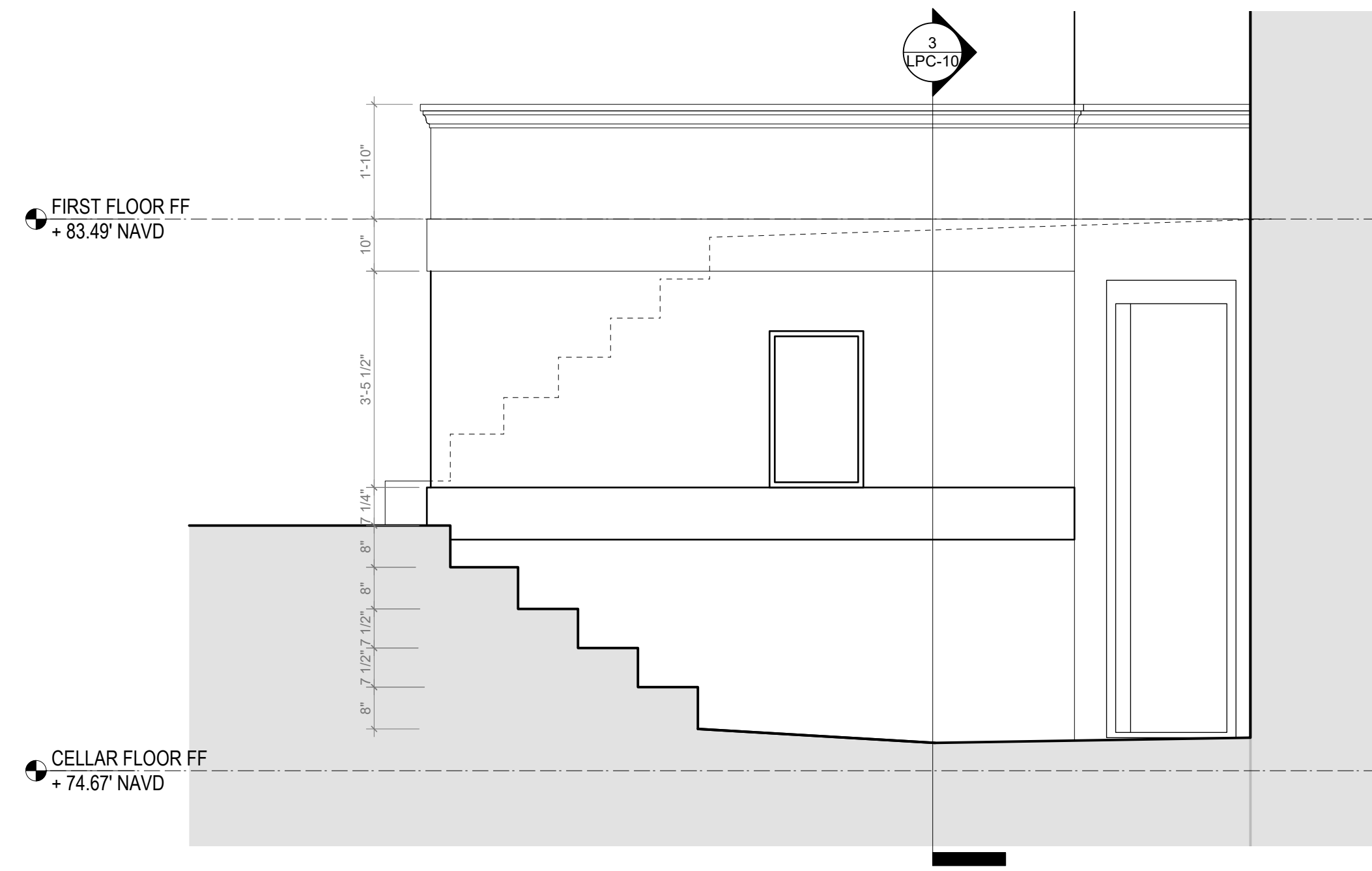


CONSULTANT

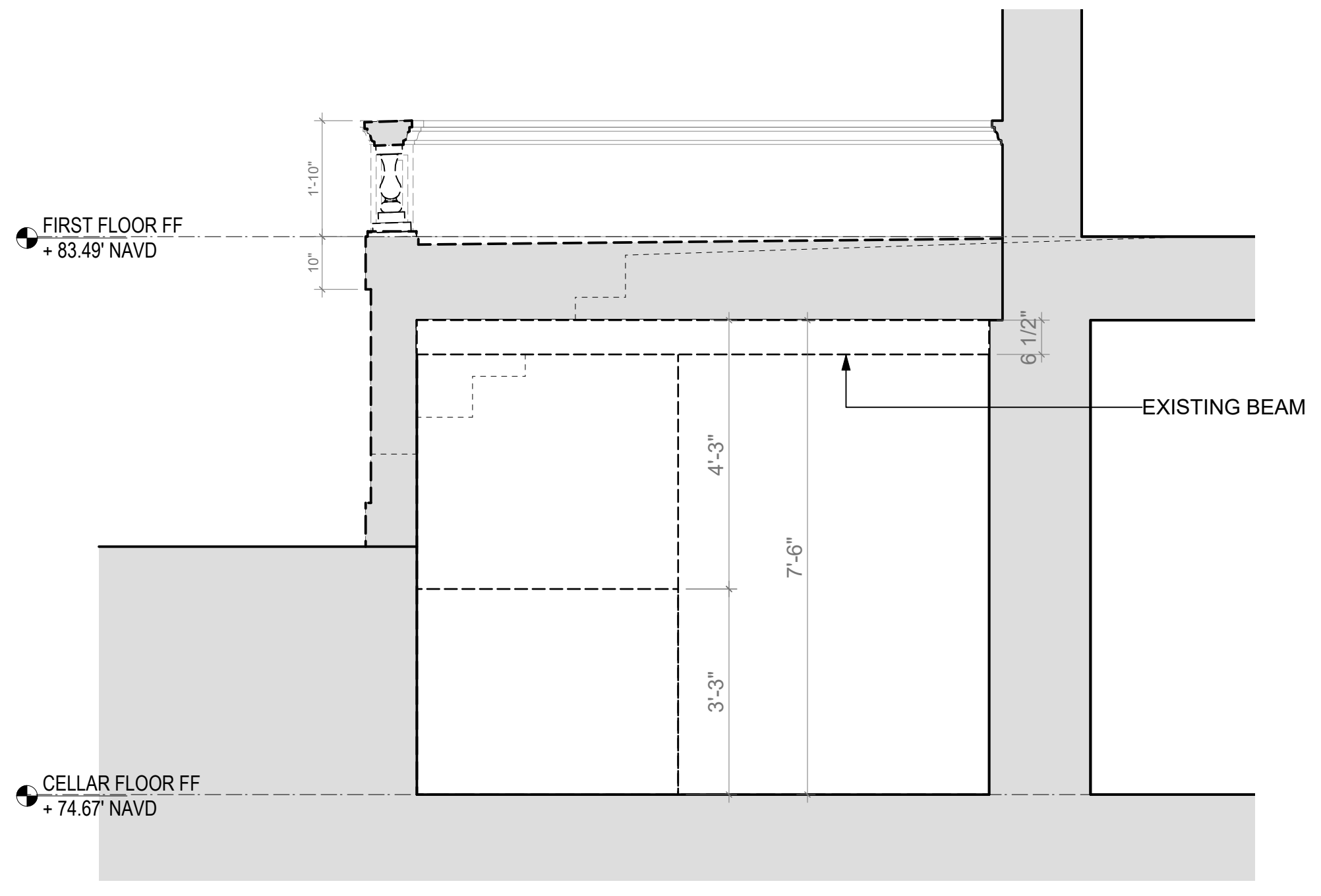
CONSULTANT

**LEGEND**

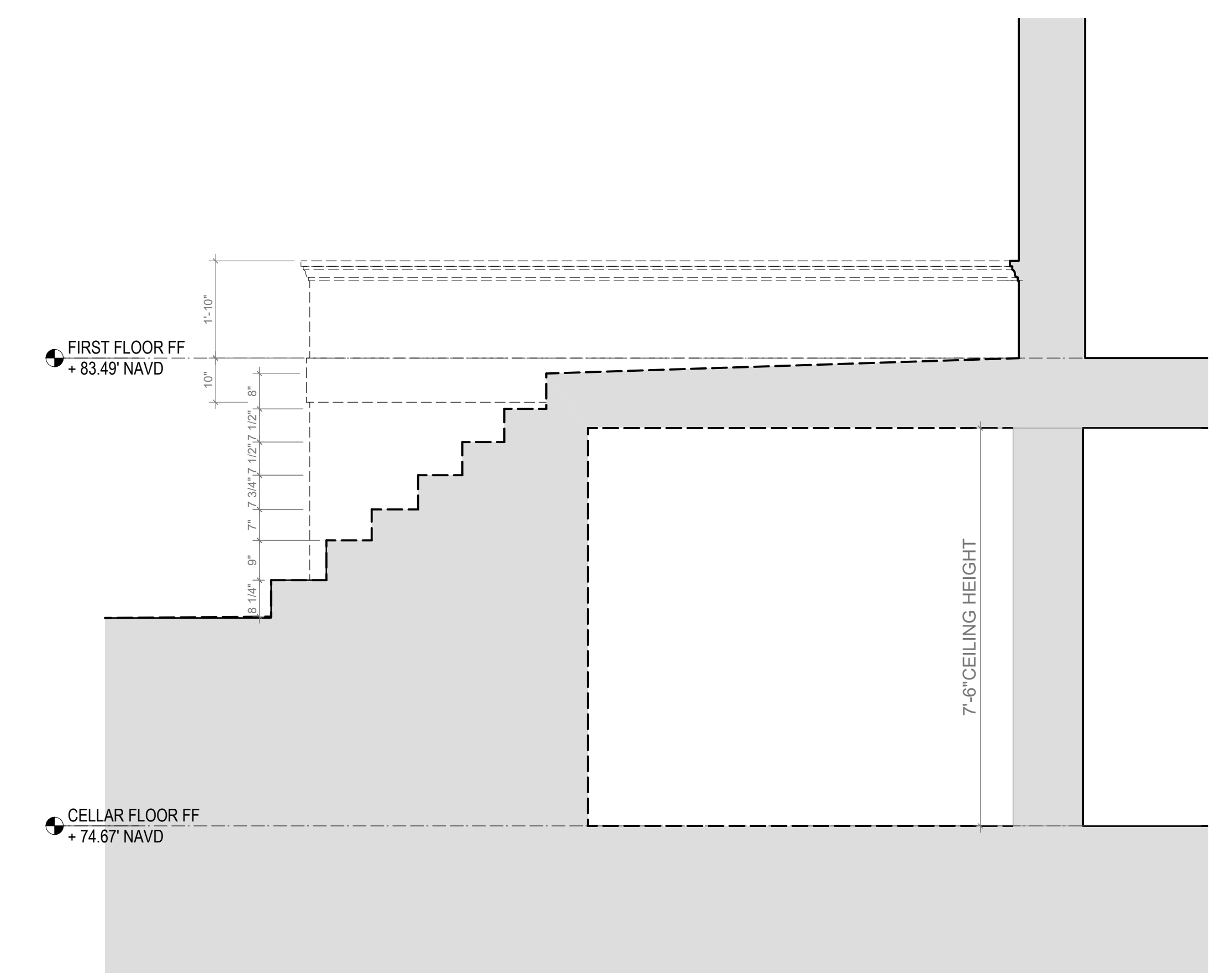
Existing Wall	# T	No. of Treads
New Wall	# R	No. of Risers
AD	AD	Area Drain
Demolition	AFF	Above Fin Floor
Line Above	B/	Bottom of
Line Below	BD	Bottom of
Property Line	CL	Center Line
Fire Separation	EXG	Existing
1-Hour (1-HR)	FD	Floor Drain
2-Hour (2-HR)	FF	Finished Floor
3-Hour (3-HR)	FL	Floor
Spot Elevation	FO	Finished Opening
2'-0" F.L.T.	GA	Gauge
2'-0"	GWB	Gypsum Wallboard
Drain	IGU	Insulated Glass Unit
Supply Register	MIN	Minimum
Exhaust Register	MAX	Maximum
Exhaust Fan	PSI	Pounds per Sq Inch
Recessed Nightlight	PSF	Pounds per Sq Foot
Smoke Detector	RO	Rough Opening
CO Detector	SIM	Similar
Combo SD/CO Detector	SF	Square Foot
	SI	Square Inch
	SG	Safety Glass
	TEMP	Temporary
	TYP	Typical
	TI	Top of
	TO	Top of
	VIF	Verify in Field



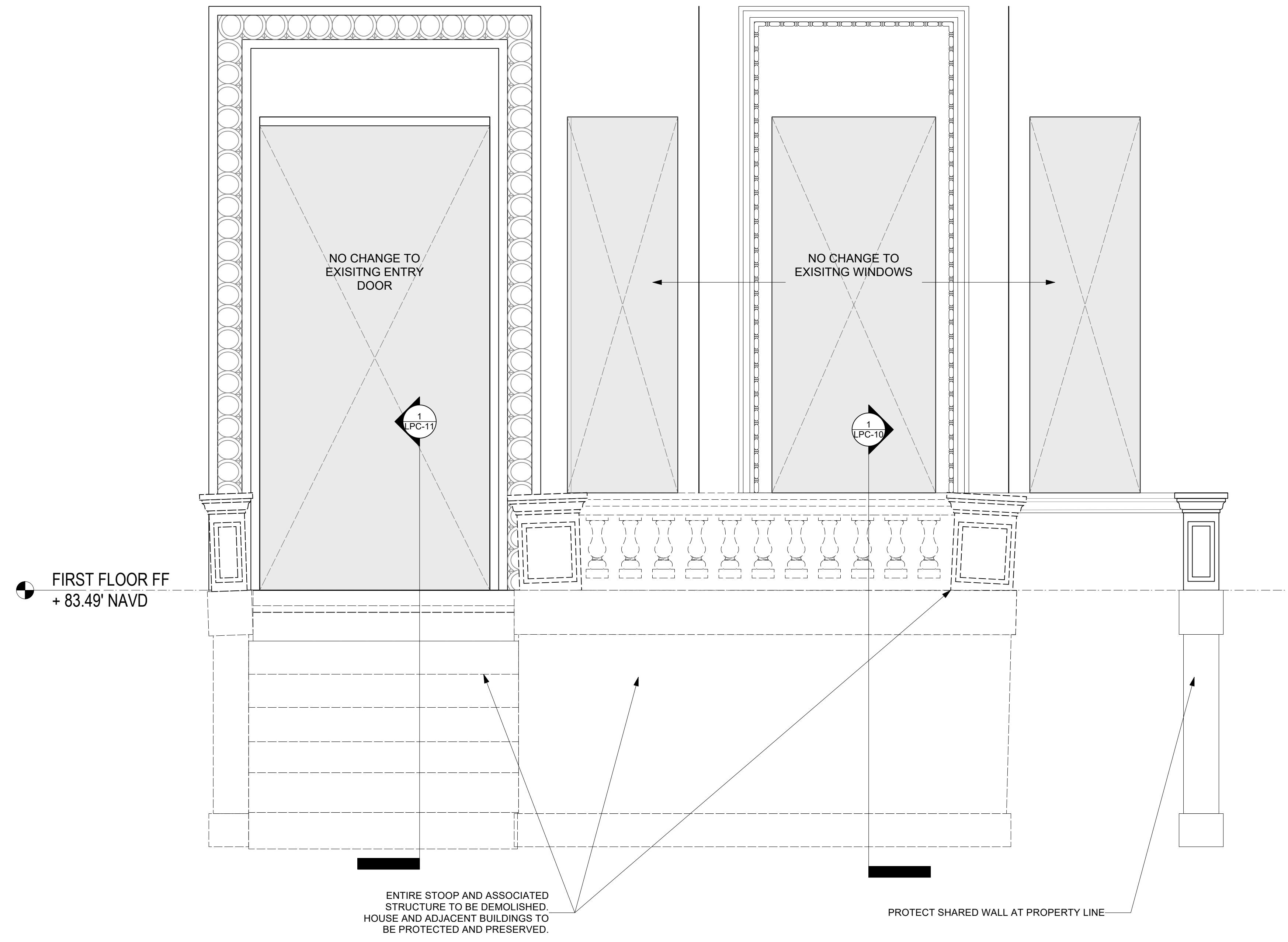
**4 PARTIAL SECTION EXISTING**  
 Scale: 1/2" = 1'-0"



**3 PARTIAL SECTION EXISTING**  
 Scale: 1/2" = 1'-0"



**2 PARTIAL SECTION EXISTING**  
 Scale: 1/2" = 1'-0"



**1 PARTIAL FRONT ELEVATION EXISTING**  
 Scale: 3/4" = 1'-0"

SEAL

OWNERS SIGNATURE

PROJECT  
**HILLBERTZ/MOZO STOOP REPLACEMENT**  
 ADDRESS  
**891 ST. MARK'S AVE  
 BROOKLYN, NY 11213**

REVISION

NO.	DATE	DESCR.

DATE: 02/13/2024 SCALE: AS NOTED DRAWN: MPH

DRAWING SERIES  
**PROPOSED WORK**  
 DWG. NAME  
**EXISTING ELEVATIONS & SECTIONS**

DWG. NO.  
**LPC-008.00**  
 SHEET 08 OF 12

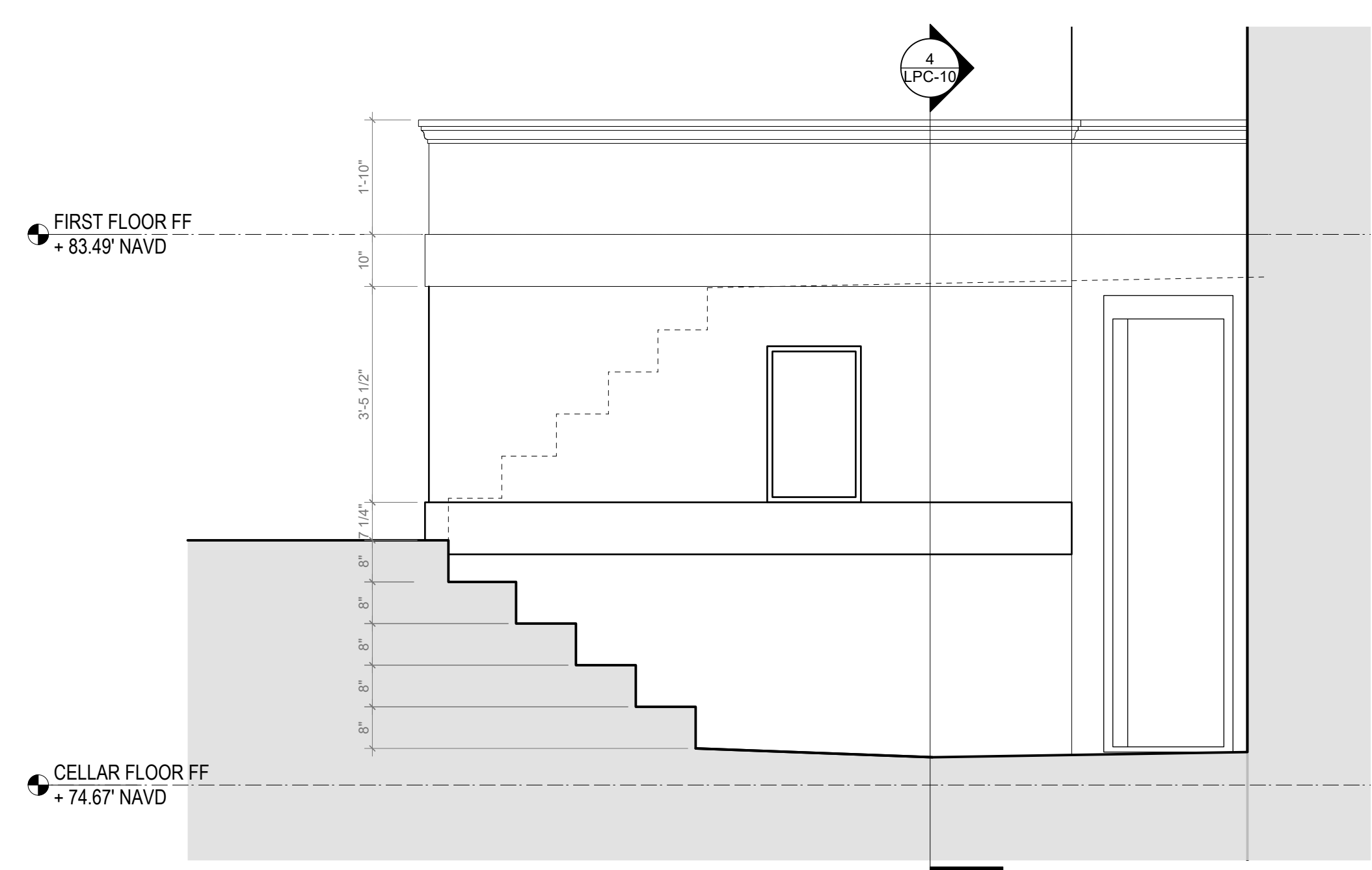


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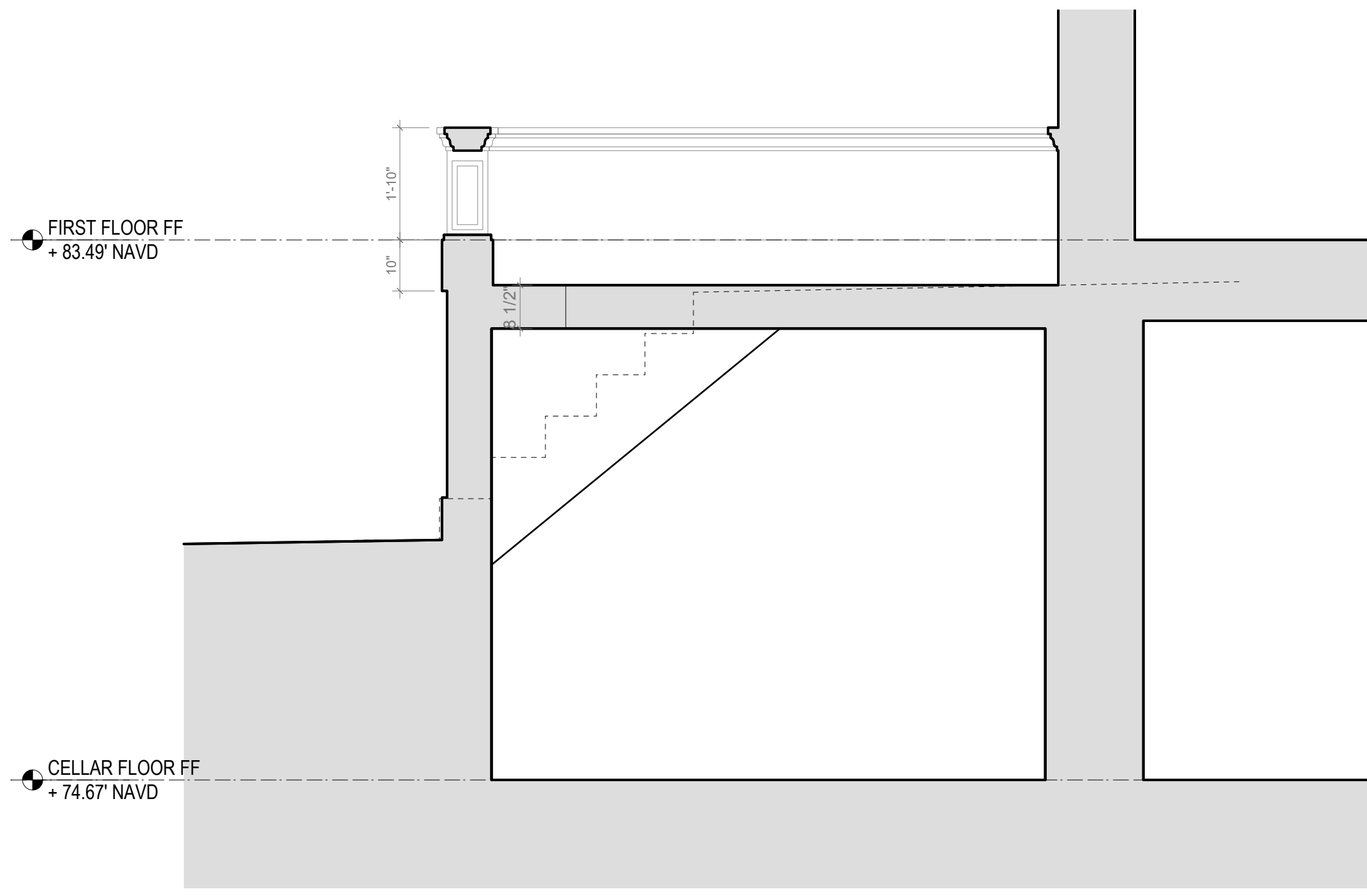
CONSULTANT

**LEGEND**

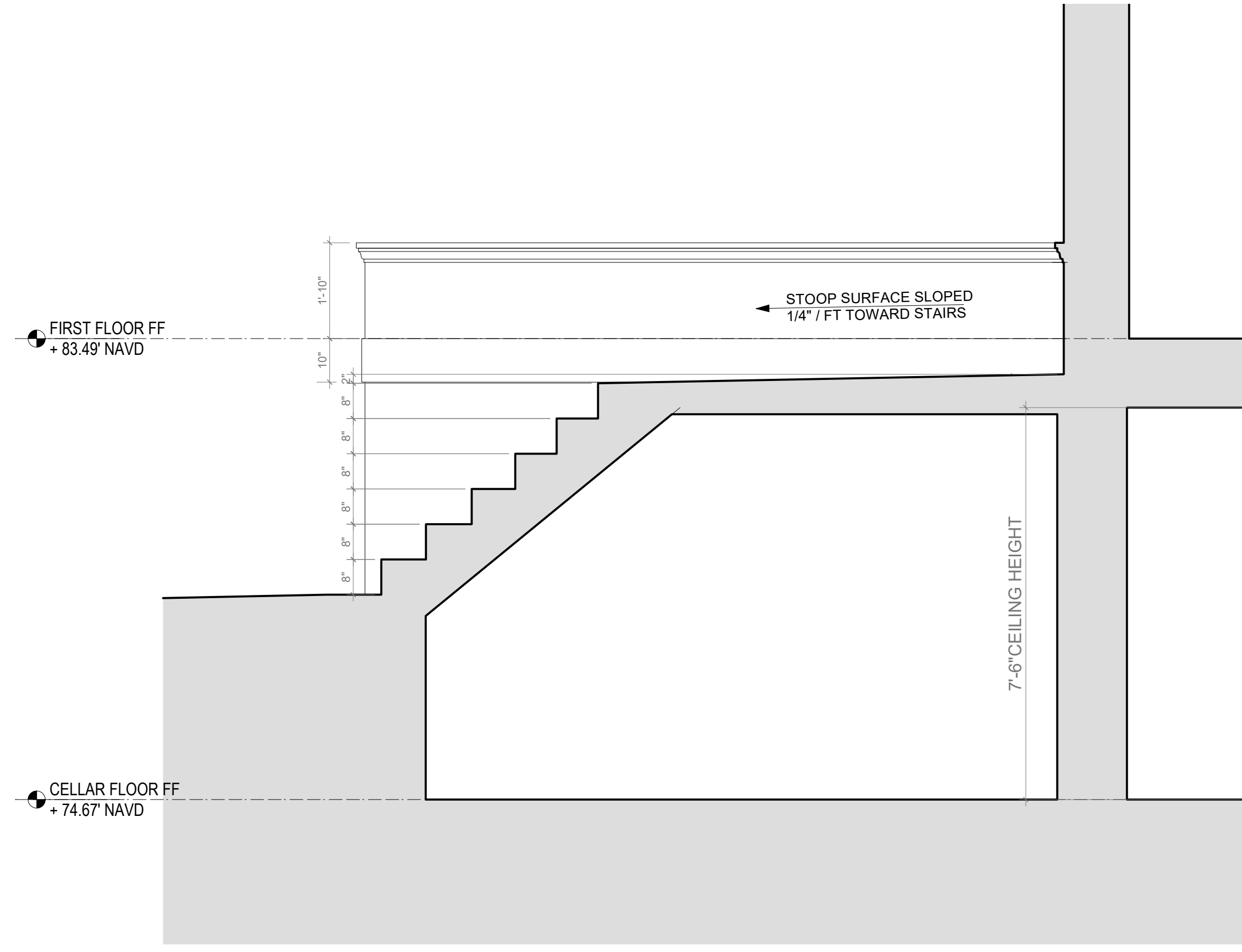
Existing Wall	# T	No. of Treads
New Wall	# R	No. of Risers
AD	AD	Area Drain
Demolition	AFF	Above Fin Floor
Line Above	B/	Bottom of
Line Below	BD	Bottom of
Property Line	CL	Center Line
Fire Separation	EXG	Existing
1-Hour (1-HR)	FD	Floor Drain
2-Hour (2-HR)	FF	Finished Floor
3-Hour (3-HR)	FL	Floor
Spot Elevation	FO	Finished Opening
2'-0" / 2'-0"	GA	Gauge
Drain	GW	Gypsum Wallboard
Supply Register	IGU	Insulated Glass Unit
Exhaust Register	MIN	Minimum
Exhaust Fan	MAX	Maximum
Recessed Nightlight	PSI	Pounds per Sq Inch
Smoke Detector	PSF	Pounds per Sq Foot
CO Detector	RD	Rough Opening
Combo SD/CO Detector	SIM	Similar
	SF	Square Foot
	SI	Square Inch
	SG	Safety Glass
	TEMP	Temporary
	TYP	Typical
	TI	Top of
	TO	Top of
	VIF	Verify in Field



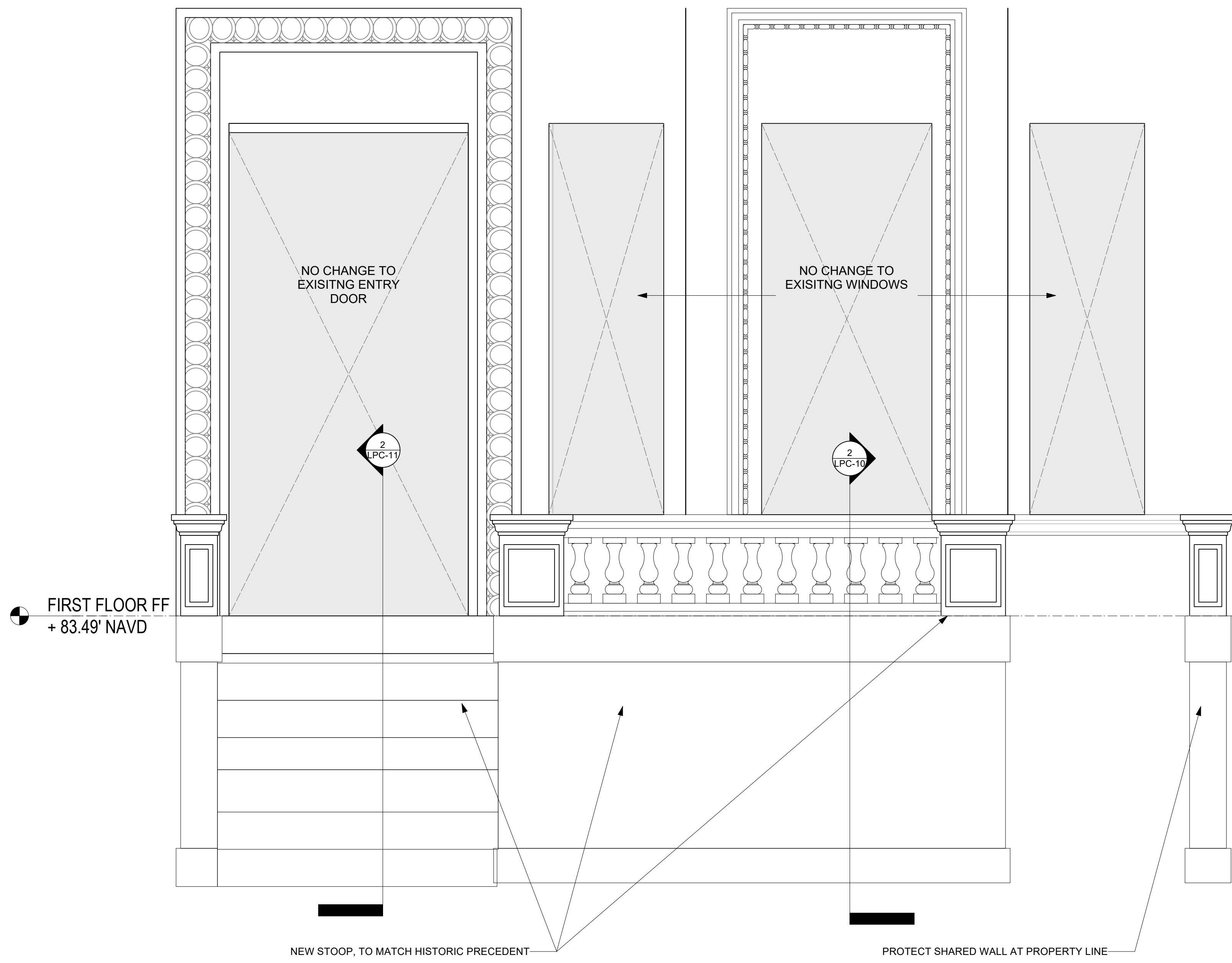
**4 PARTIAL SECTION PROPOSED**  
 Scale: 1/2" = 1'-0"



**3 PARTIAL SECTION PROPOSED**  
 Scale: 1/2" = 1'-0"



**2 PARTIAL SECTION PROPOSED**  
 Scale: 1/2" = 1'-0"



**1 PARTIAL FRONT ELEVATION PROPOSED**  
 Scale: 3/4" = 1'-0"

SEAL

OWNERS SIGNATURE

PROJECT  
**HILLBERTZ/MOZO STOOP REPLACEMENT**

ADDRESS  
**891 ST. MARK'S AVE  
 BROOKLYN, NY 11213**

REVISION

NO.	DATE	DESCR.

DATE: 02/13/2024 SCALE: AS NOTED DRAWN: MPH

DRAWING SERIES  
**PROPOSED WORK**  
 DWG NAME  
**PROPOSED ELEVATIONS & SECTIONS**

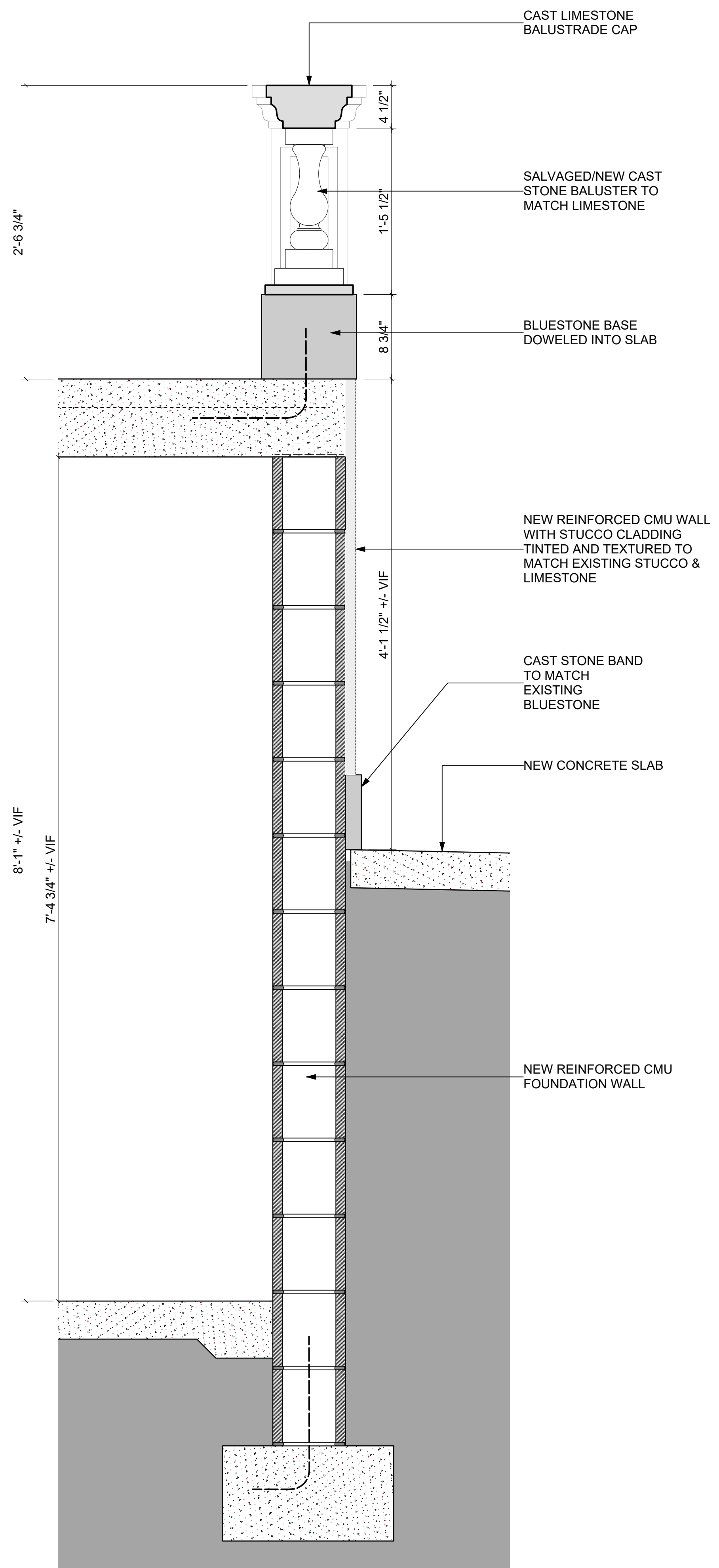
DWG NO.  
**LPC-009.00**  
 SHEET 09 OF 12



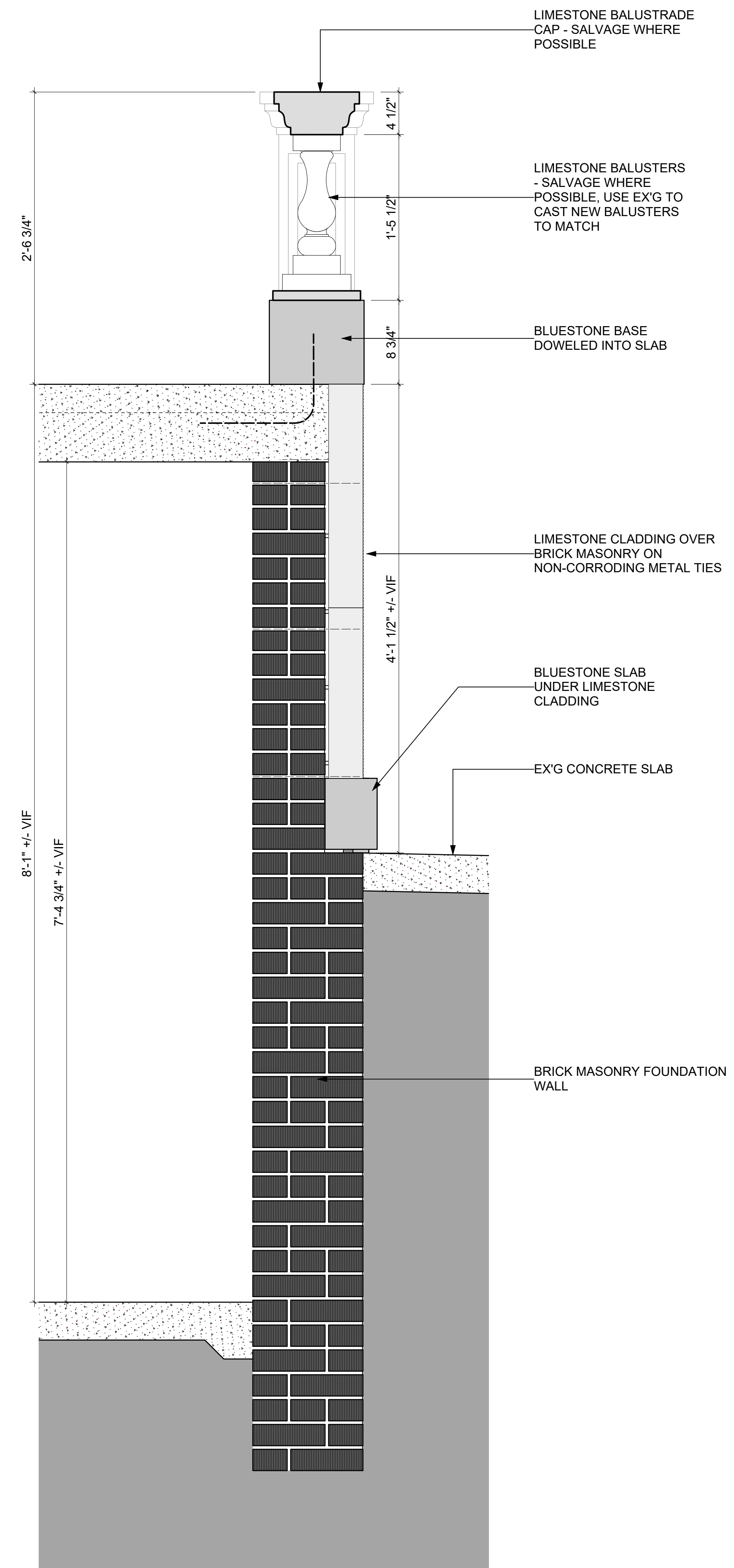
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LEGEND		
Existing Wall	# T	No. of Treads
New Wall	# R	No. of Risers
Area Drain	AD	
Demolition	AFF	Above Fin Floor
Line Above	B/	Bottom of
Line Below	BD	Bottom of
Property Line	CL	Center Line
Existing	EXG	Existing
Fire Separation	FD	Floor Drain
1-Hour (1-HR)	FF	Finished Floor
2-Hour (2-HR)	FL	Floor
3-Hour (3-HR)	FO	Finished Opening
Spot Elevation	GA	Gauge
2'-0" F.L.T.	GWB	Gypsum Wallboard
2'-0"	IGU	Insulated Glass Unit
Drain	MIN	Minimum
Supply Register	MAX	Maximum
Exhaust Register	PSI	Pounds per Sq Inch
Exhaust Fan	PSF	Pounds per Sq Foot
Rough Opening	RO	Rough Opening
Recessed Night	SIM	Similar
Smoke Detector	SF	Square Foot
CO Detector	SI	Square Inch
Combo SD/CO Detector	SG	Safety Glass
	TEMP	Temporary
	TYP	Typical
	TI	Top of
	TO	Top of
	VIF	Verify in Field



2 PROPOSED PARTIAL SECTION @ FRONT STOOP WALL  
 Scale: 1 1/2" = 1'-0"



1 EXISTING PARTIAL SECTION @ FRONT STOOP WALL  
 Scale: 1 1/2" = 1'-0"

SEAL

OWNERS SIGNATURE

PROJECT  
 HILLBERTZ/MOZO STOOP  
 REPLACEMENT

ADDRESS  
 891 ST. MARK'S AVE  
 BROOKLYN, NY 11213

REVISION		
NO.	DATE	DESCR.

DATE 02/13/2024 SCALE AS NOTED DRAWN MPH

DRAWING SERIES  
 PROPOSED WORK  
 DWG NAME  
 EX'G & PROPOSED STOOP  
 FRONT WALL DETAIL

DWG NO.  
 LPC-010.00  
 SHEET 10 OF 12

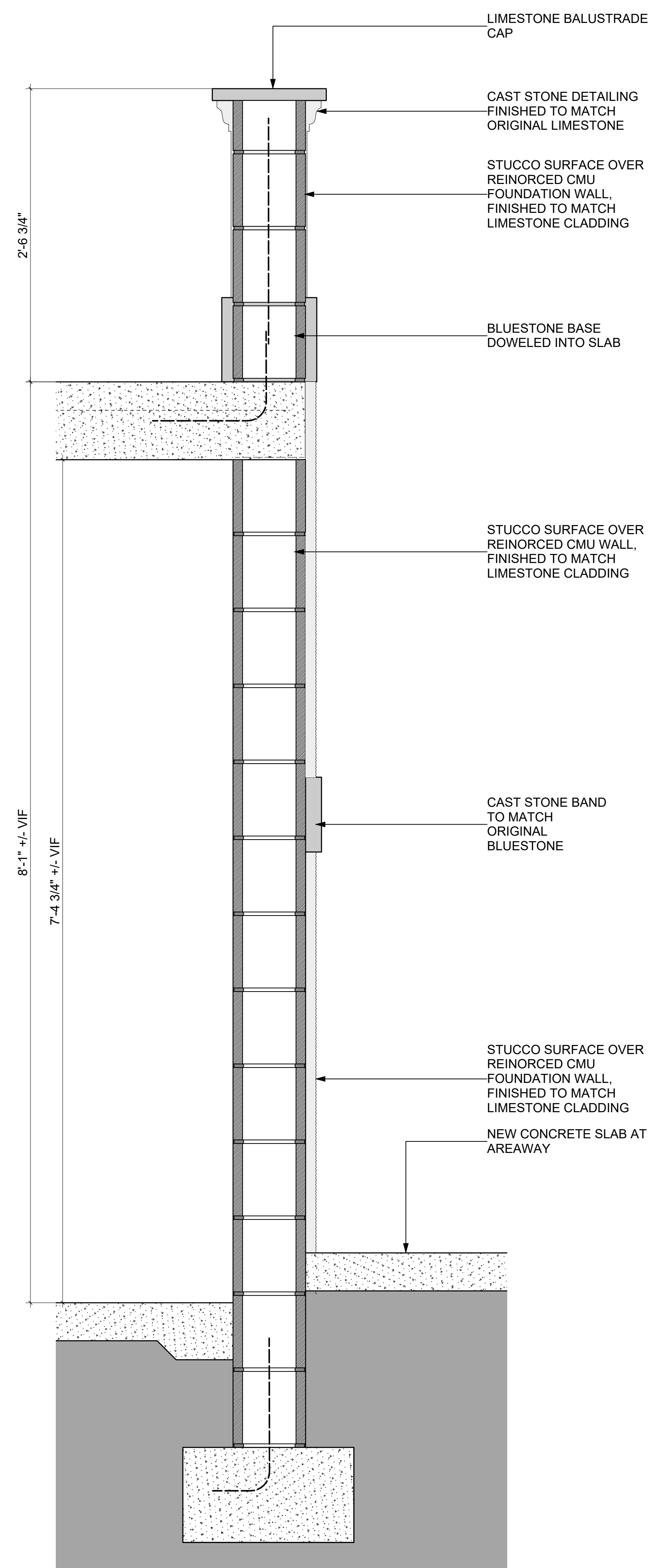


CONSULTANT

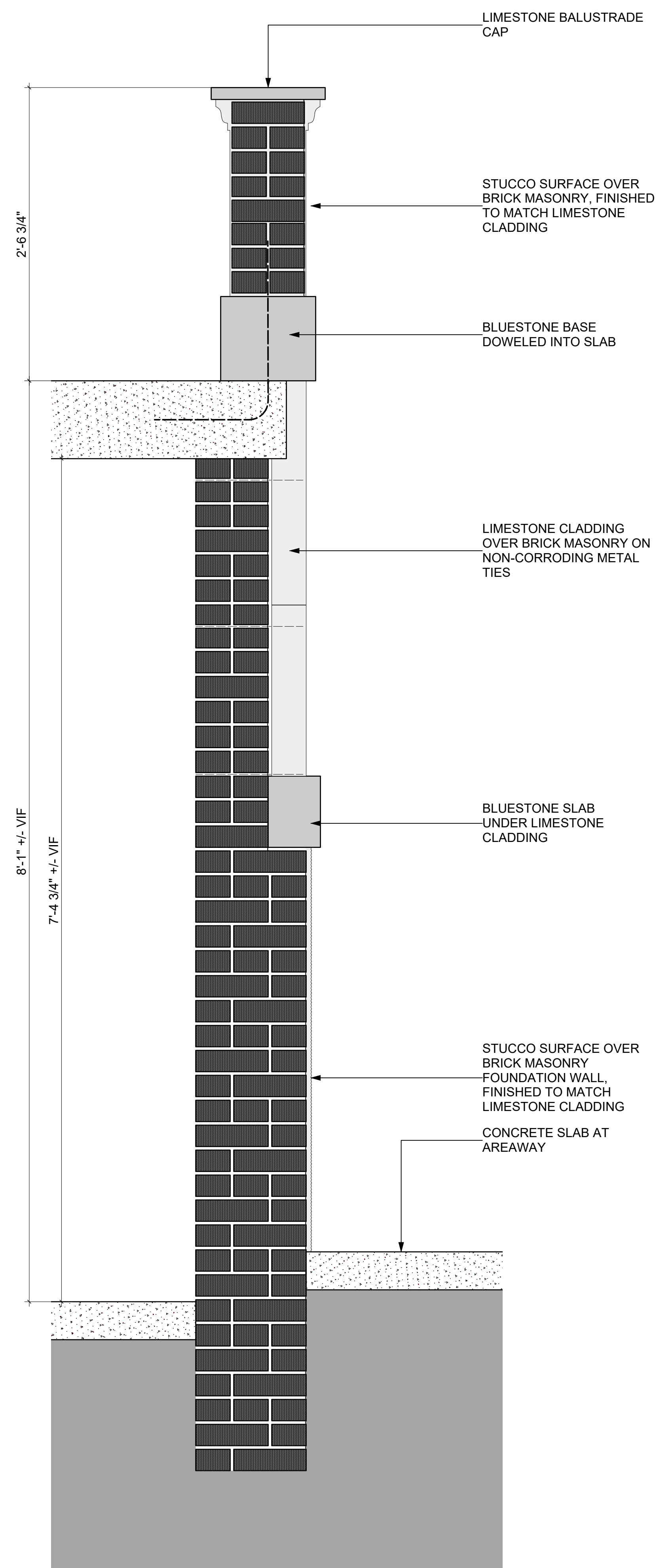
CONSULTANT

LEGEND

Existing Wall	# T	No. of Treads
New Wall	# R	No. of Risers
AD	AD	Area Drain
Demolition	AFF	Above Fin Floor
Line Above	B/	Bottom of
Line Below	BD	Bottom of
Property Line	CL	Center Line
Existing	EXG	Existing
Fire Separation	FD	Floor Drain
1-Hour (1-HR)	FF	Finished Floor
2-Hour (2-HR)	FL	Floor
3-Hour (3-HR)	FO	Finished Opening
Spot Elevation	GA	Gauge
2'-0" F.L.T.	GWB	Gypsum Wallboard
2'-0"	IGU	Insulated Glass Unit
Drain	MIN	Minimum
Supply Register	MAX	Maximum
Exhaust Register	PSI	Pounds per Sq Inch
Exhaust Fan	PSF	Pounds per Sq Foot
Exhaust Fan	RD	Rough Opening
Recessed Nightlight	SIM	Similar
Smoke Detector	SF	Square Foot
CO Detector	SI	Square Inch
Combo SD/CO Detector	SG	Safety Glass
	TEMP	Temporary
	TYP	Typical
	TI	Top of
	TO	Top of
	VIF	Verify in Field



4 PROPOSED PARTIAL SECTION @ SIDE STOOP WALL  
 Scale: 1 1/2" = 1'-0"



3 EX'G PARTIAL SECTION @ SIDE STOOP WALL  
 Scale: 1 1/2" = 1'-0"

SEAL

OWNERS SIGNATURE

PROJECT  
 HILLBERTZ/MOZO STOOP REPLACEMENT

ADDRESS  
 891 ST. MARK'S AVE  
 BROOKLYN, NY 11213

REVISION

NO.	DATE	DESCR.

DATE 10/21/2024 SCALE AS NOTED DRAWN MPH

DRAWING SERIES  
 PROPOSED WORK

DWG NAME  
 EX'G & PROPOSED STOOP SIDE WALL DETAIL

DWG NO.  
**LPC-011.00**  
 SHEET 11 OF 12



CONSULTANT

CONSULTANT

**LEGEND**

Existing Wall	# T	No. of Treads
New Wall	# R	No. of Risers
AD	AD	Area Drain
Demolition	AFF	Above Fin Floor
Line Above	B/	Bottom of
Line Below	BD	Bottom of
Property Line	CL	Center Line
Existing	EXG	Existing
Fire Separation	FD	Floor Drain
1-Hour (1-HR)	FF	Finished Floor
2-Hour (2-HR)	FL	Floor
3-Hour (3-HR)	FO	Finished Opening
Spot Elevation	GA	Gauge
2'-0" / 2'-0"	GWB	Gypsum Wallboard
Drain	IGU	Insulated Glass Unit
Supply Register	MIN	Minimum
Exhaust Register	MAX	Maximum
Exhaust Fan	PSI	Pounds per Sq Inch
Exhaust Fan	PSF	Pounds per Sq Foot
Recessed Nightlight	RO	Rough Opening
Smoke Detector	SIM	Similar
CO Detector	SF	Square Foot
Combo SD/CO Detector	SI	Square Inch
	SG	Safety Glass
	TEMP	Temporary
	TYP	Typical
	TI	Top of
	TO	Top of
	VIF	Verify in Field

SEAL

OWNER'S SIGNATURE

PROJECT  
**HILLBERTZ/MOZO STOOP REPLACEMENT**

ADDRESS  
**891 ST. MARK'S AVE  
 BROOKLYN, NY 11213**

REVISION

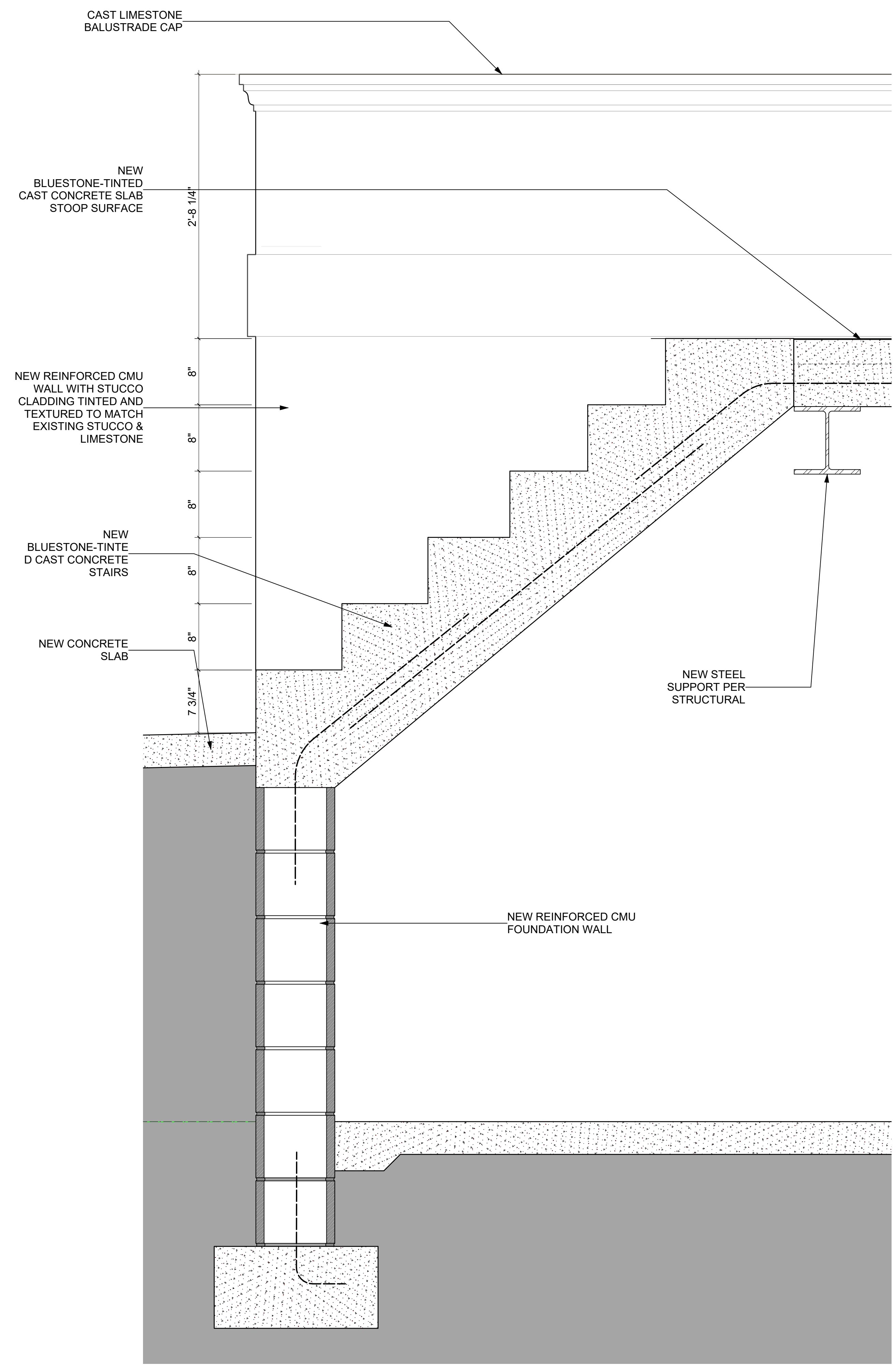
NO.	DATE	DESCR.

DATE: 02/13/2024 SCALE: AS NOTED DRAWN: MPH

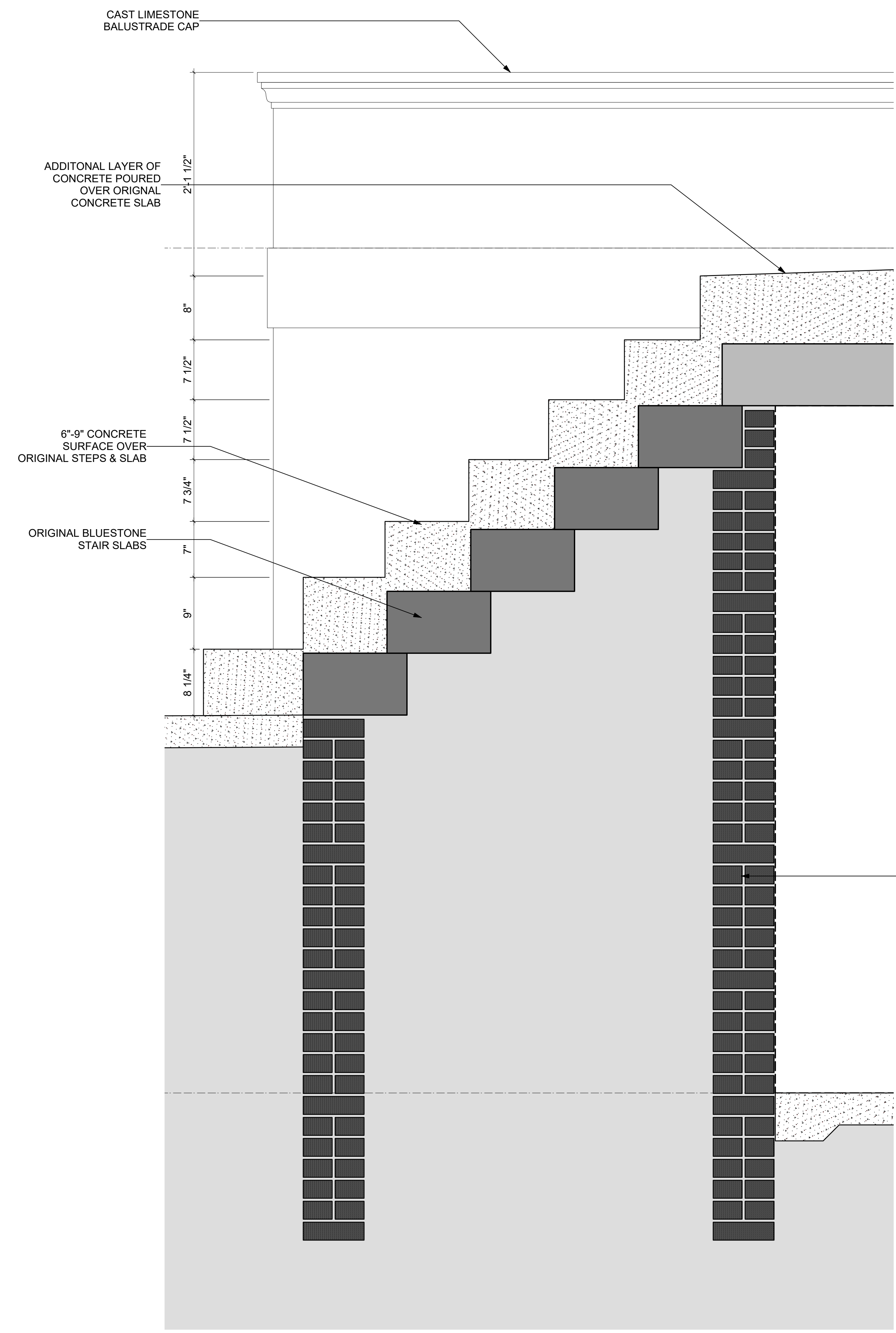
DRAWING SERIES  
**PROPOSED WORK**  
 DWG NAME  
**EX'G & PROPOSED DETAIL SECTIONS @ STAIR**

DWG NO.  
**LPC-012.00**  
 SHEET 12 OF 12

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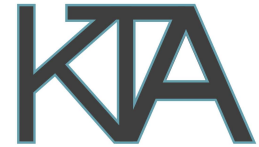


**2** **DETAIL AT NEW STAIRS**  
 Scale: 1 1/2" = 1'-0"



**1** **DETAIL AT EXISTING STAIRS**  
 Scale: 1 1/2" = 1'-0"





# **FIELD OBSERVATION REPORT**

<b>JOB NAME:</b>	891 St Marks – Stoop Reconstruction	<b>REPORT NO:</b>	01
<b>JOB NO:</b>	230127	<b>DATE:</b>	05/10/2024
<b>LOCATION:</b>	Brooklyn, NY 11213	<b>BY:</b>	PC
<b>CLIENT:</b>	Derrick Hilbertz	<b>DATE ON SITE:</b>	2024-03-25
<b>CONTRACTOR:</b>	N/A	<b>TIME ON SITE</b>	10:00-12:00pm
<b>ATTENTION:</b>	Michael P. Hanson	<b>WEATHER:</b>	Sunny
<b>COPY TO:</b>		<b>PEOPLE – ORG. PRESENT:</b>	KJT

## **REASON FOR VISIT:**

We were called on site to evaluate the condition of the existing stoop at 891 St Marks. This report assesses the structural integrity and safety of the stoop.

## **SUMMARY:**

We have observed several structural issues and severe deterioration of the existing stoop. The structural slab is corroded, and its load-bearing capacity compromised, the supporting masonry wall is cracking, and the outside stone walls are leaning. The presence of water infiltration exacerbates these issues, accelerating the deterioration process and compromising the integrity of the entire structure.

## **RECCOMENDATIONS:**

It is recommended that the entire stoop is to be reconstructed rather than opting for repair or partial reconstruction.

The corrosion of the slab, wall cracks, and water infiltration indicate widespread structural deterioration behind what we were able to observe.



- Repairing or partial reconstruction would not adequately address the issues and may lead to further complications in the future. In addition, partial repairs may provide temporary relief but are likely to be costlier in the long run due to recurrent maintenance and potential future failures.
- Reconstructing the entire stoop allows for a comprehensive solution that addresses all structural deficiencies and ensures the long-term stability and durability of the structure.

See next pages for itemized observations and pictures.





# FIELD OBSERVATION REPORT

## OBSERVATIONS MADE ON 2024/03/25:

No.	Observation	Photo
1.01	<p><b>Observation:</b> The interior bearing masonry wall is deteriorated and shows extensive cracking.</p> <p><b>Action Required:</b> See recommendations.</p>	
1.02	<p><b>Observation:</b> Water infiltration are deteriorating and weakening the supporting stoop structure.</p> <p><b>Action Required:</b> See recommendations.</p>	



## FIELD OBSERVATION REPORT

<p>1.03</p>	<p><b>Observation:</b> The leaning of the stone walls are observable on the outside. This is due to the weakening of the supporting structure.</p> <p><b>Action Required:</b> See recommendations.</p>	
<p>1.04</p>	<p><b>Observation:</b> The underside of the slab is corroded, reinforcement is exposed and entire portion of concrete cover has spalled and fallen off.</p> <p><b>Action Required:</b> See recommendations.</p>	

The above is a FIELD OBSERVATION report and shall not be used for SPECIAL INSPECTIONS as required by the governing building code. This report constitutes our observations on the date(s) stated above. Observations are limited to conditions described in the Construction Documents as they relate to the Building in its final condition. Means and Methods and temporary conditions are the responsibility of the General Contractor and are explicitly excluded from our scope of work unless we have a specific contract with the General Contractor that says otherwise.



October 29, 2024  
Public Hearing

The current proposal is:

Preservation Department – Item 3, LPC-24-08616

**891 St Mark's Avenue – Crown Heights North Historic District  
Borough of Brooklyn**

To testify virtually, please join Zoom

**Webinar ID:** 820 4014 2259

**Passcode:** 476351

By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

888-475-4499 (Toll free)

**Note:** If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (\*9 on the phone). Those who signed up in advance will be called first.