

November 26, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 8, LPC-25-01663

23 East 9th Street – Greenwich Village Historic District Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 161 709 3216

Passcode: 445660

By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

888-475-4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

LPC PUBLIC HEARING

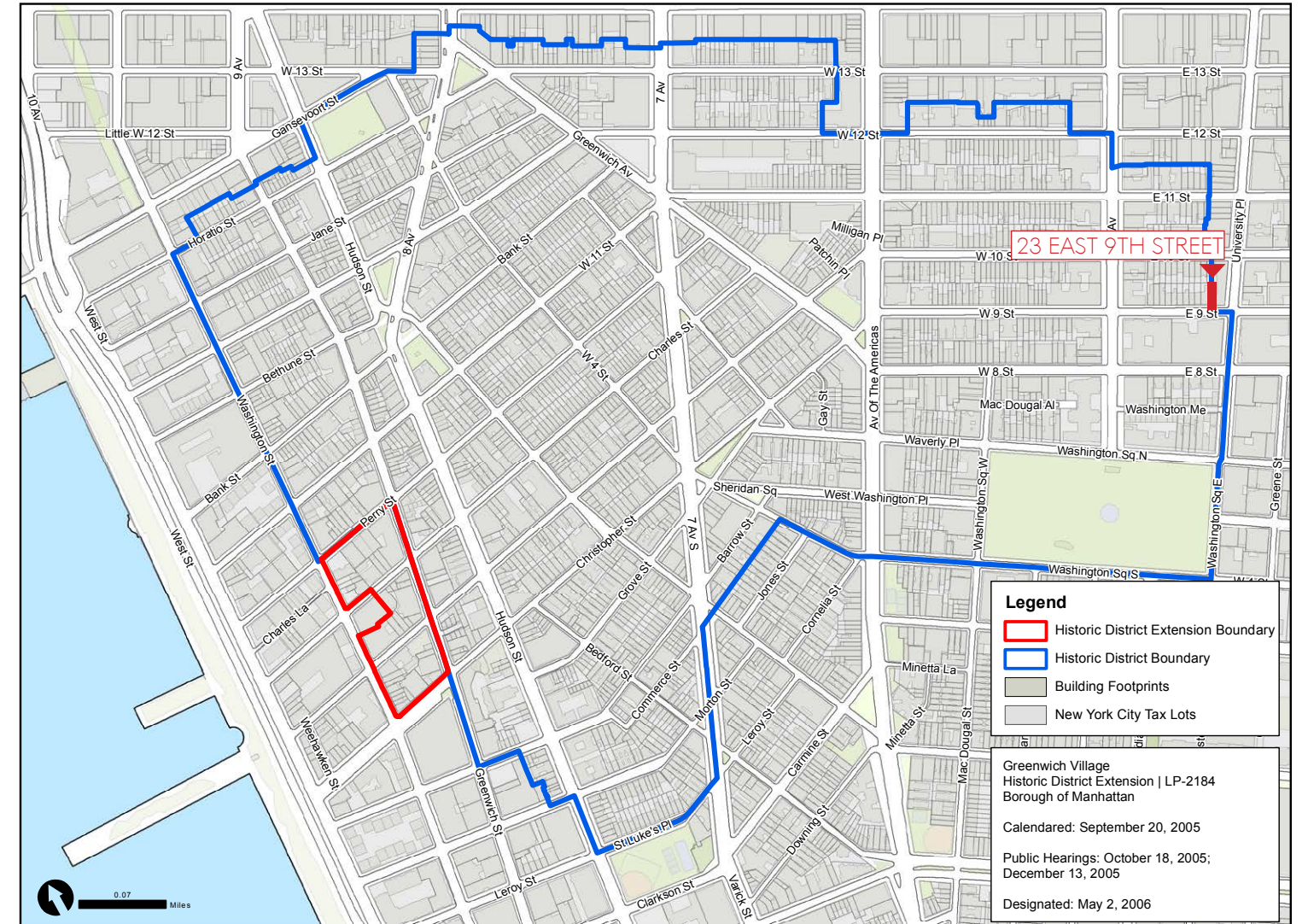
23 EAST 9TH ST
TOWNHOUSE

DOCKET #
LPC-25-01663

BUILDING HISTORY	02
PRIMARY FACADE ALTERATIONS	07
ROOF ALTERATIONS AND REAR YARD EXTENSION	20
MOCK UP PHOTOS	36
PLANS	40
APPENDIX	46



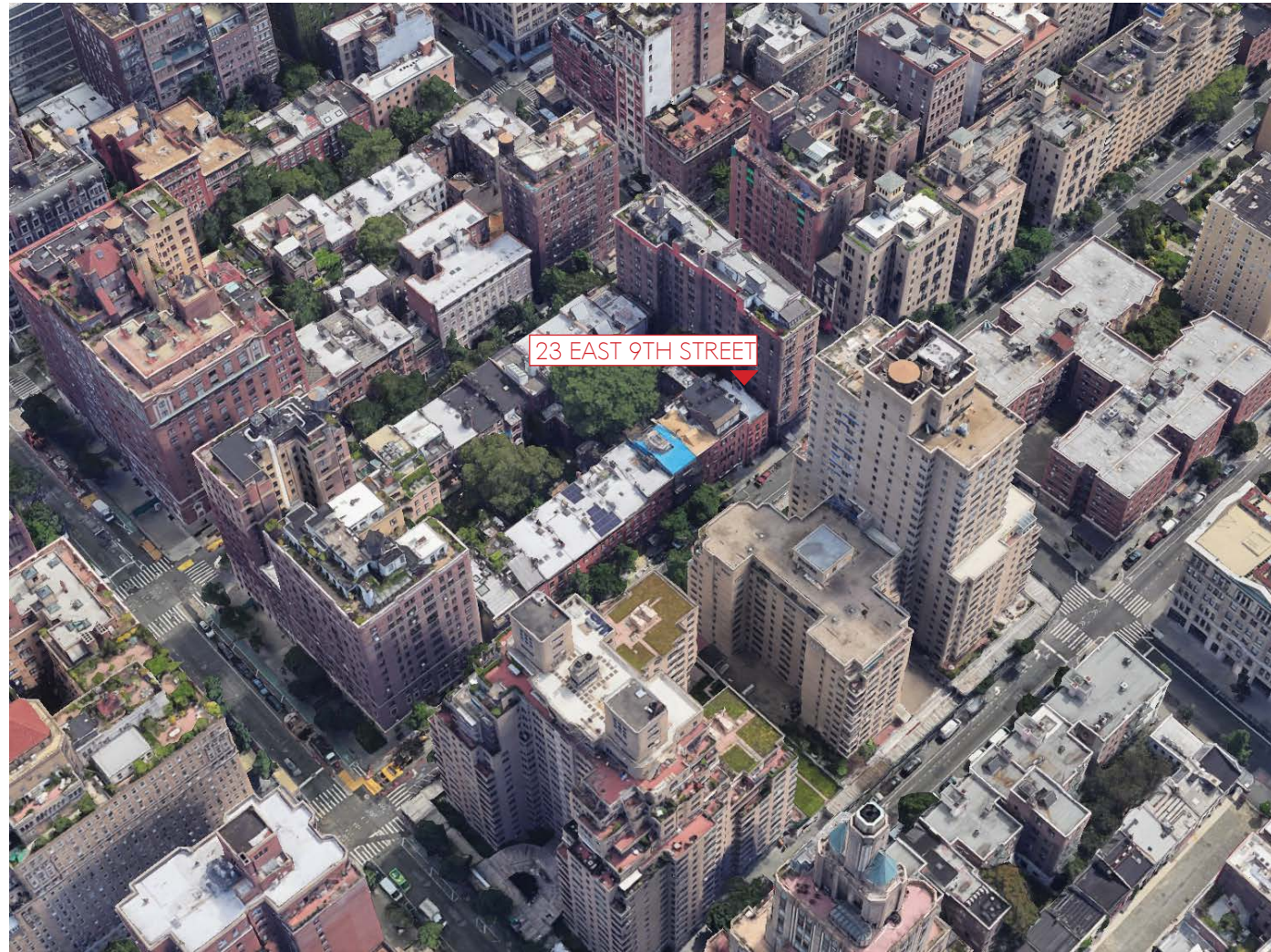
23 EAST 9TH STREET - STREET VIEW



PROJECT LOCATION - GREENWICH VILLAGE HISTORIC DISTRICT



PROJECT LOCATION - BLOCK PLAN



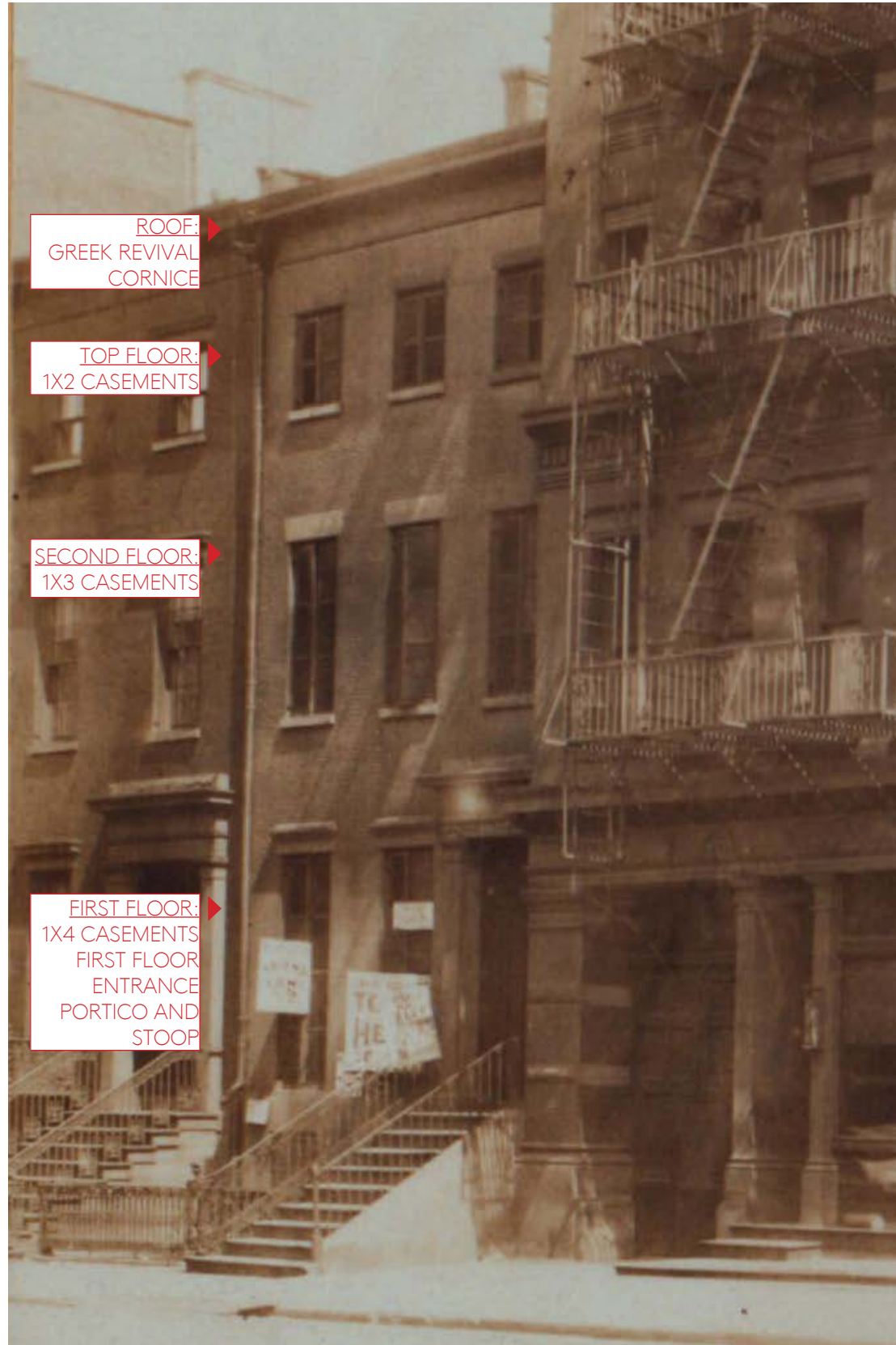
23 EAST 9TH STREET - AERIAL VIEW



PROJECT LOCATION - STREET VIEW FROM E 9TH STREET LOOKING EAST



PROJECT LOCATION - STREET VIEW FROM UNIVERSITY PLACE LOOKING WEST



ROOF:
GREEK REVIVAL
CORNICE

TOP FLOOR:
1X2 CASEMENTS

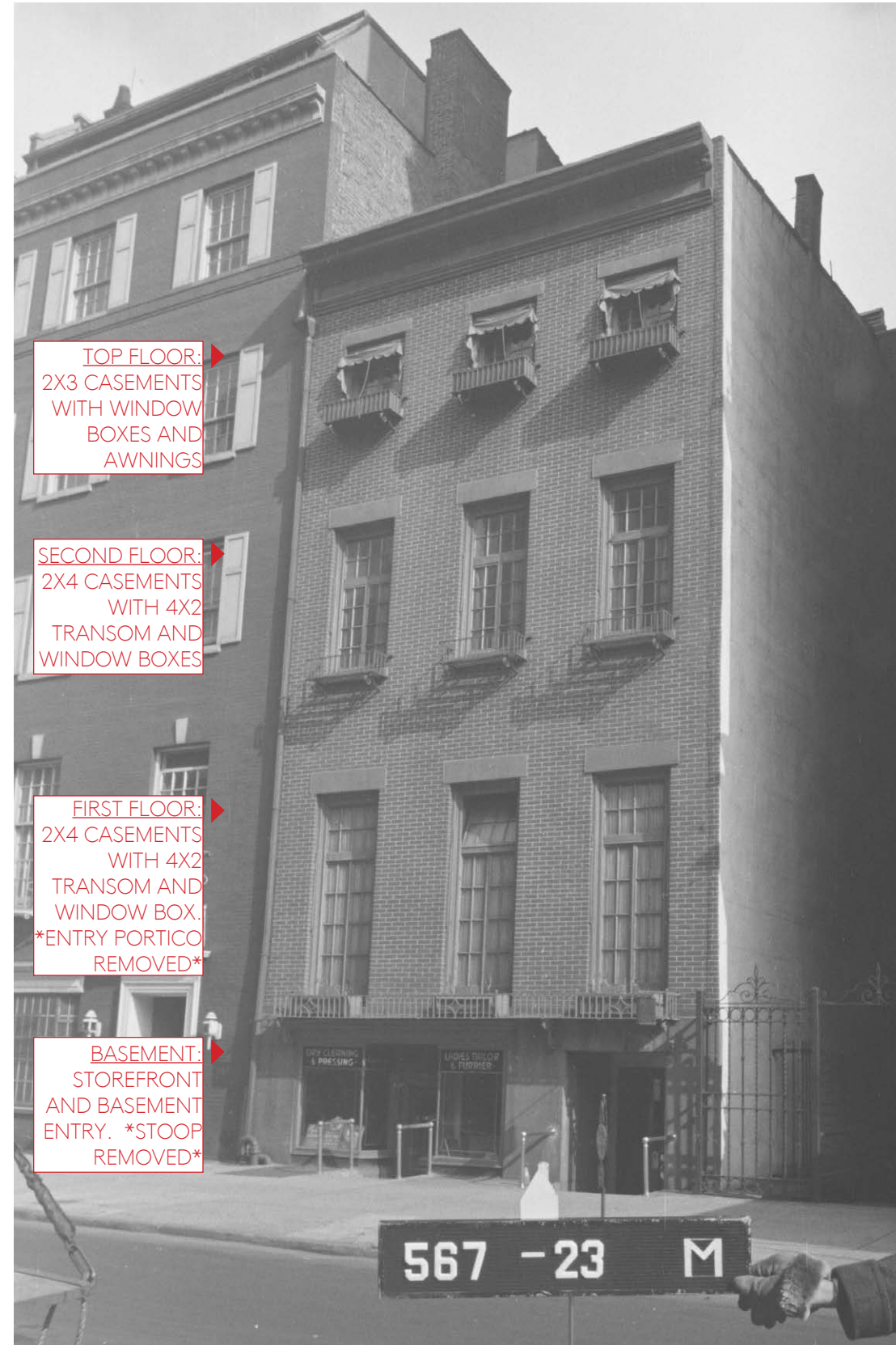
SECOND FLOOR:
1X3 CASEMENTS

FIRST FLOOR:
1X4 CASEMENTS
FIRST FLOOR
ENTRANCE
PORTICO AND
STOOP

PHOTO DATE:
1913

SOURCE:
NYPL

NOTES:
Building built in 1843
by hardware merchant
Aquila G. Stout.



TOP FLOOR:
2X3 CASEMENTS
WITH WINDOW
BOXES AND
AWNINGS

SECOND FLOOR:
2X4 CASEMENTS
WITH 4X2
TRANSOM AND
WINDOW BOXES

FIRST FLOOR:
2X4 CASEMENTS
WITH 4X2
TRANSOM AND
WINDOW BOX.
*ENTRY PORTICO
REMOVED*

BASEMENT:
STOREFRONT
AND BASEMENT
ENTRY. *STOOP
REMOVED*

PHOTO DATE:
1940

SOURCE:
TAX PHOTO

NOTES:
Renovated in the early
1920's to include a store
on the ground floor and
apartments on the upper
floors according to DOB
records.

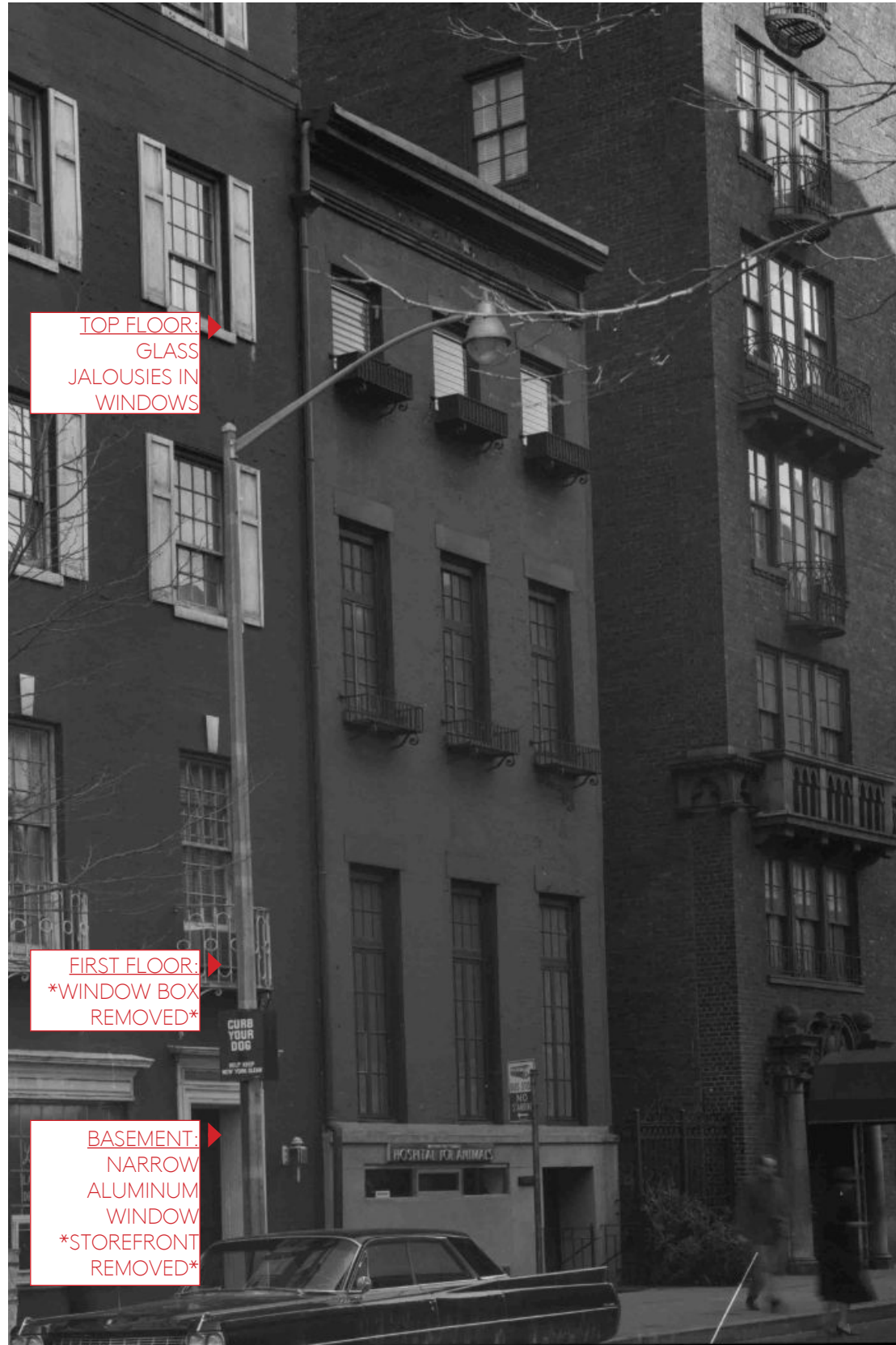


PHOTO DATE:
1969

SOURCE:
LPC Designation

NOTES:
Storefront removed and
basement converted
to an animal hospital
between 1962 and 1965
according to DOB records.

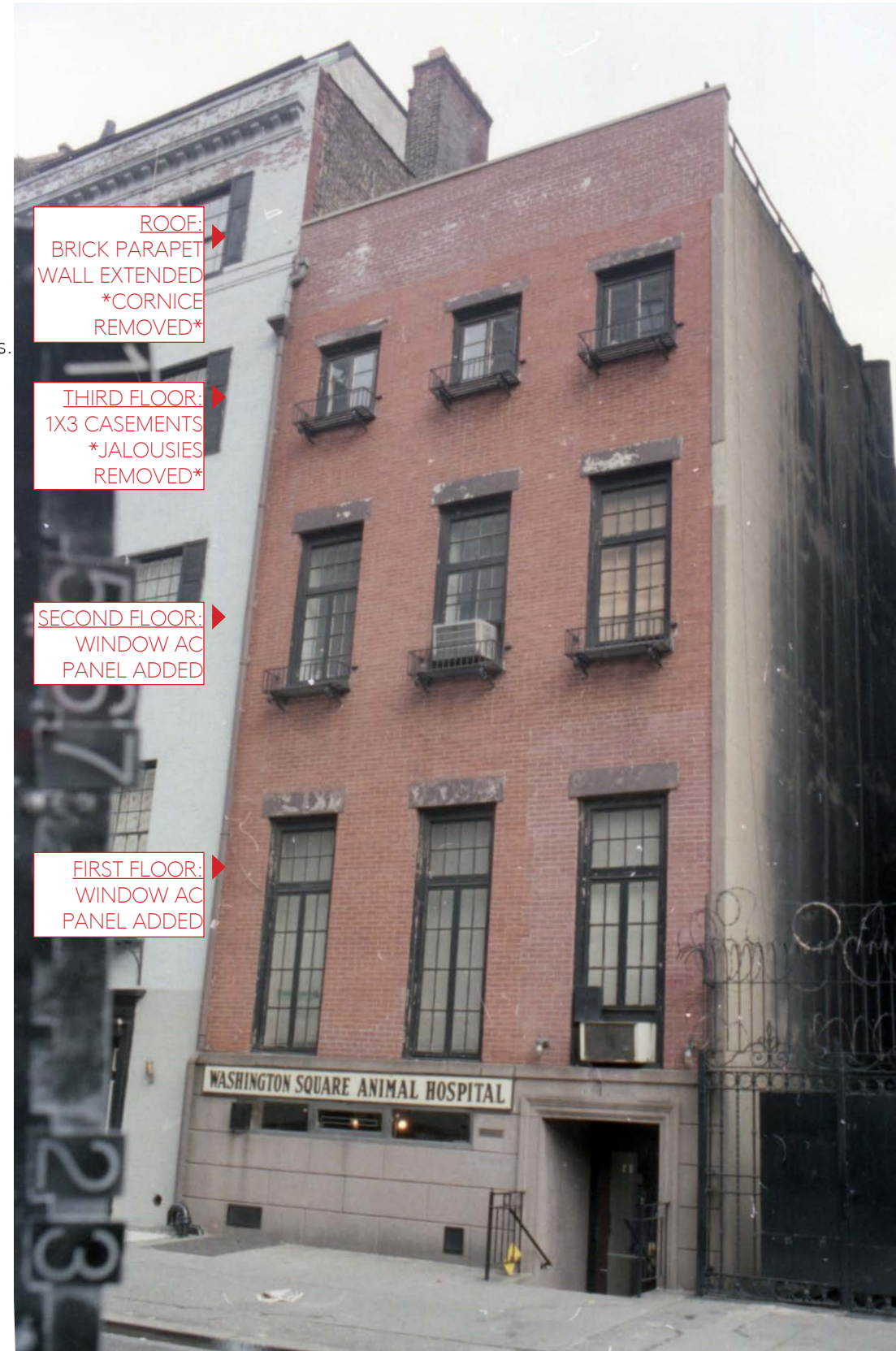


PHOTO DATE:
1980

SOURCE:
Tax Photo

NOTES:
No DOB or LPC record of
cornice removal or brick
parapet extension.



PHOTO DATE:
2024

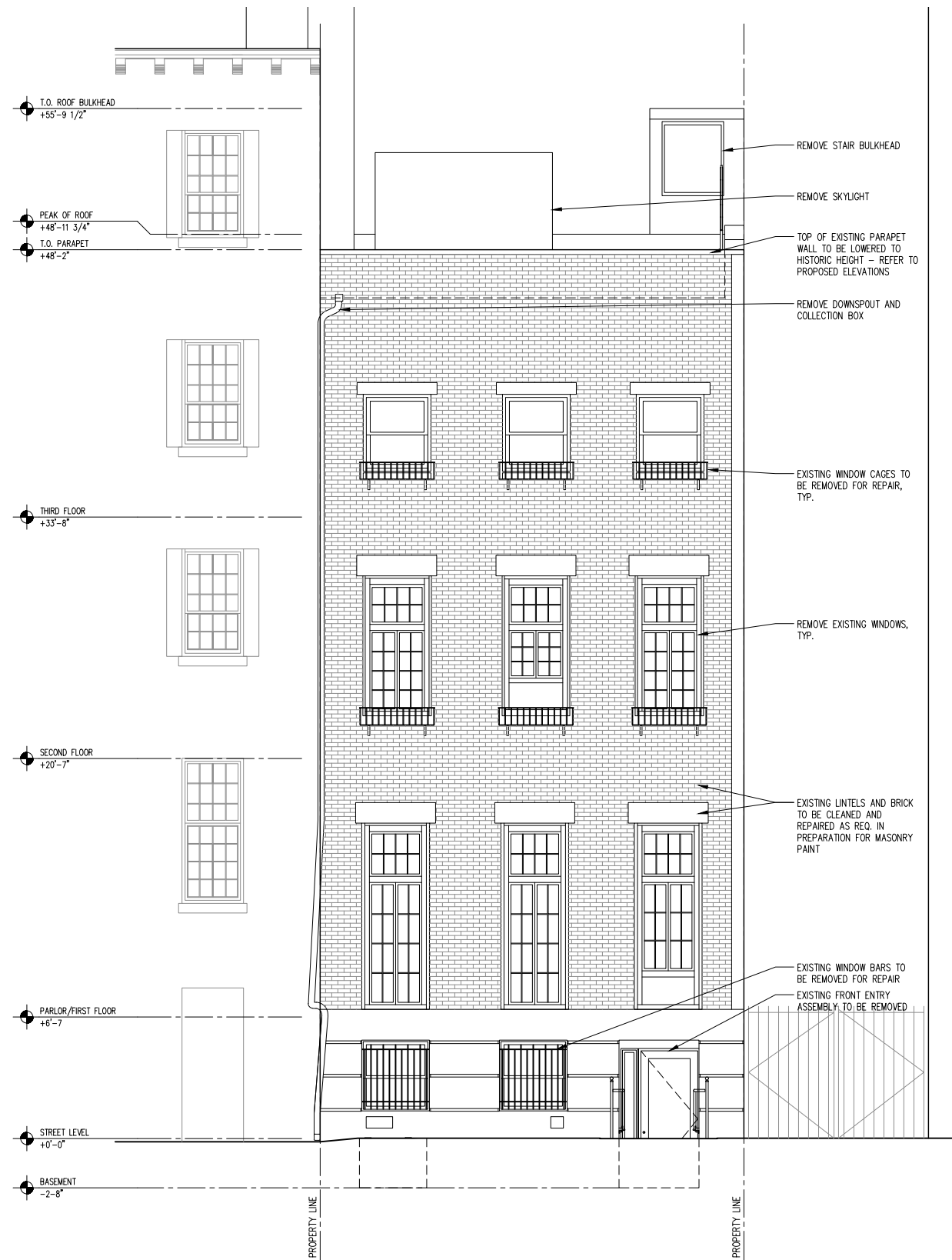
SOURCE:
Self-Taken

NOTES:
Windows replaced in 2001
without LPC consent
according to LPC violation
02-0392. No DOB or LPC
record of brownstone
base being changed.

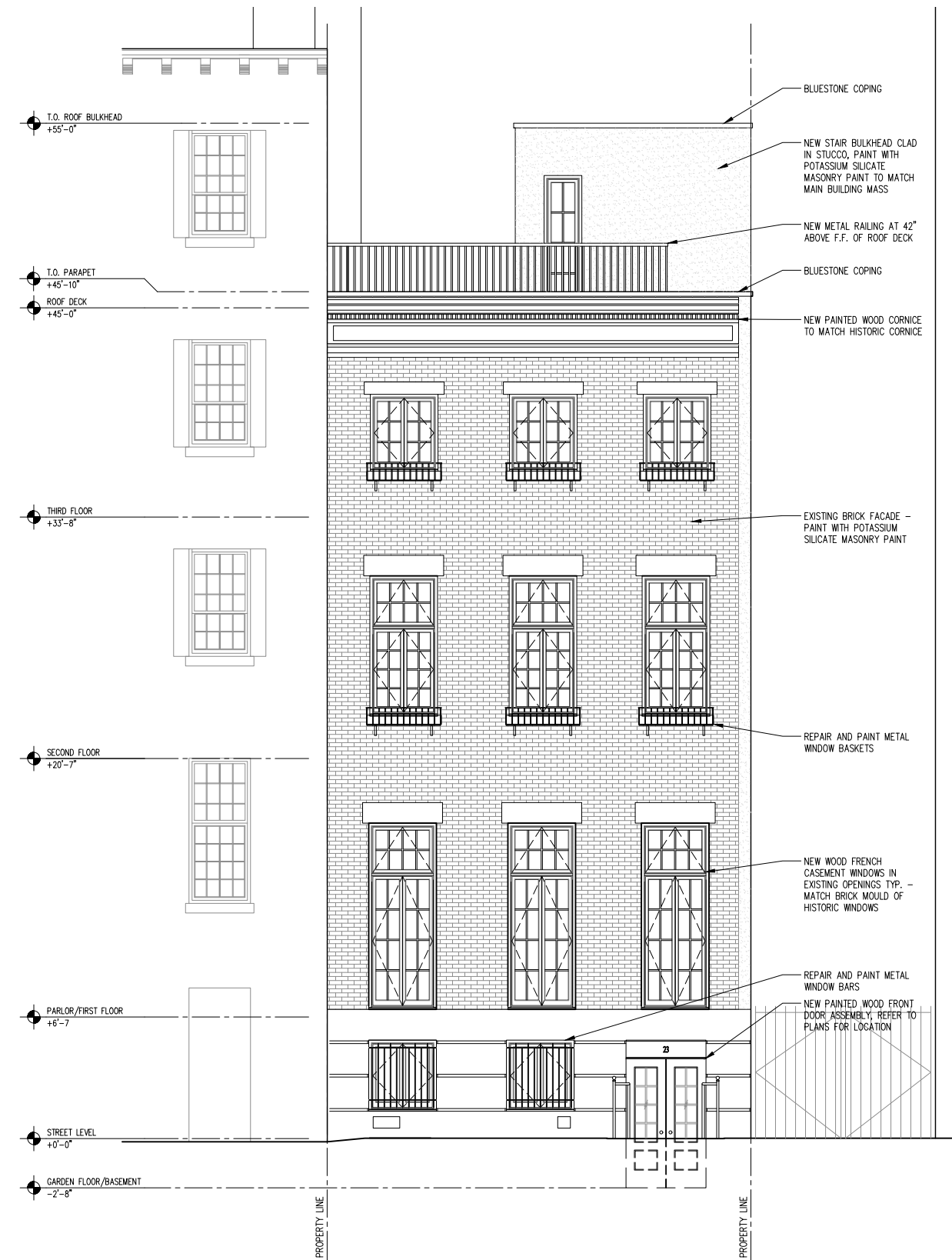
#23

This brick house, built in 1843 for Aquila G. Stout, mentioned above, retains its handsome yet simple Greek Revival cornice, small attic windows, and floor-length parlor windows. It appears to have been remodeled twice, once in the Nineteen-twenties when wood case-ment windows and iron flower box holders were installed. The base-ment entrance was evidently installed at this time when the stoop was removed. Earlier, the basement stonework had been painted and a narrow horizontal window added at eye level. Glass jalousies were installed in the little square windows of the fourth floor without removing the flower boxes.

Excerpt from Greenwich Village Historic District Designation Report, 1969



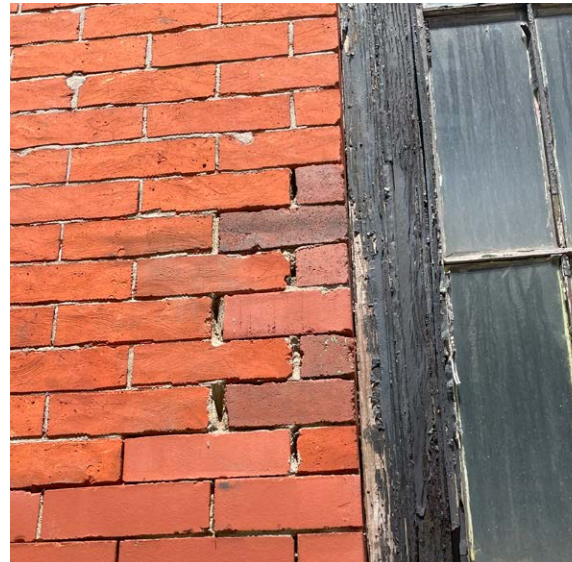
EXISTING ELEVATION



PROPOSED ELEVATION



EAST 9TH STREET FACADE



1. Brick repairs have been made with mismatched bricks



2. "Ghost" where entry portico and stoop were removed



3. Lintels are in poor condition with the existing paint peeling



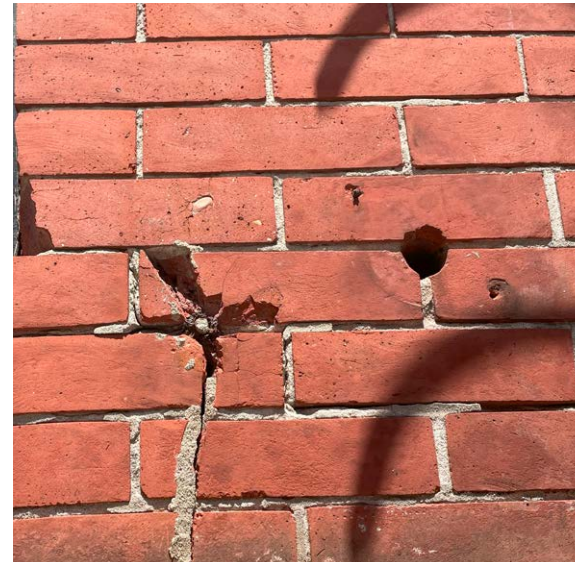
4. Parapet built with insensitive materials

CONDITIONS STATEMENT:

The brick facade of the 181-year-old townhouse exhibits significant deterioration and inconsistencies due to extended neglect and inadequate maintenance. The damage is extensive and uniformly distributed across the entire facade, with numerous repairs made using bricks of varying colors, particularly noticeable around the window openings. A distinct outline remains where a portico entryway was infilled with non-matching bricks. Additionally, a parapet wall, constructed later with a much lighter-colored brick, is mismatched with the historic facade.

The brick surfaces have deteriorated severely over time, with many units showing signs of acute wear. Surface-level cracks and spalling are prevalent. Mortar joints are in various states of disrepair.

At the interior, the discoloration, efflorescence, failing mortar joints, evidence of repairs, decaying window frames, and damaged brick are consistent with that of continued water infiltration.



5. Broken brick units and holes are common across the facade



6. Brownstone cracks



7. Hairline cracks and poor brick face condition are typical



8. Large cracks have been poorly repaired

EAST 9TH STREET FACADE



PRIMARY FACADE WALL INTERIOR / Second Floor



PRIMARY FACADE WALL INTERIOR / First Floor



PRIMARY FACADE WALL INTERIOR / Third Floor



Hotel Martin / East 9th St and University Place / 1895



Hotel Brevoort / 8th St and 5th Ave / 1895



East 8th St. and University Looking North / 1895



37-41 East 9th St / 1895



10-14 East 8th St / 1895

IMAGES SOURCE:
Sailors' Snug Harbor Image Collection
(New York University); MC 218; Box
1; New York University Archives, New
York University Libraries



Hotel Martin / East 9th St and University Place / 1895



Hotel Lafayette / East 9th St and University Place / 1916

PRIMARY FACADE / Painted Brick Facade Precedents in Greenwich Historic District



226 W 10th St



66 Greenwich Ave



16 Charles St



170 Waverly Pl



17 Gay St



16 Christopher St



176 MacDougal St



16-18 Gay St

PRIMARY FACADE / Painted Brick Facade Precedents in Greenwich Historic District



175 MacDougal St



55 Grove St



119 W 11th St



33 W 8th St



59 Grove St



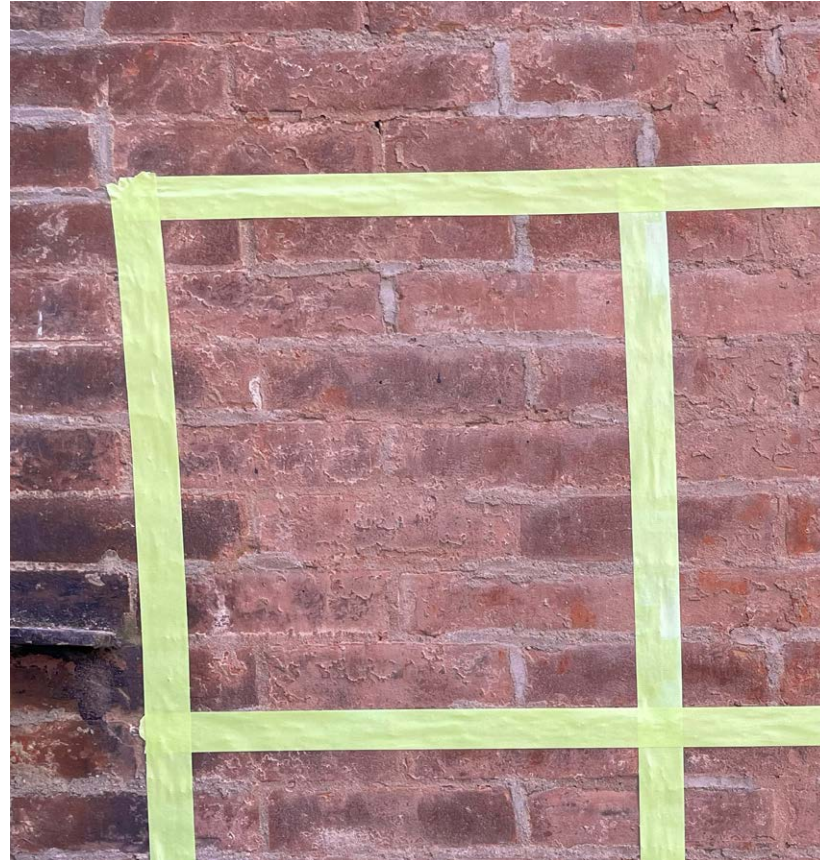
76 W Washington Pl



446 6th Ave



50 W 10th St



MOCK-UP LOCATION AT REAR FACADE



2 COATS OF KEIM SOLDADIT PAINT IN BM OC-146

PRODUCT SPECIFICATION:

To protect the aging masonry from further weathering and act as a waterproofing layer in place of the damaged fire skin; all masonry and stucco surfaces are to be painted with KEIM "Soldalit" silicate paint in BM OC-46 "Halo".

From the manufacturer's website: KEIM Soldalit is a highly specialized silicate facade paint based on a proven binder combination of silica sol and water glass. This binder combination allows silicate coatings not only on mineral but also on a wide range of organic substrates – directly and without additional bonding bridges. Filled and pigmented with weather-resistant fillers and purely inorganic pigments, it combines KEIM Soldalit all the benefits of classic dispersion silicate paint with the substrate versatility of organically bound paint systems. KEIM Soldalit also satisfies the requirements of DIN 18363 para. 2.4.1 "Dispersion silicate paint".

Note: The proposed coating is not reversible but is intended to provide the best protection against water intrusion while allowing the masonry to breathe as a vapor-permeable coating. As an alternate we would be willing to work with staff to find a reversible soft white coating

SURFACE PREP SPECIFICATION:

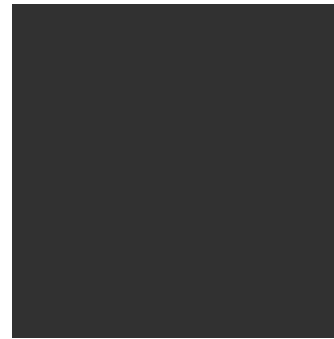
For paint to properly adhere to surface of masonry, prior to painting, masonry must be clean, dry, and dull. To achieve this existing masonry and stucco surfaces are to be prepped using a pressure washer with water pressure not to exceed 500psi to avoid surface damage. After the surface prep the wall will be given 48 hours to fully dry before painting.



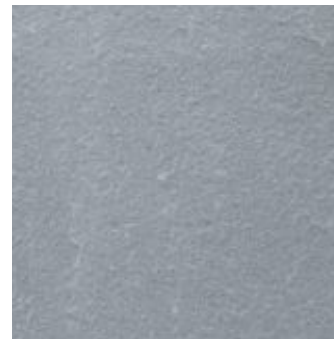
CURRENT BRICK CONDITION IS VERY POOR



1. KEIM soldalit masonry paint in BM-46 "Halo" will be used to coat new and existing masonry surfaces including the stucco bulkhead, stucco side facades, and all brickwork.



2. Benjamin Moore 2131-20 "Midnight" will be used to paint all metalwork, lintels, and exterior wood which includes the window boxes, areaway fence, roof terrace railings, windows, front door, and cornice.



3. New bluestone coping at the existing parapet wall and the new bulkhead.



4. Existing brownstone base

PROPOSED ELEVATION



STREET VIEW



EXISTING RAILING

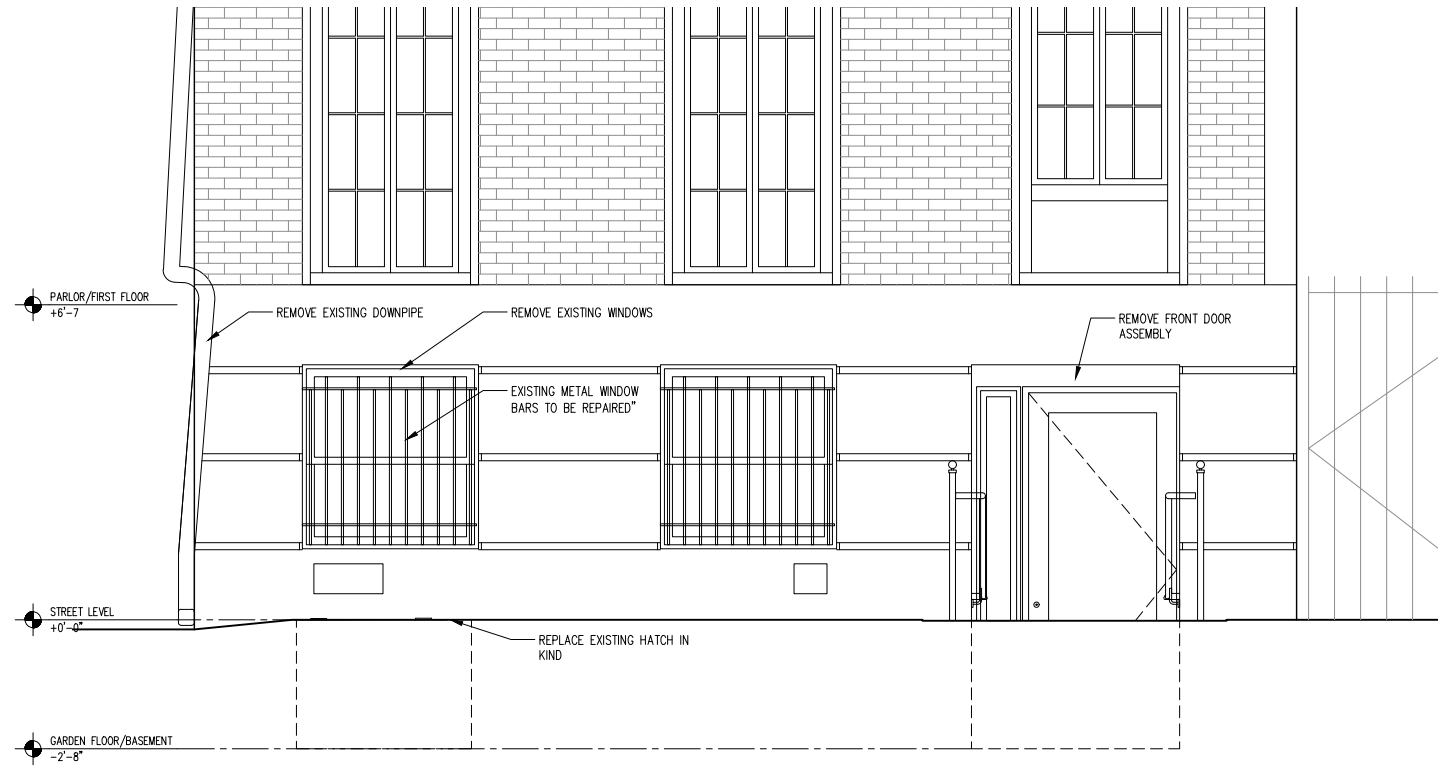


EXISTING ENTRY FROM STREET



EXISTING ENTRY

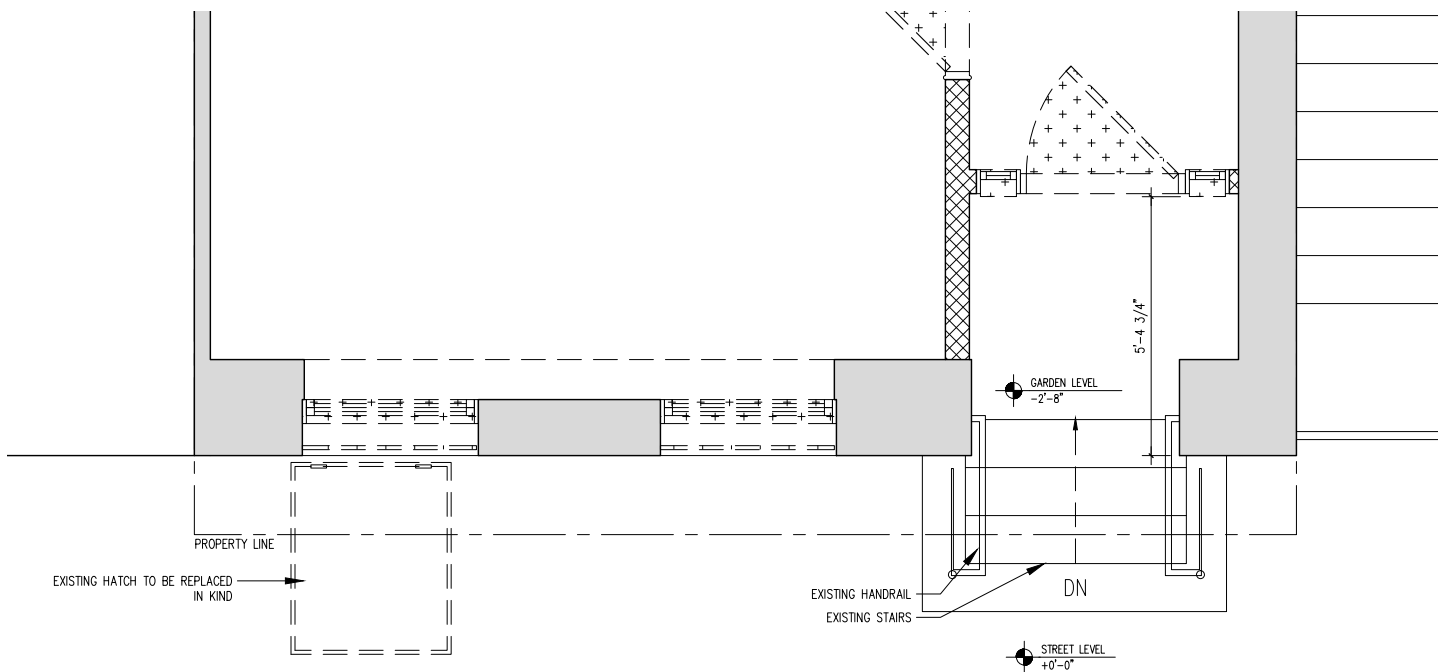
PRIMARY FACADE / Front Entry Alterations



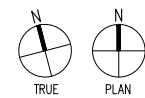
EXISTING AREAWAY ELEVATION / Scale (1/4)" 1'-0"



PROPOSED AREAWAY ELEVATION / Scale (1/4)" 1'-0"

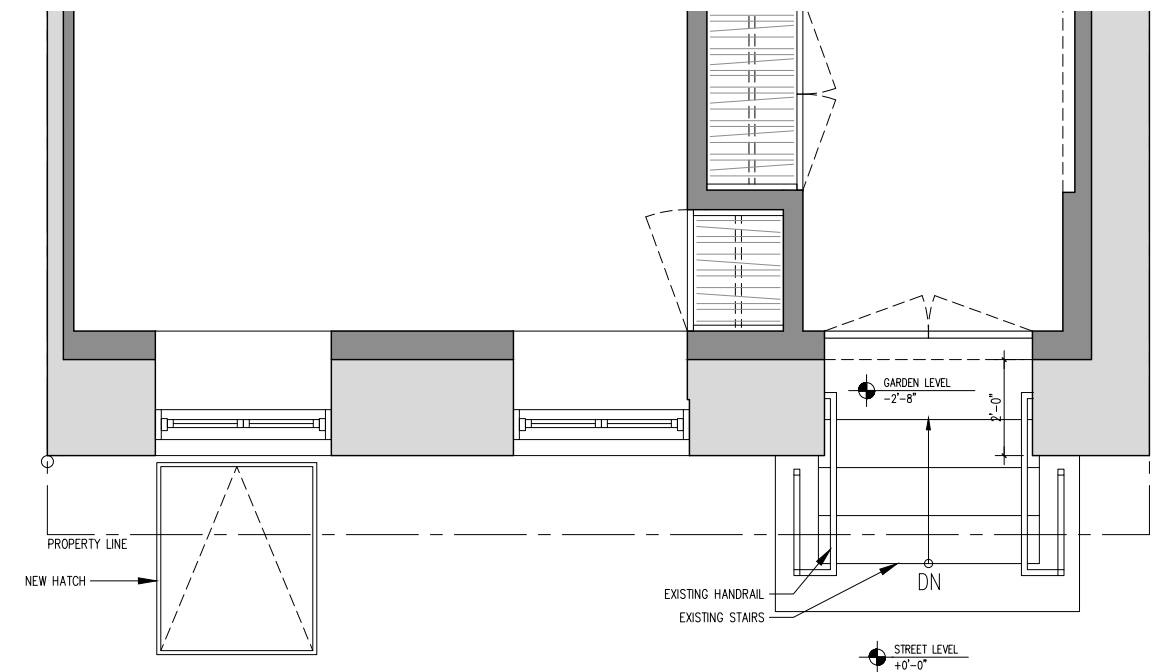


EXISTING AREAWAY PLAN / Scale (1/4)" 1'-0"

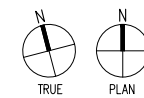


DEMO LEGEND

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED
	EXISTING CABINETRY, APPLIANCE, FIXTURE, FITTING TO BE REMOVED
	EXISTING DOOR/WINDOW/INFRASTRUCTURAL COMPONENT TO BE REMOVED

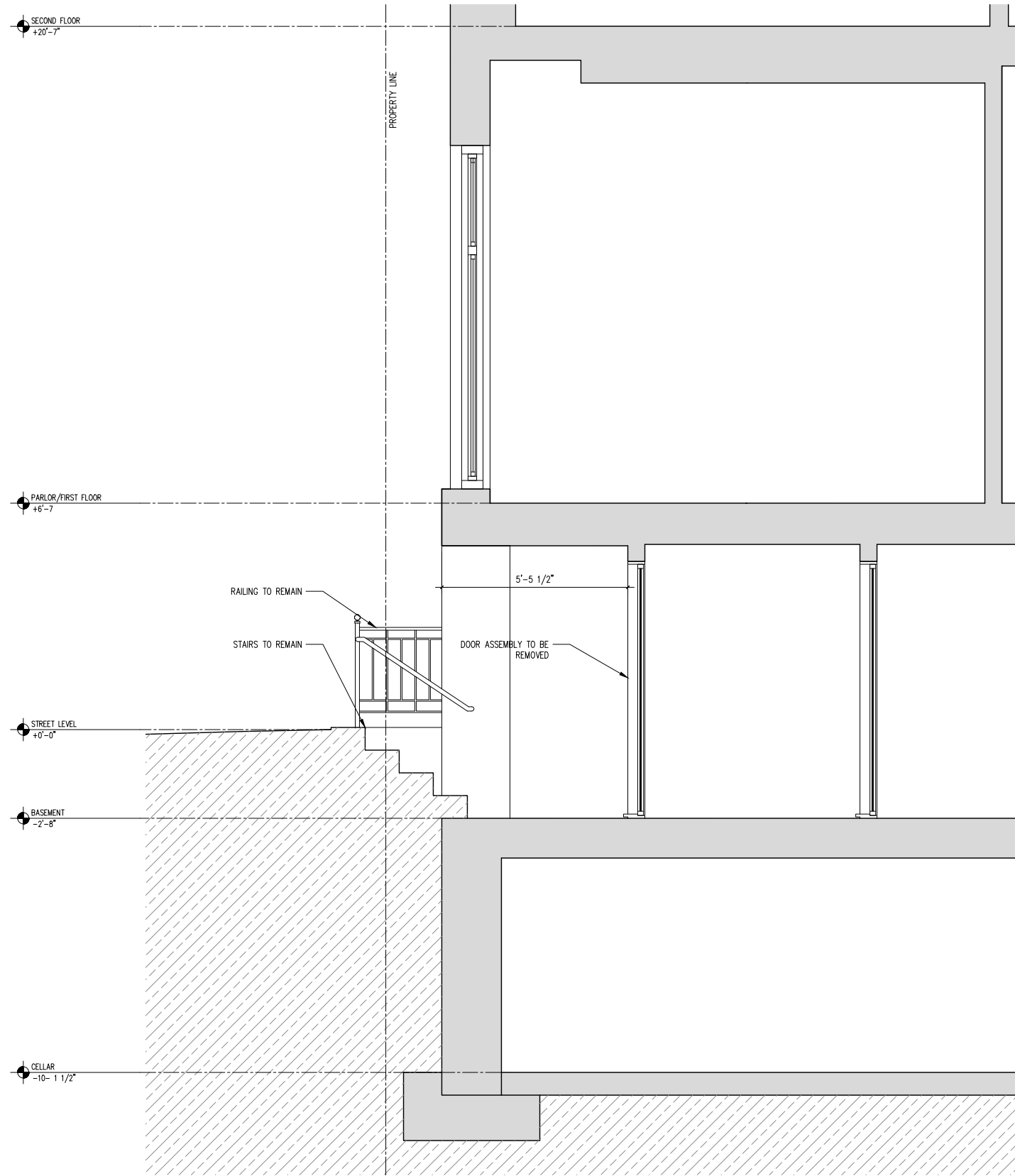


PROPOSED AREAWAY PLAN / Scale (1/4)" 1'-0"

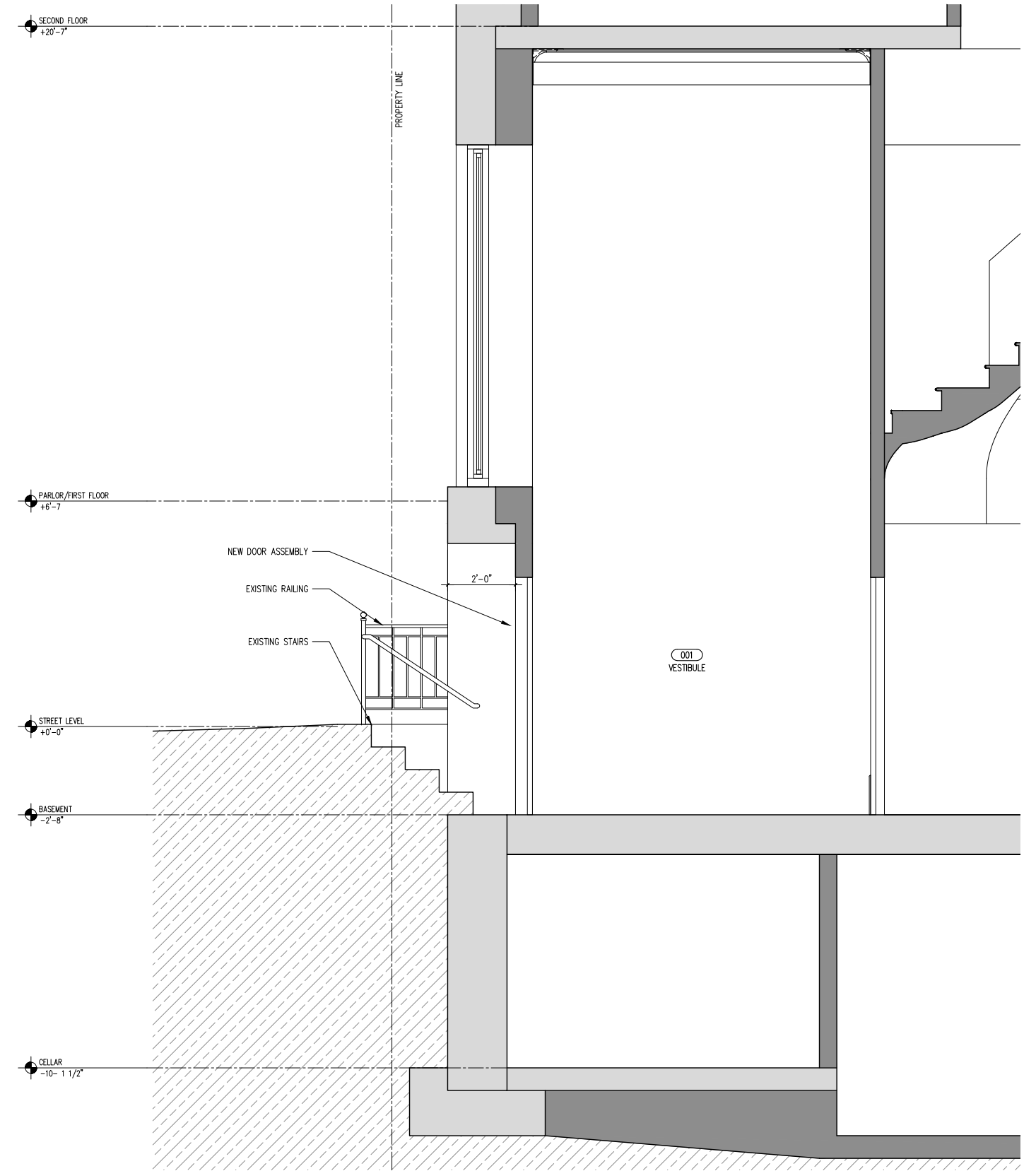


	NEW WALL CONSTRUCTION
	EXISTING WALL

PRIMARY FACADE / Areaway Alterations



EXISTING AREAWAY SECTION / Scale (1/4)" 1'-0"



PROPOSED AREAWAY SECTION / Scale (1/4)" 1'-0"





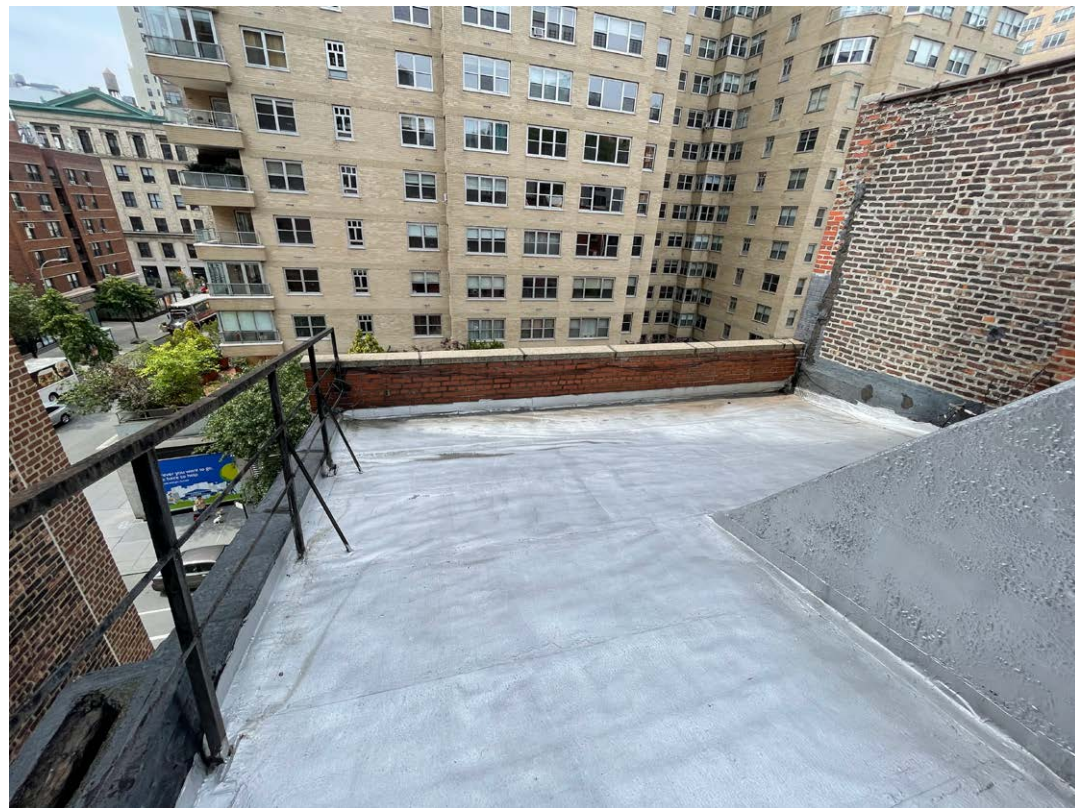
EXISTING STAIR BULKHEAD / Looking East



EXISTING SKYLIGHT BULKHEADS / Looking North



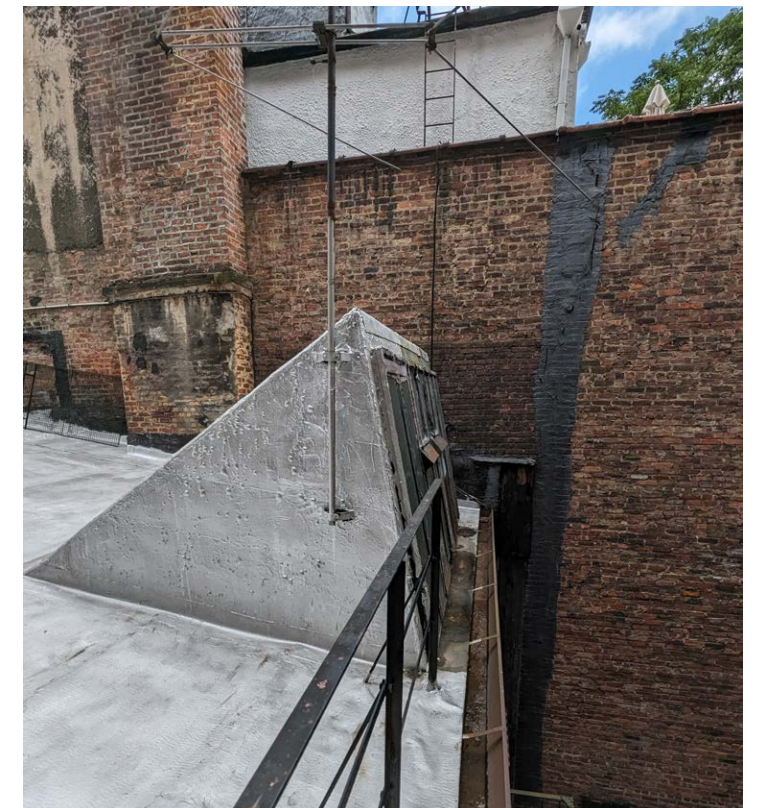
EXISTING SKYLIGHT BULKHEAD



EXISTING PARAPET WALL / Looking South Toward E 9th Street



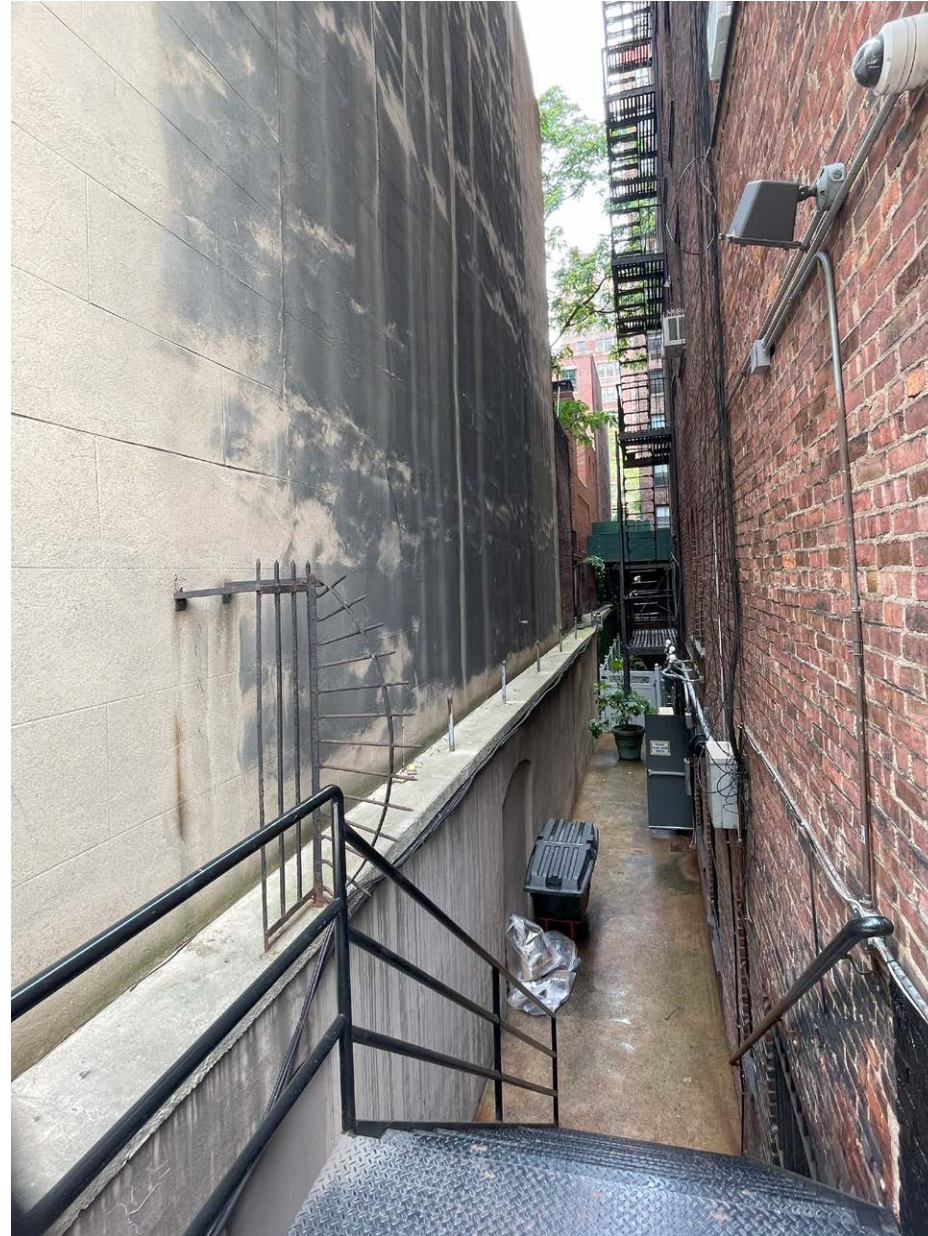
EXISTING CHIMNEYS / Looking West



EXISTING SKYLIGHT BULKHEAD



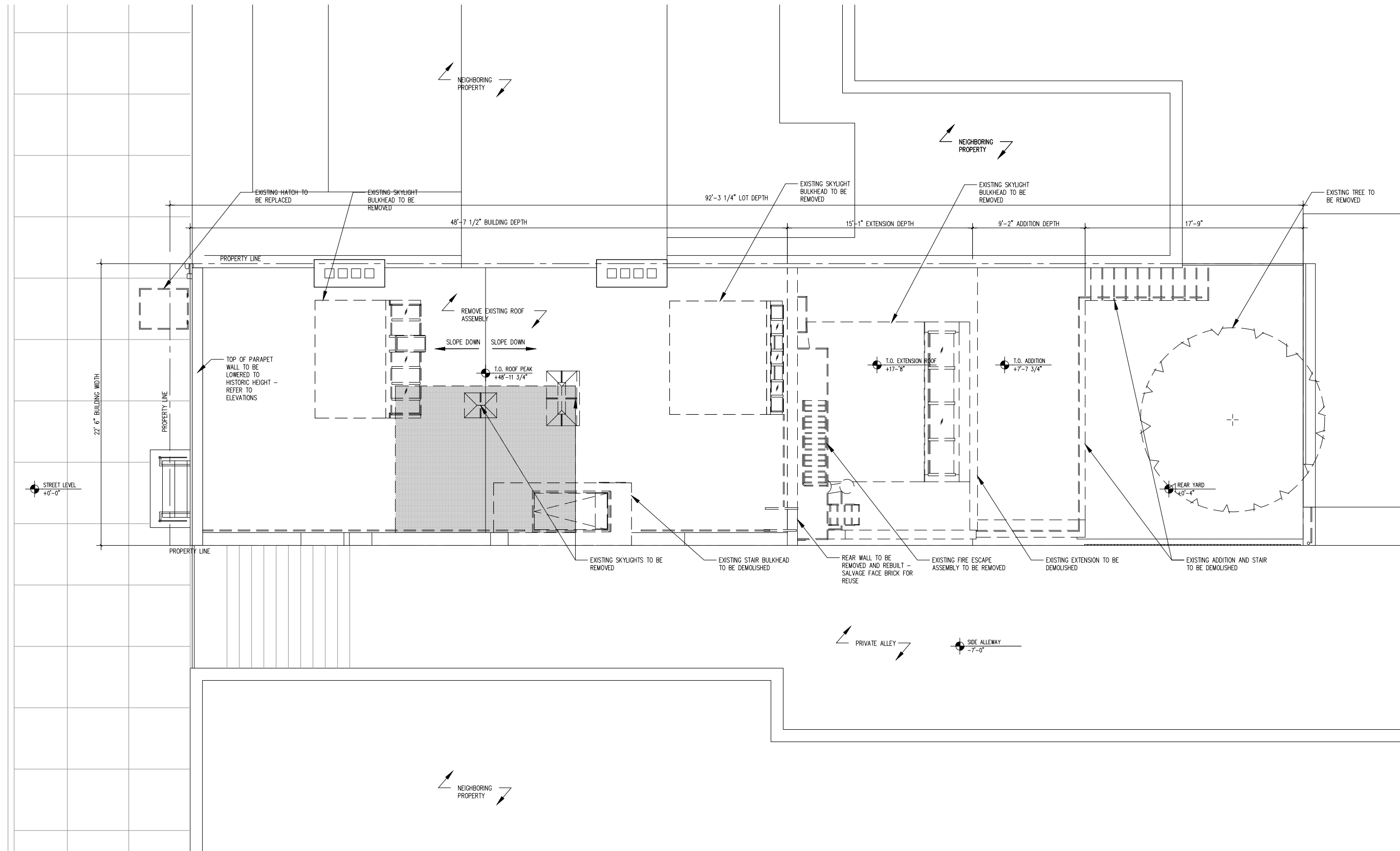
VIEW FROM 9TH STREET

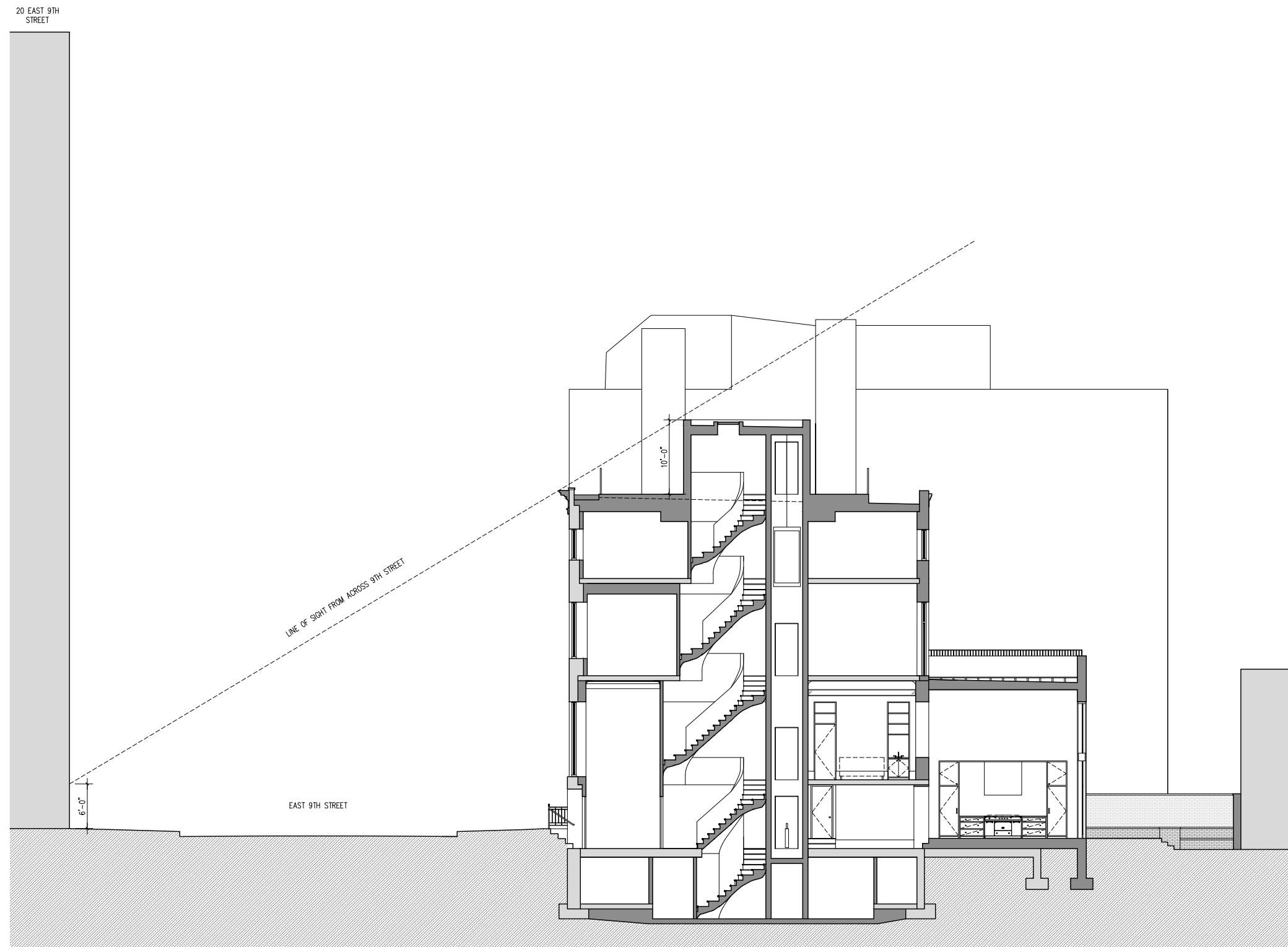


VIEW THROUGH GATE

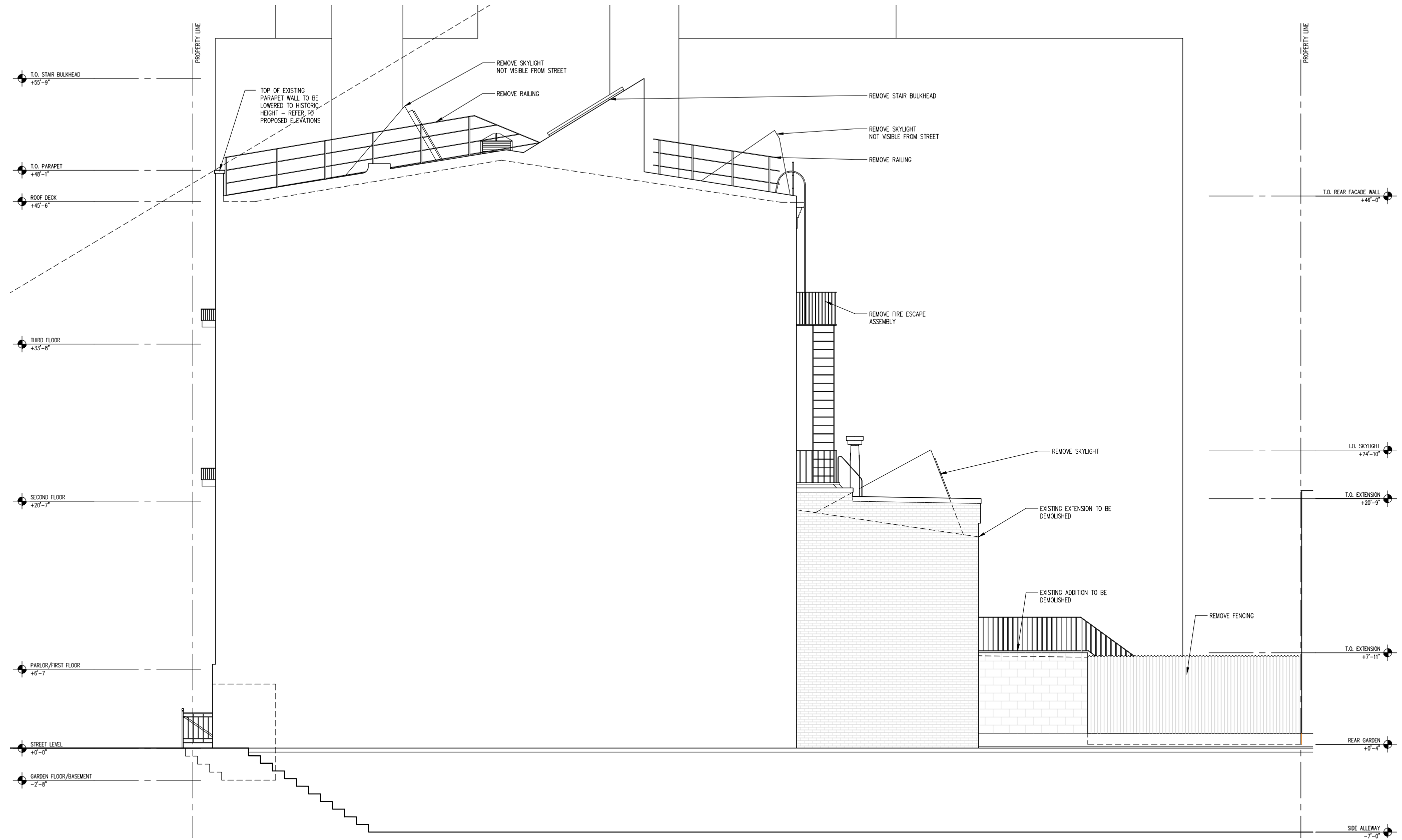


VIEW LOOKING UP AT GATE



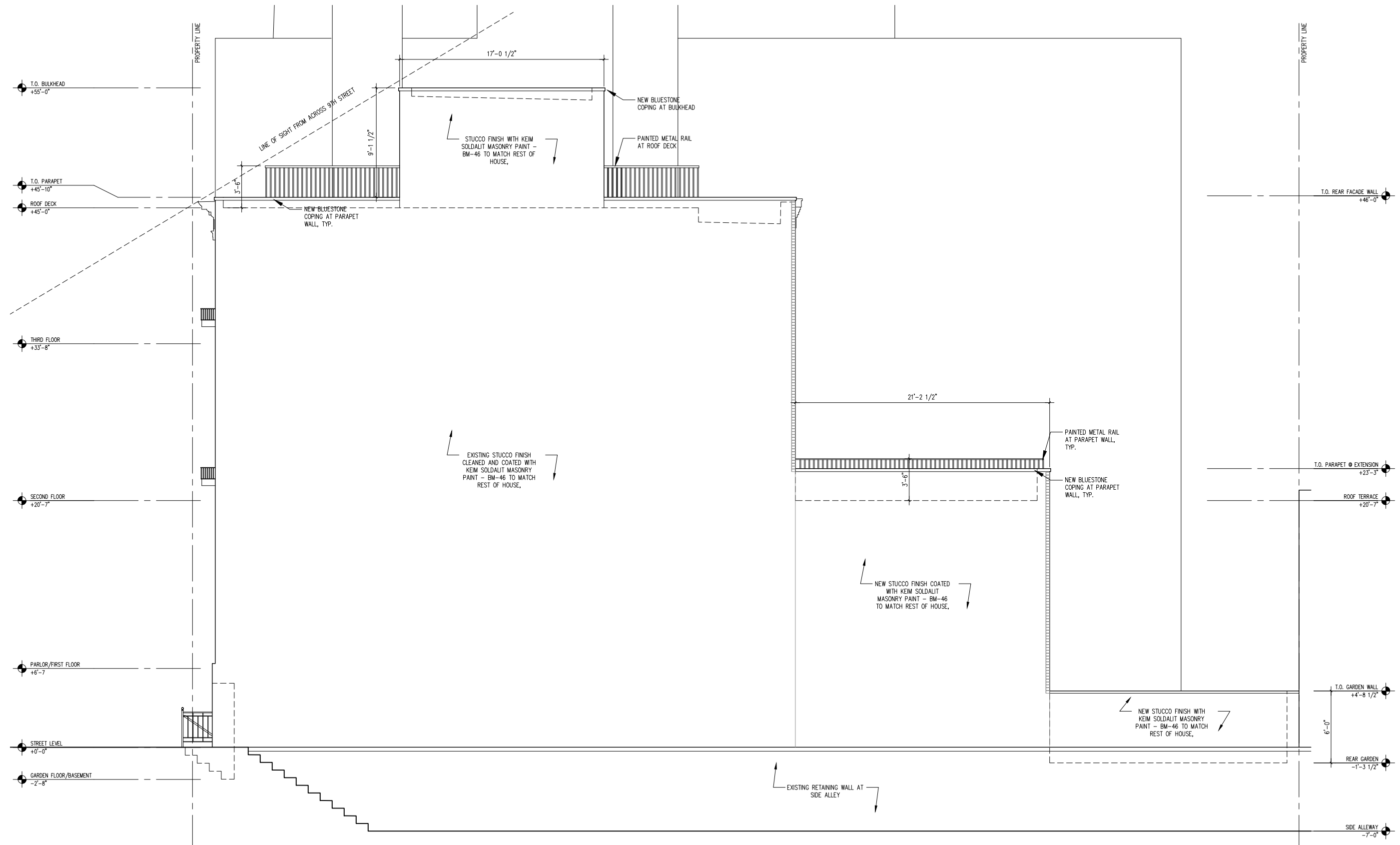


ROOF ALTERATIONS AND REAR YARD ADDITION / Existing Side (East) Elevation / Scale (1/8)" 1'-0"

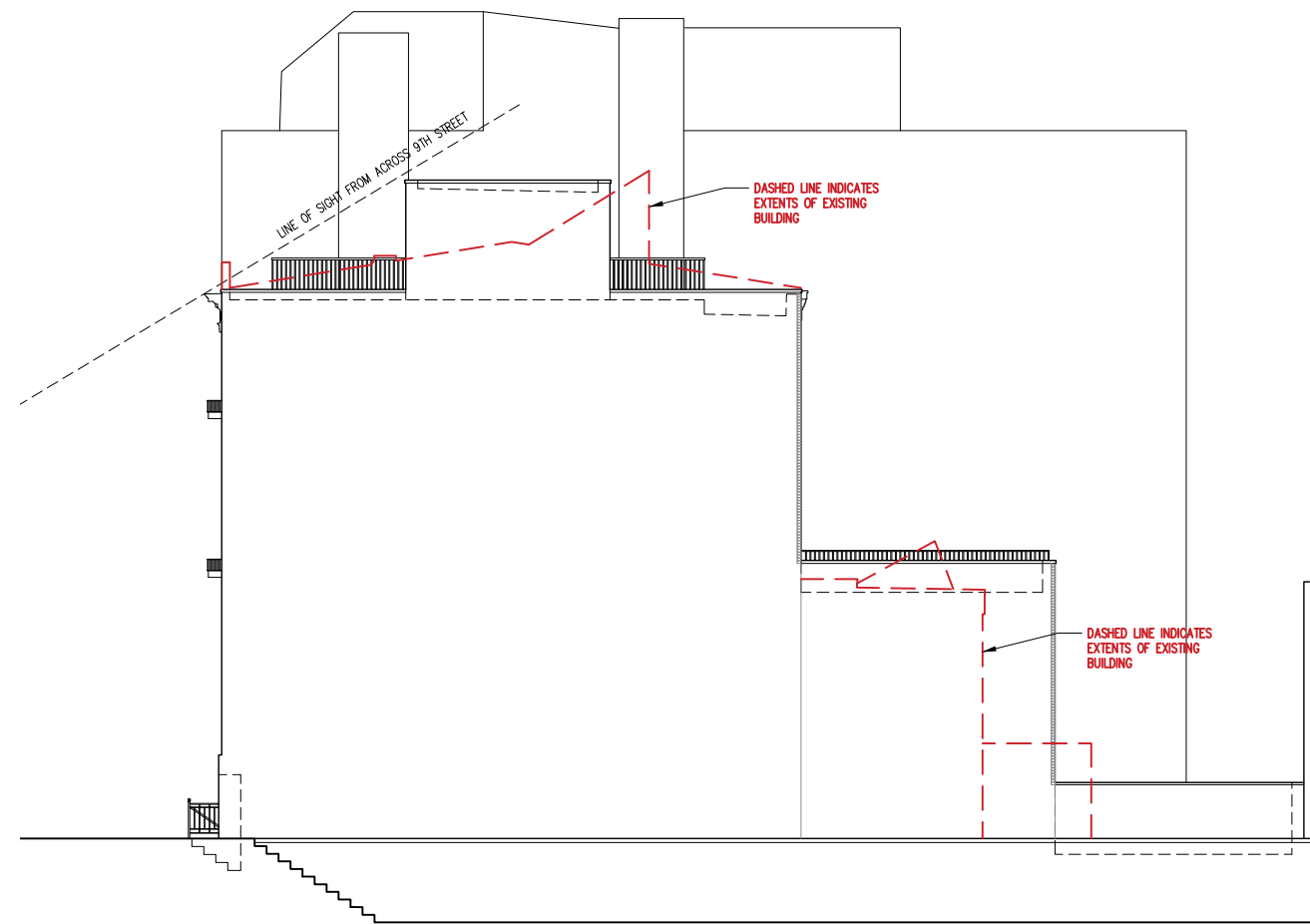


EXISTING ELEVATION

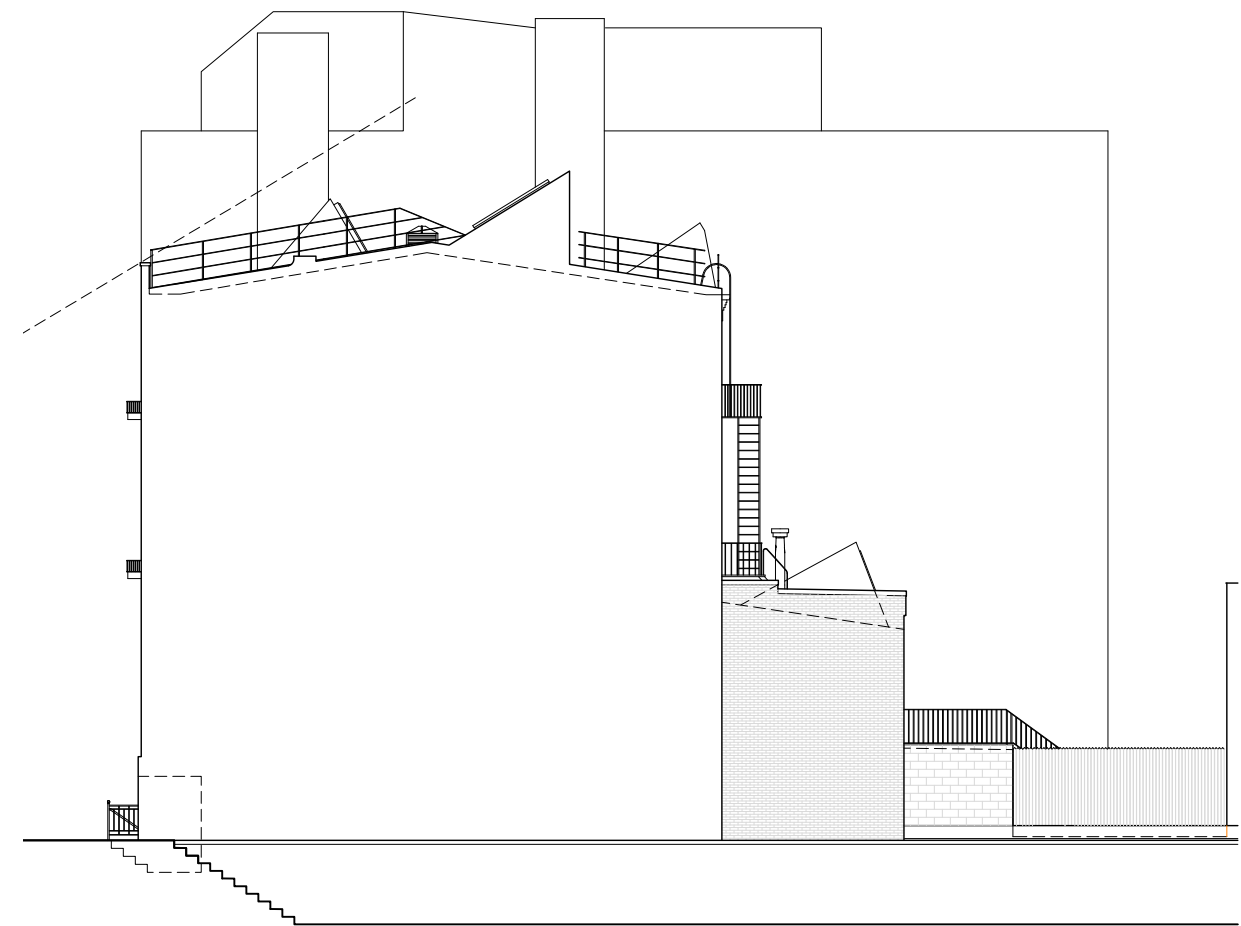
ROOF ALTERATIONS AND REAR YARD ADDITION / Proposed Side (East) Elevation / Scale (1/8)" 1'-0"



PROPOSED ELEVATION

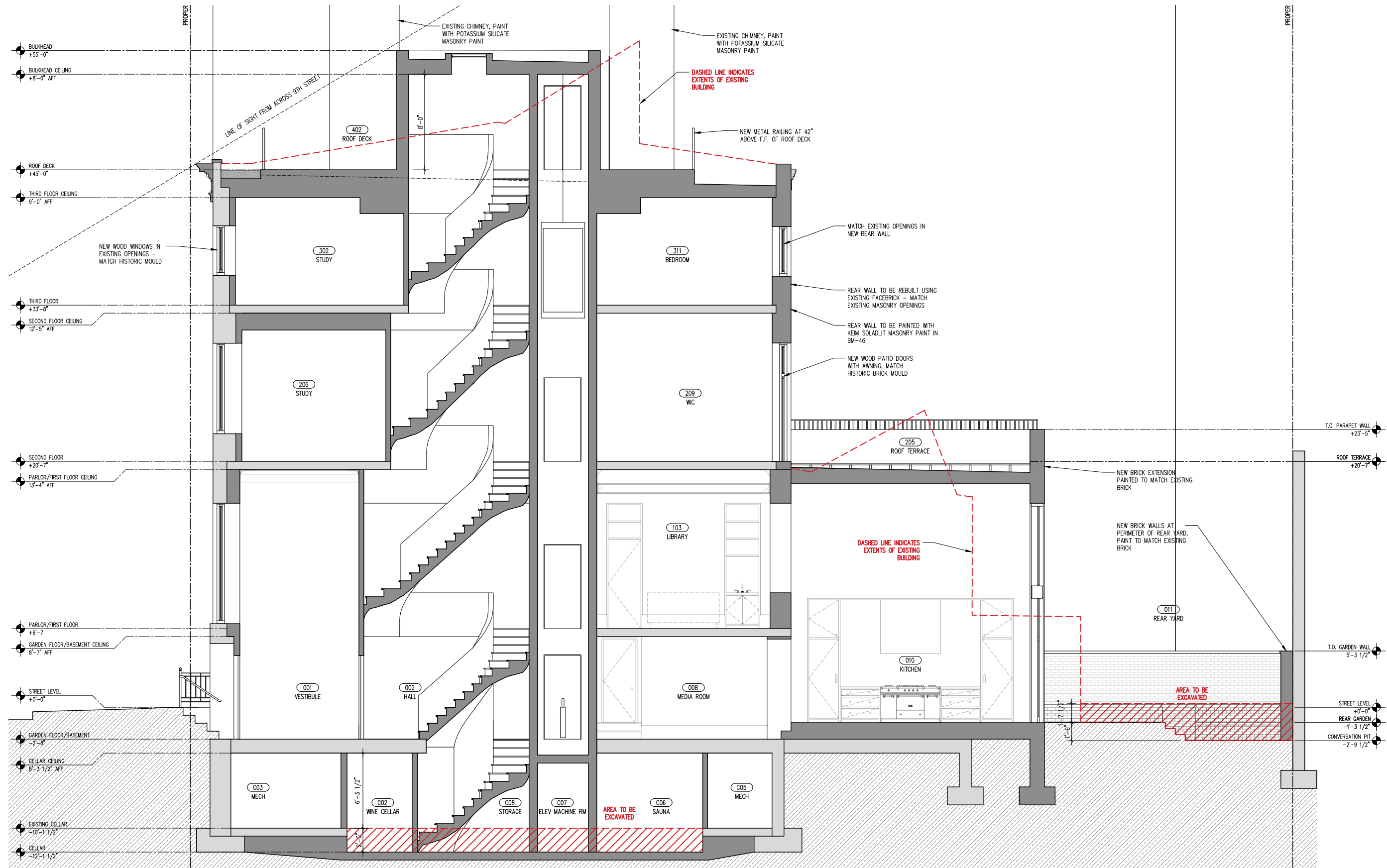


PROPOSED SIDE ELEVATION



EXISTING SIDE ELEVATION

ROOF ALTERATIONS AND REAR YARD ADDITION / Proposed Building Section / Scale (1/8)" 1'-0"

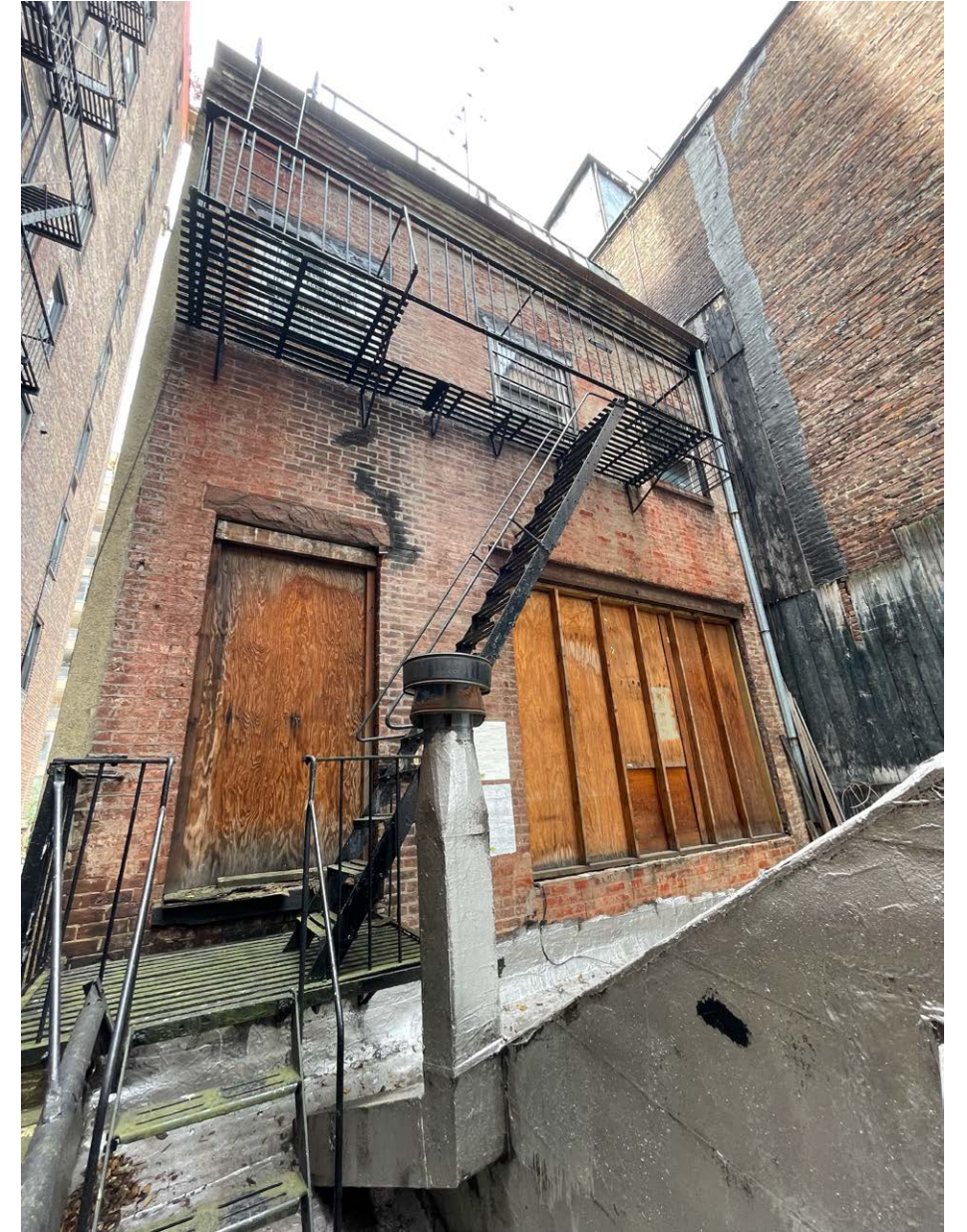




EXISTING CONDITIONS / Basement



EXISTING CONDITIONS / First Floor



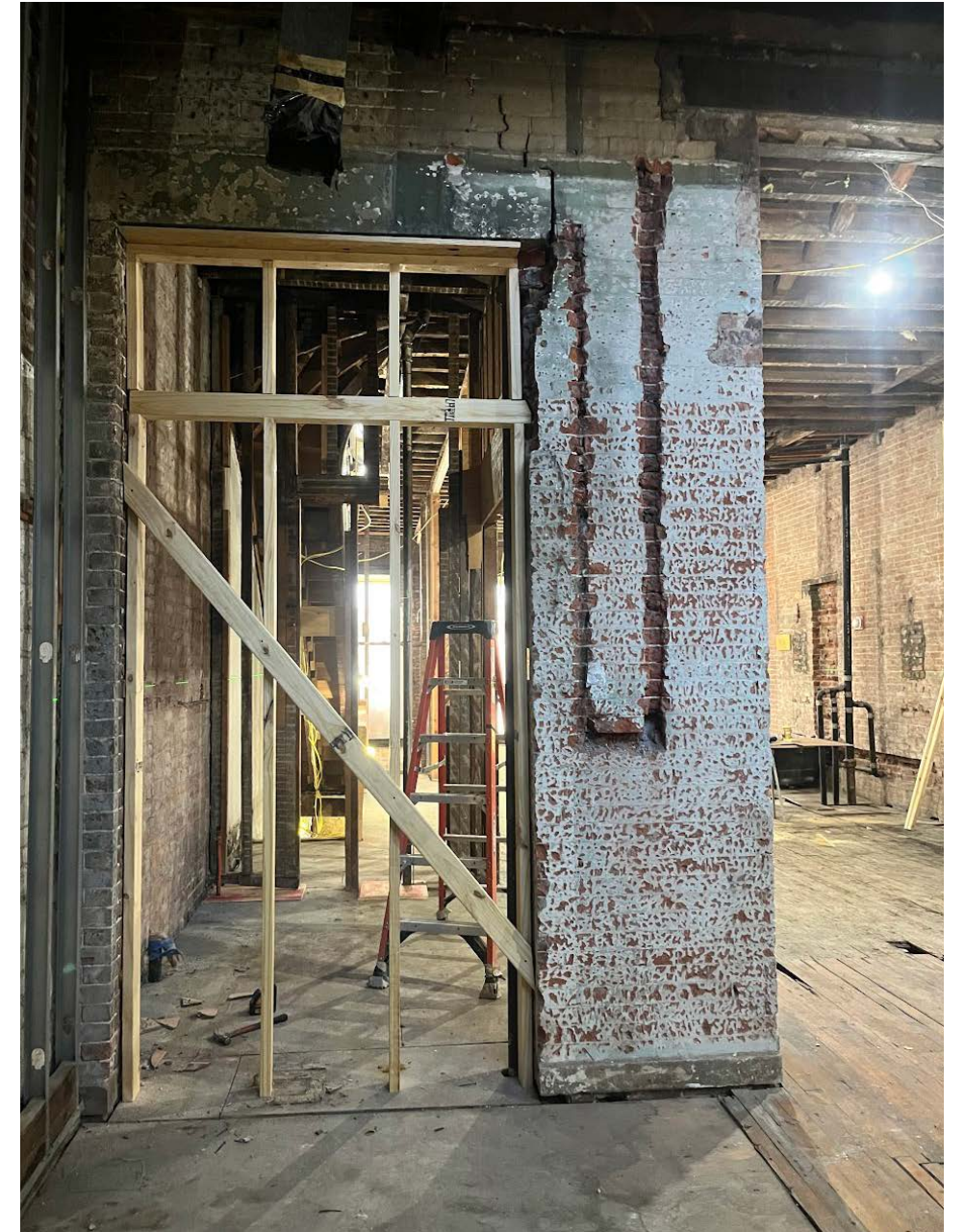
EXISTING CONDITIONS / Second and Third Floor



REAR WALL INTERIOR / Third Floor



REAR WALL INTERIOR / Second Floor



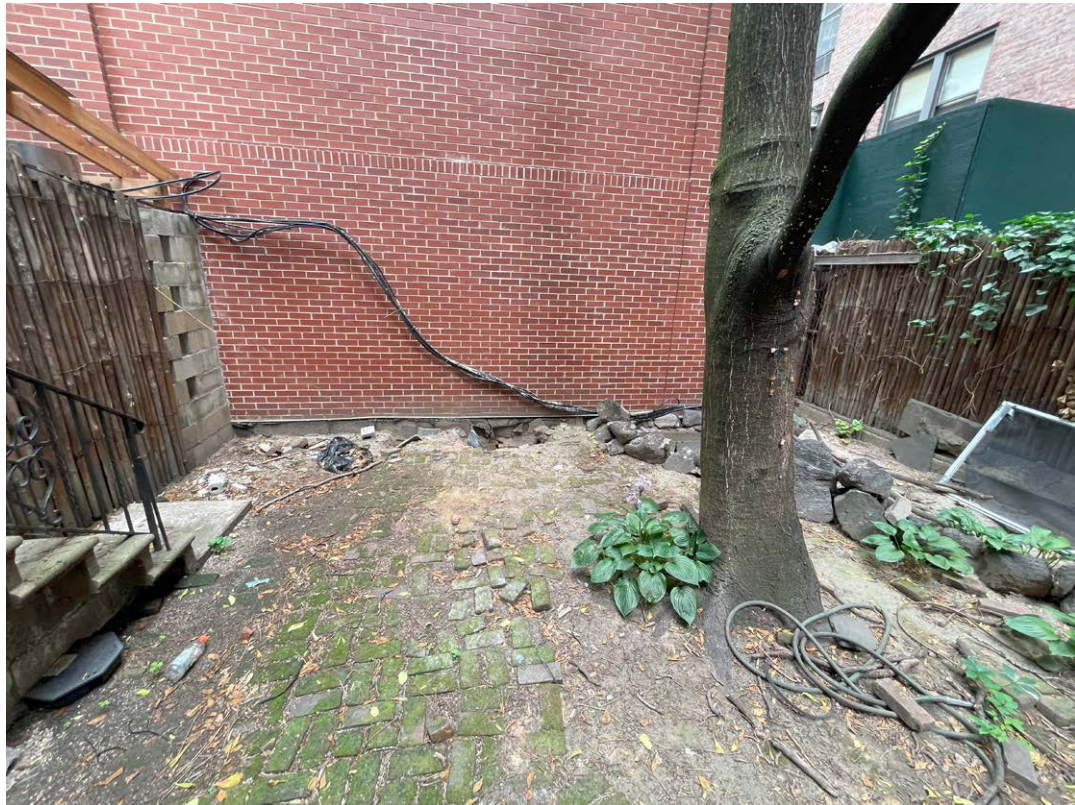
REAR WALL INTERIOR / First Floor



REAR YARD / Looking West



REAR YARD / Looking East

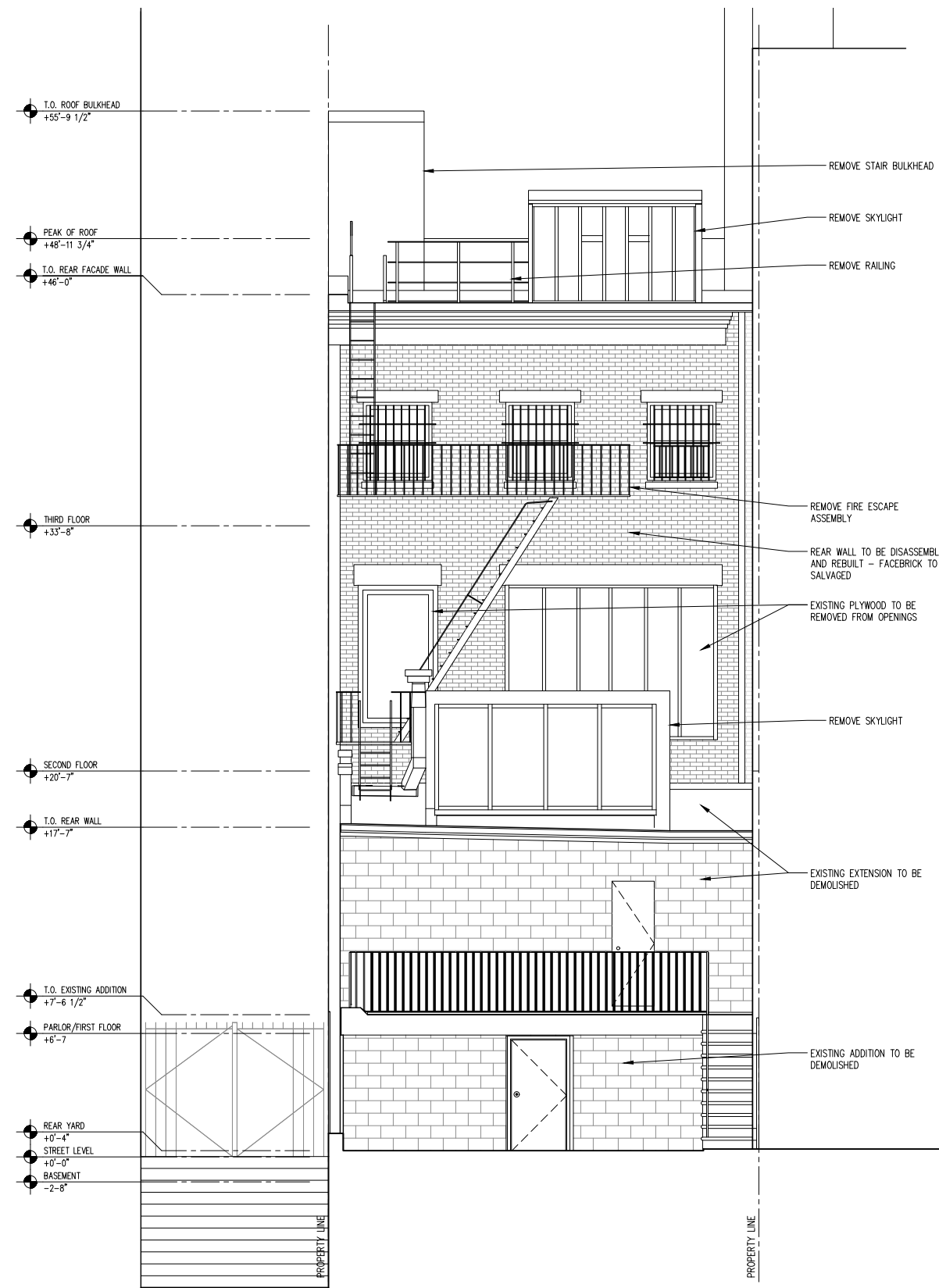


REAR YARD / Looking North

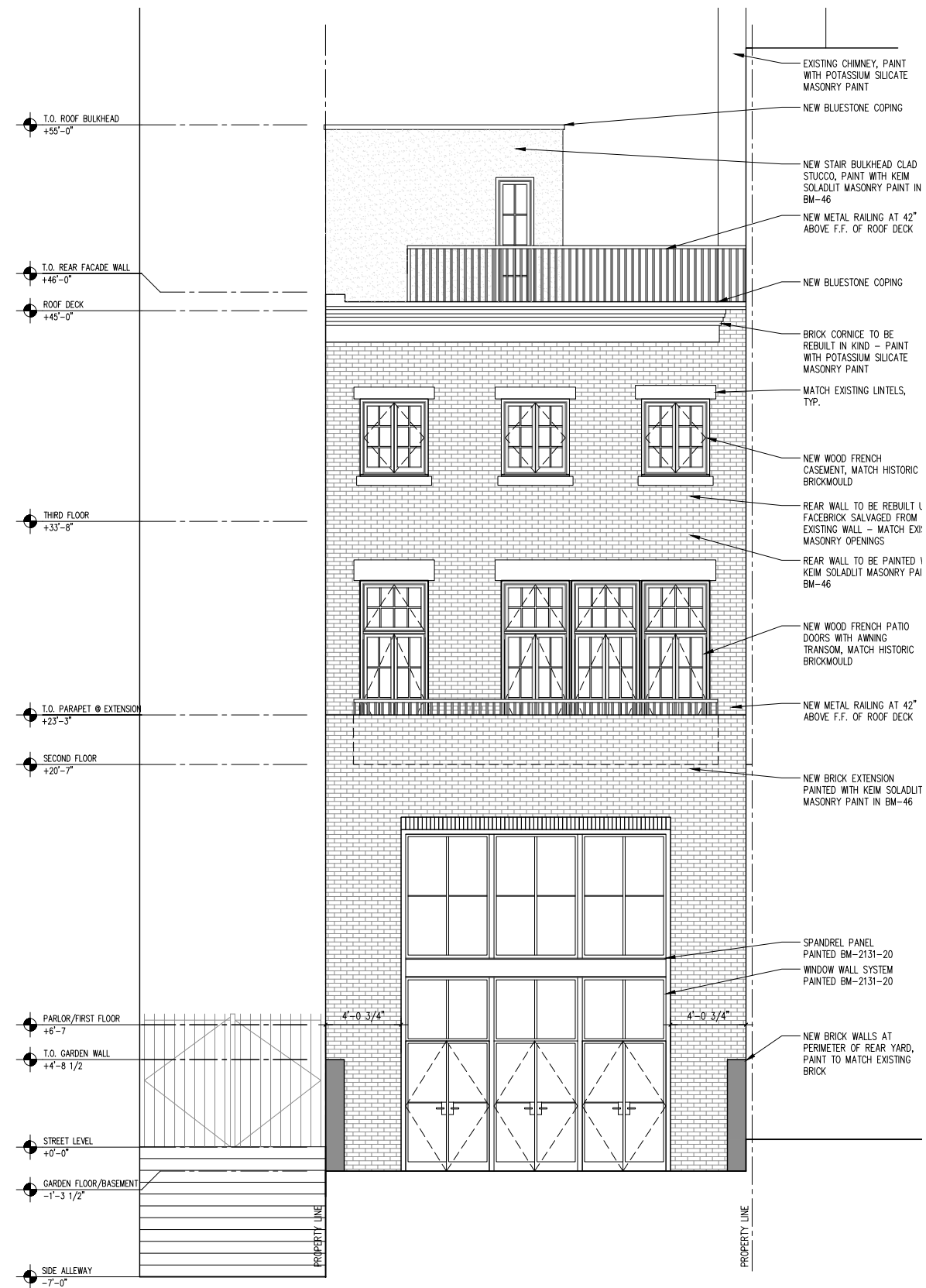


REAR YARD / Looking South

REAR YARD ADDITION / Proposed and Existing Rear Facade Elevations / Scale (1/8)" 1'-0"



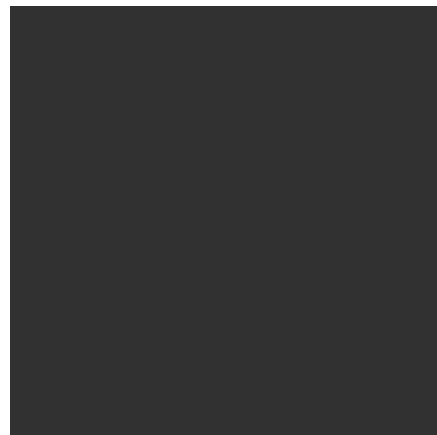
EXISTING ELEVATION



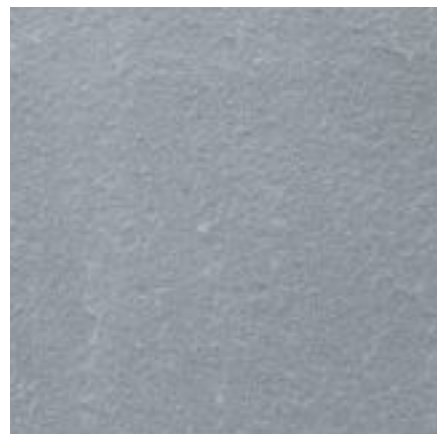
PROPOSED ELEVATION



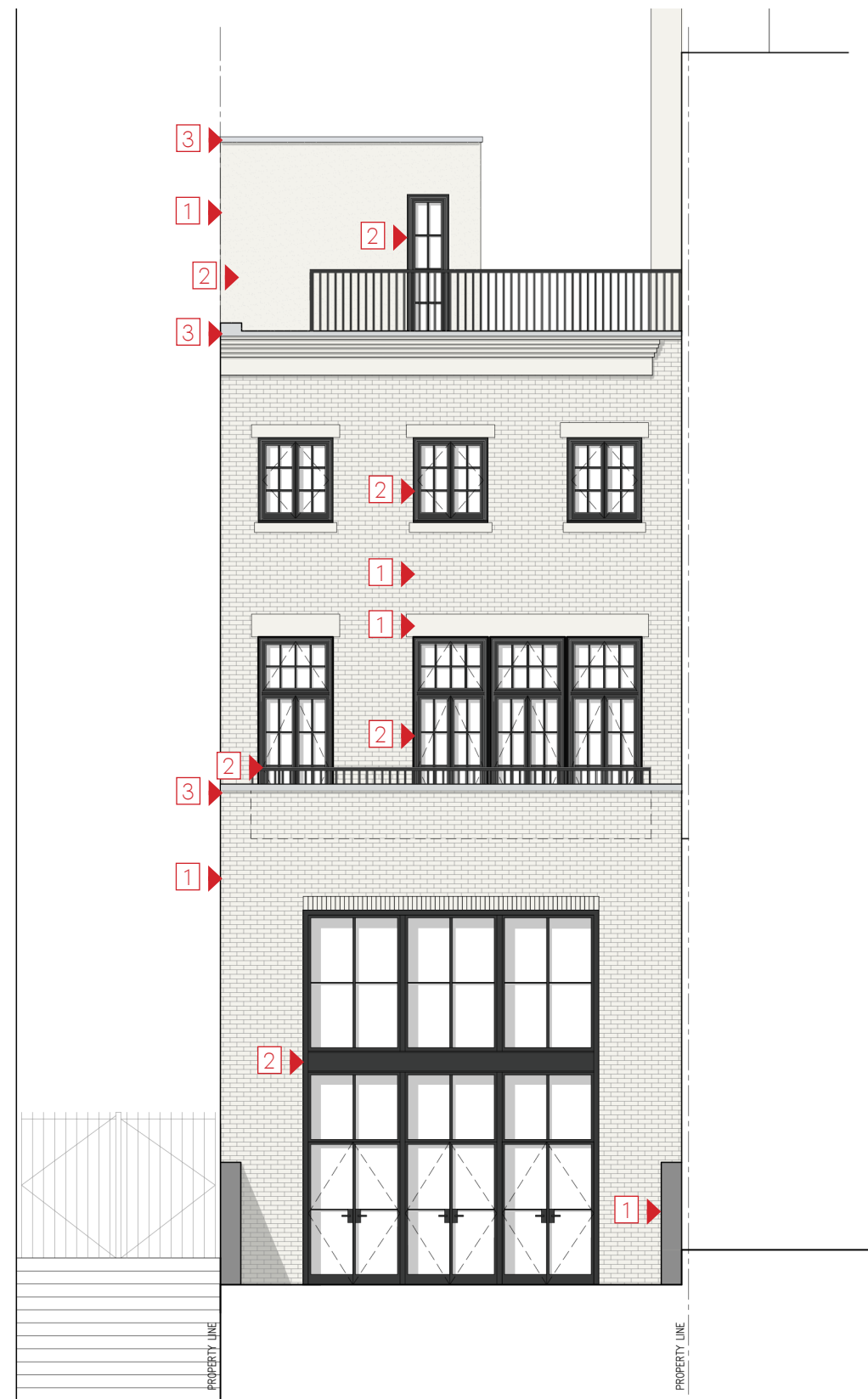
1. KEIM soldalit masonry paint in BM-46 "Halo" will be used to coat all new and existing masonry surfaces including the stucco bulkhead, stucco side facades, garden wall, and all brickwork.



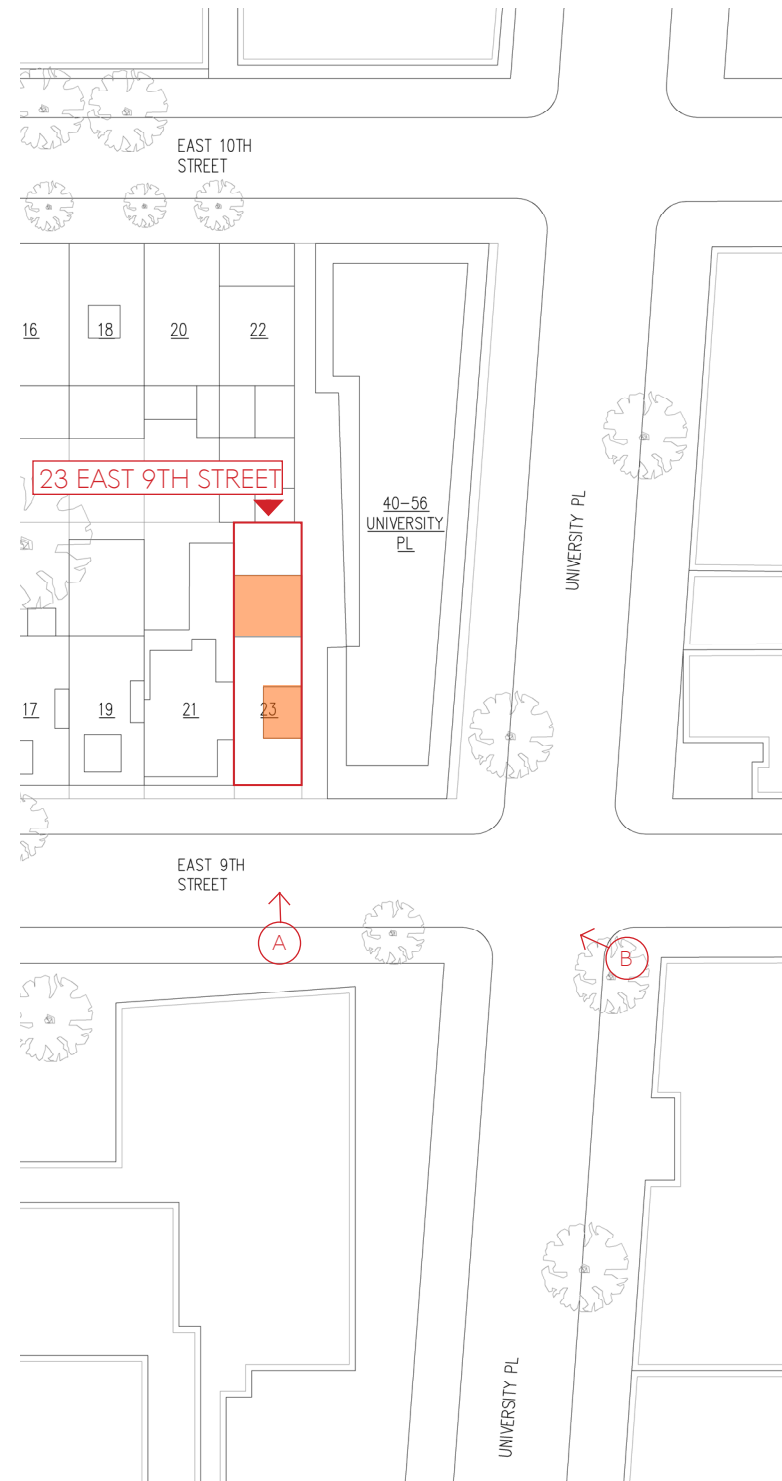
2. Benjamin Moore 2131-20 "Midnight" will be used to paint all metalwork and exterior wood which includes the roof terrace railings and windows



3. New bluestone coping at the existing parapet wall, extension parapet wall, and the new bulkhead.



PROPOSED ELEVATION



SITE PLAN / 1/32" 1'-0"



A



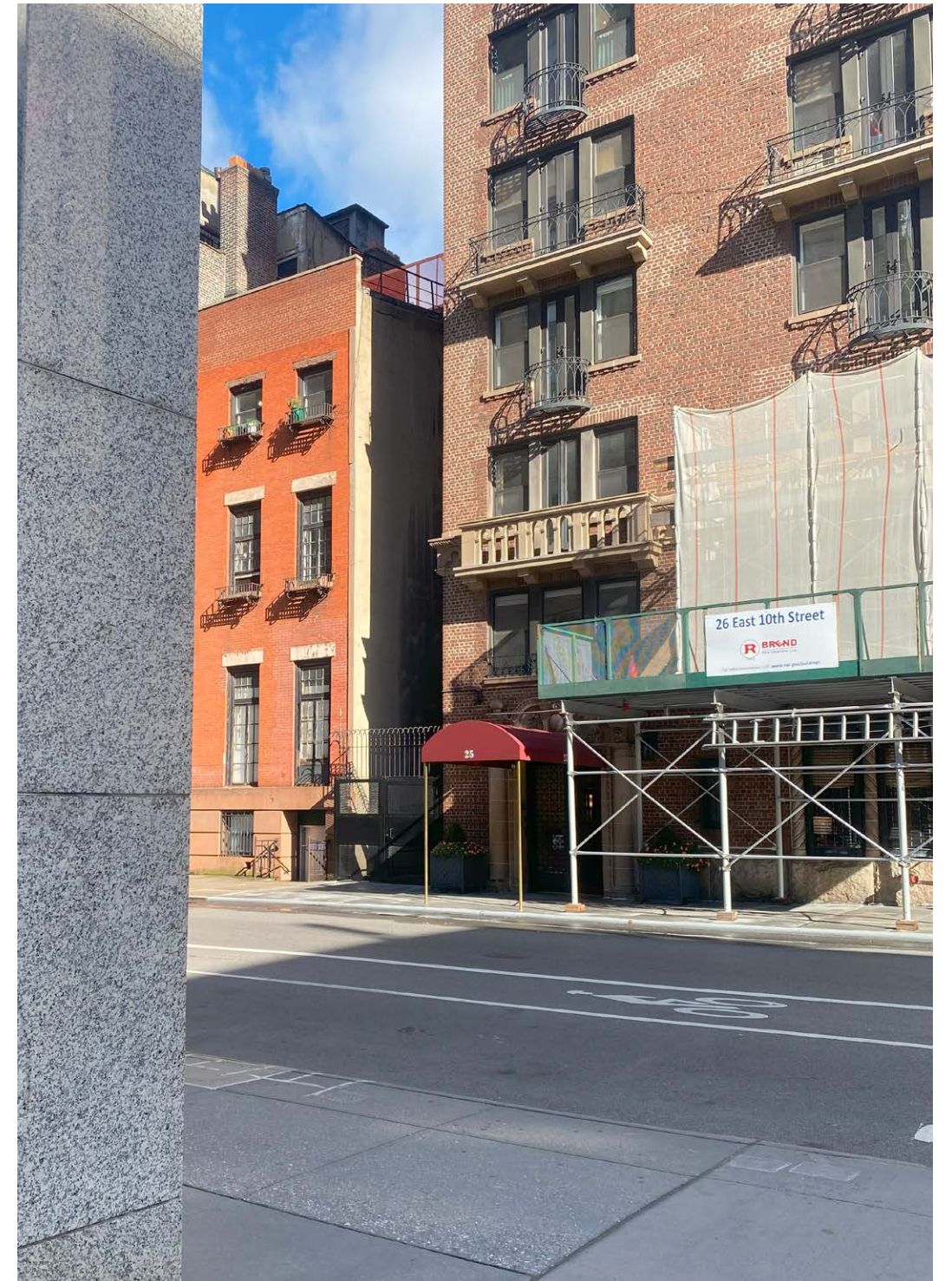
B



SITE PLAN / 1/32" 1'-0"



C



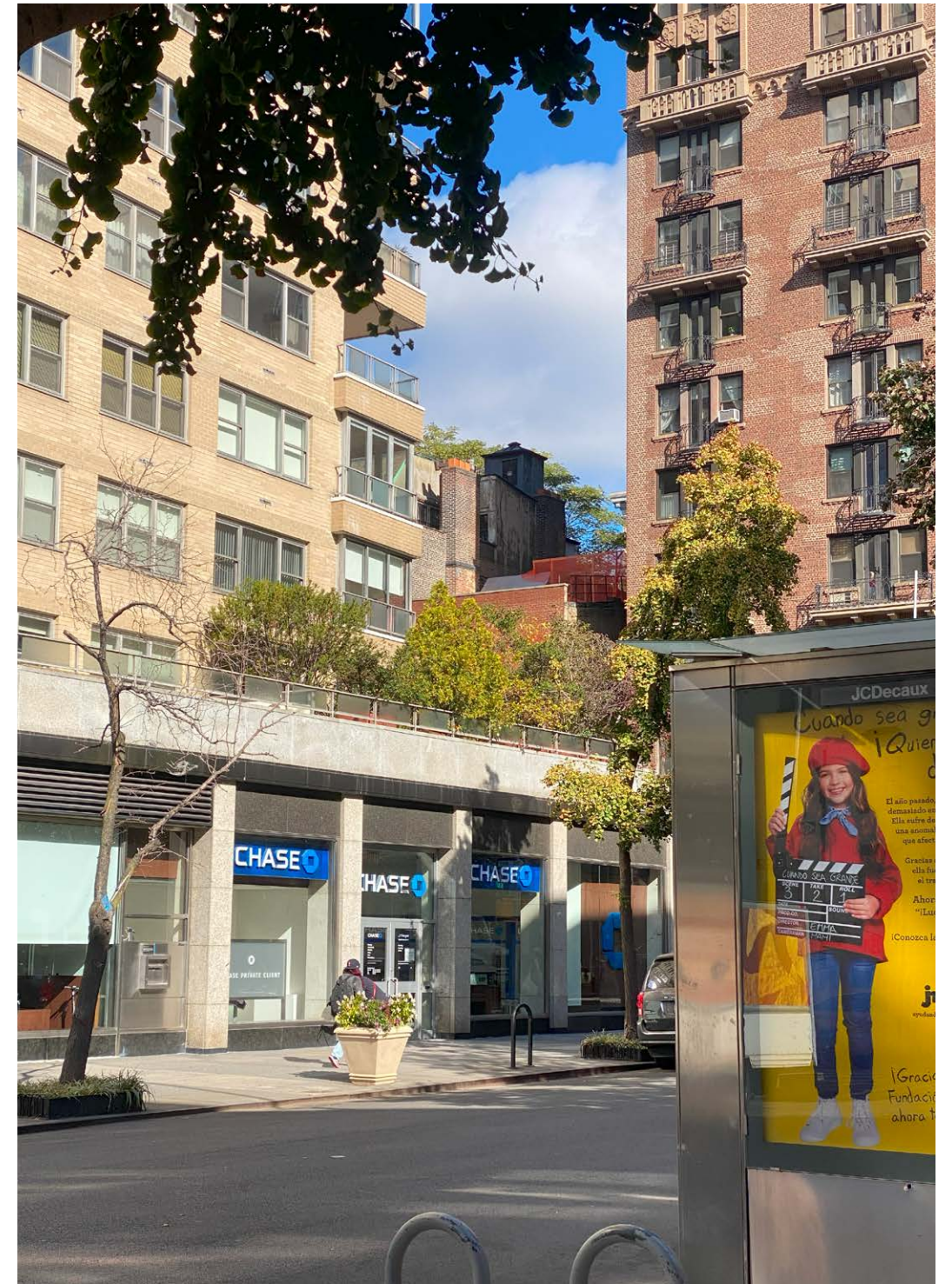
C



SITE PLAN / 1/32" 1'-0"



Ⓧ



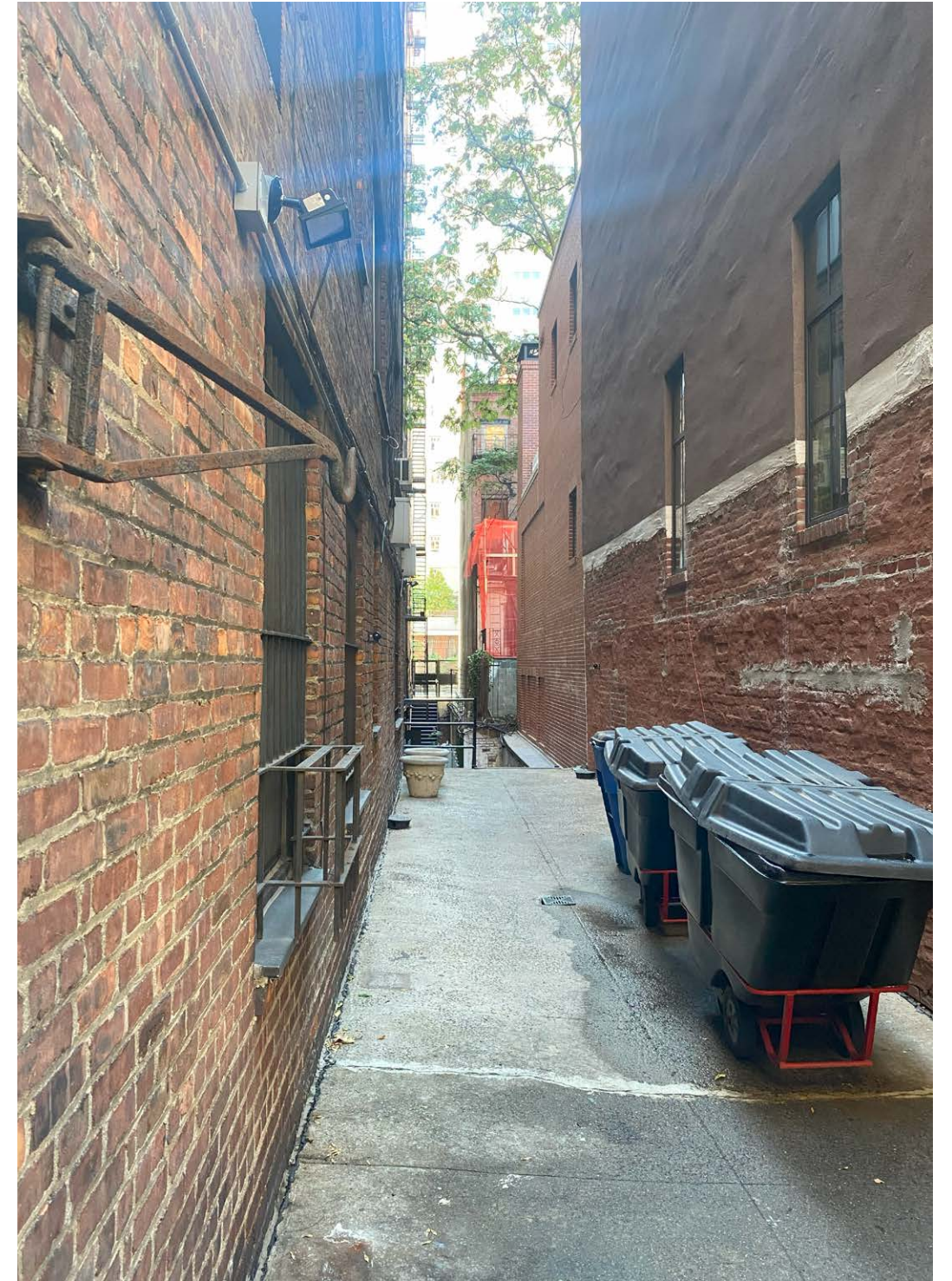
Ⓧ



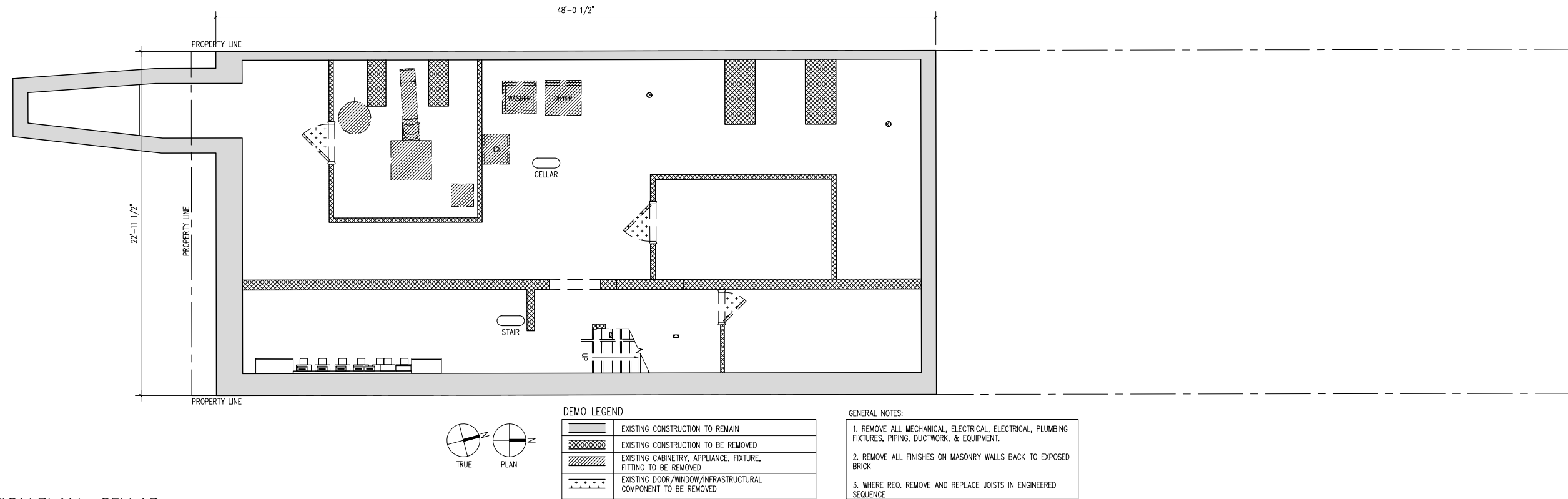
SITE PLAN / 1/32" 1'-0"



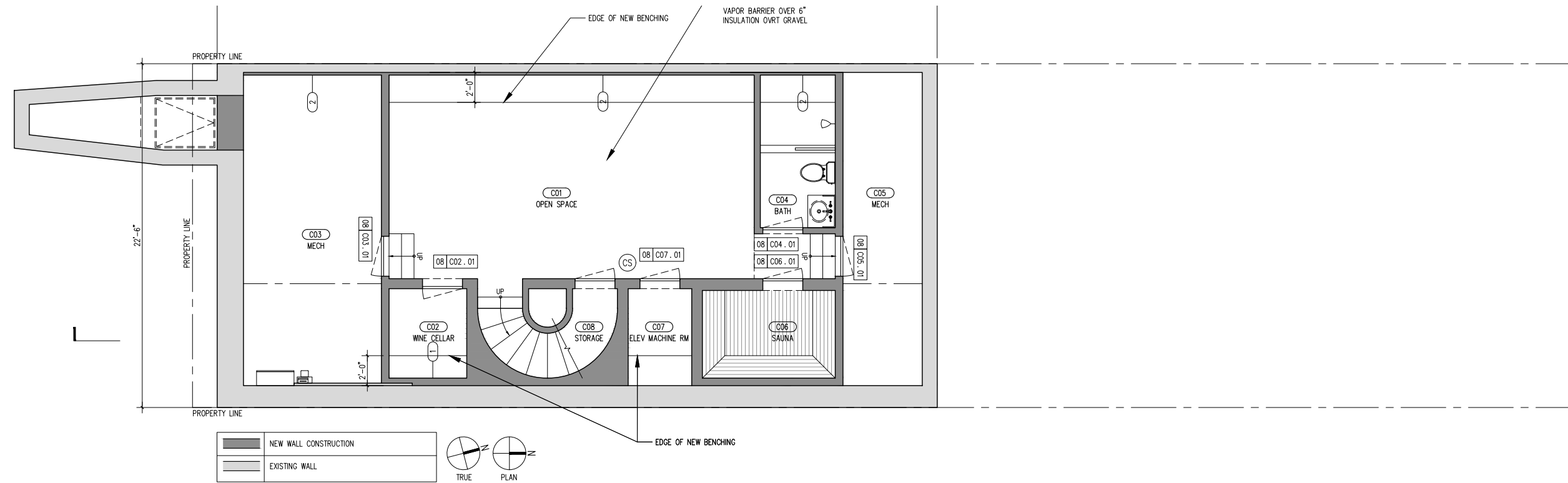
E



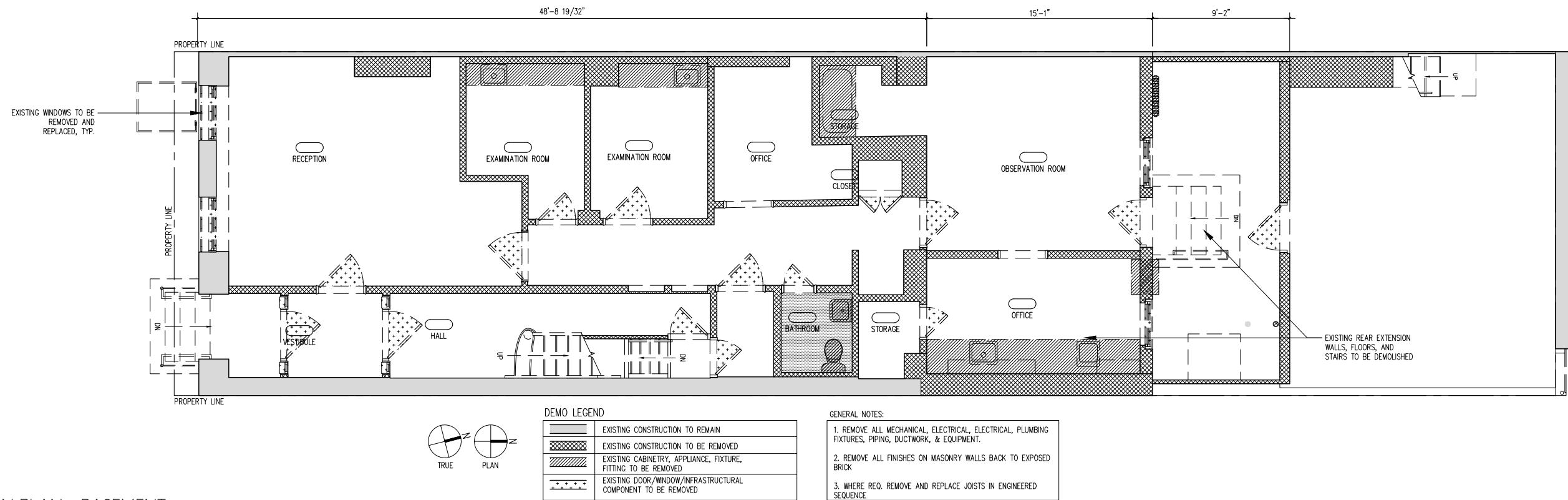
E



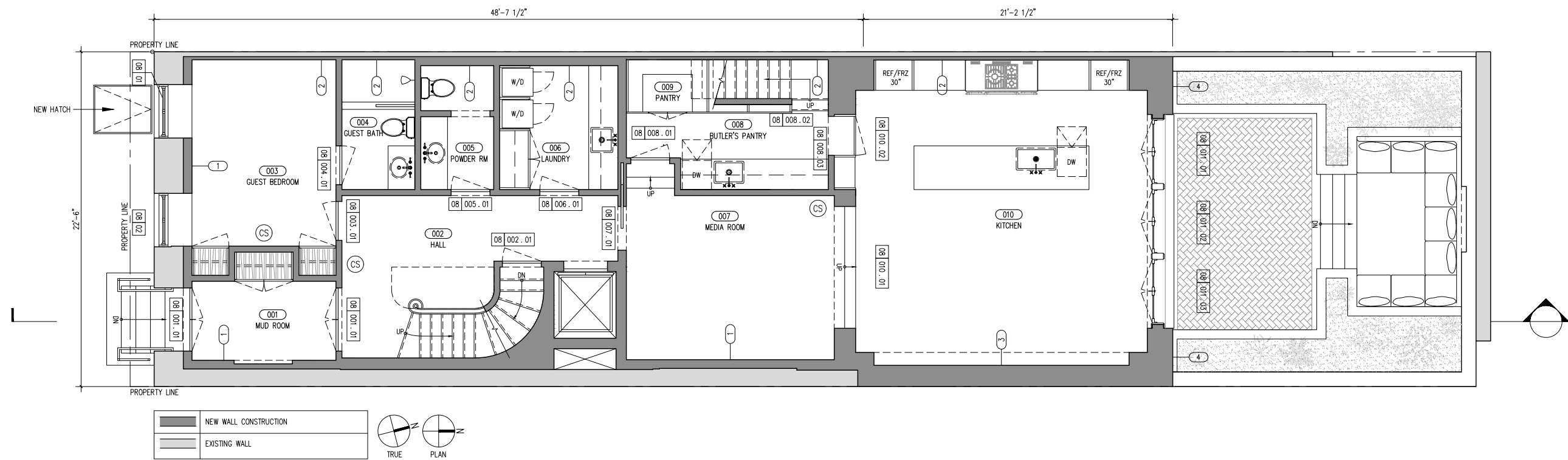
DEMOLITION PLAN - CELLAR



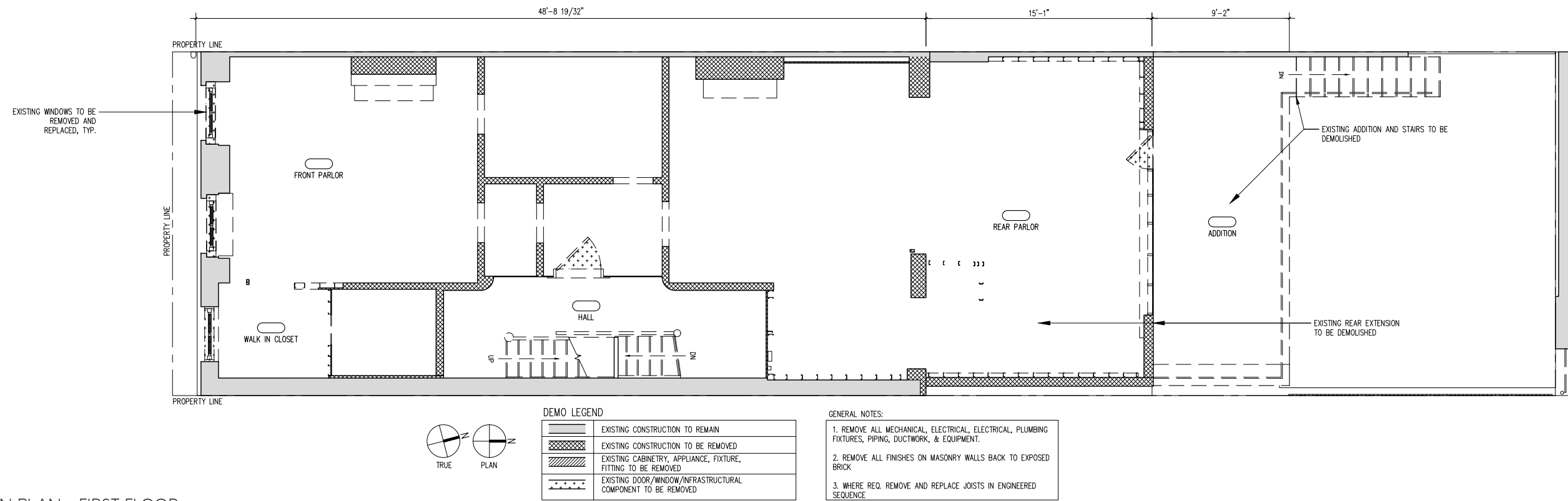
PROPOSED PLAN - CELLAR



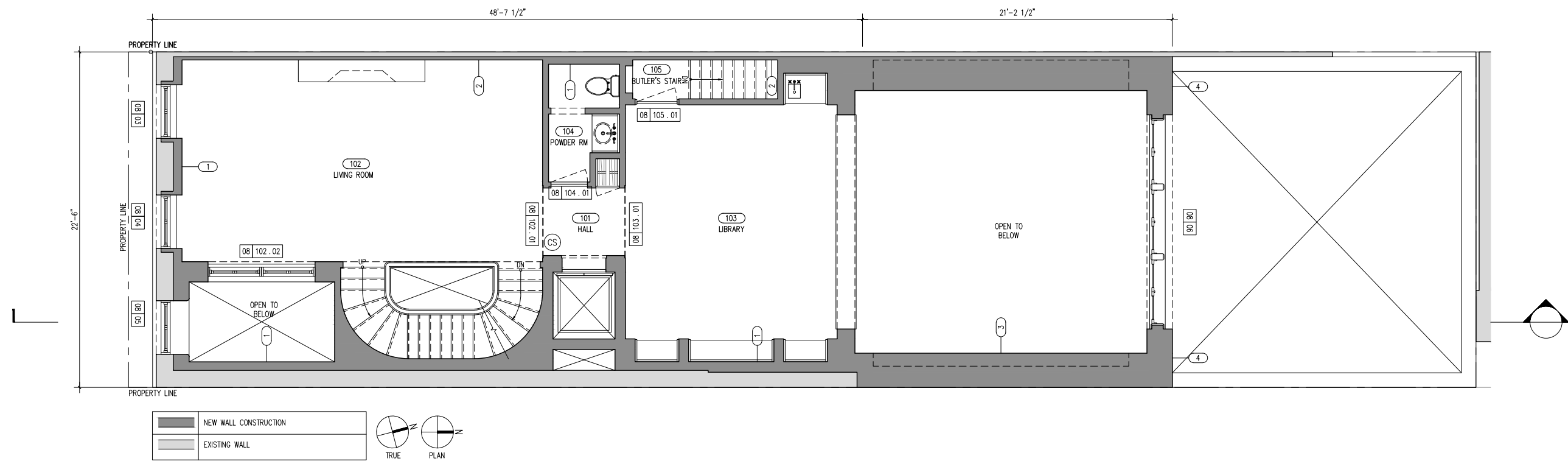
DEMOLITION PLAN - BASEMENT



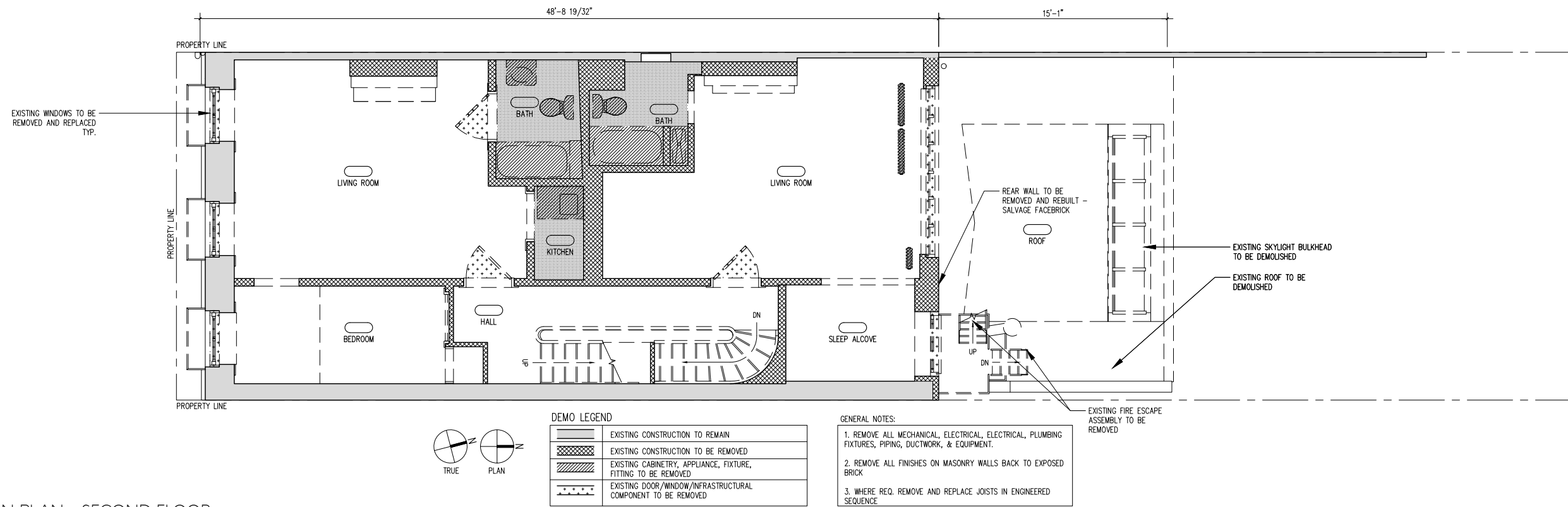
PROPOSED PLAN - BASEMENT



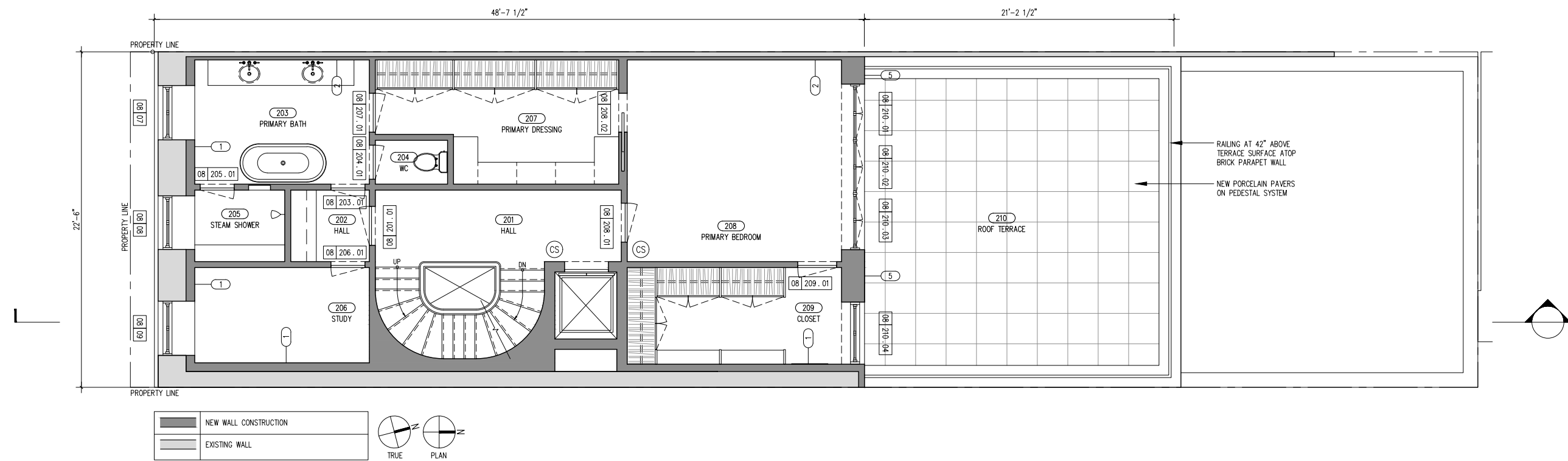
DEMOLITION PLAN - FIRST FLOOR



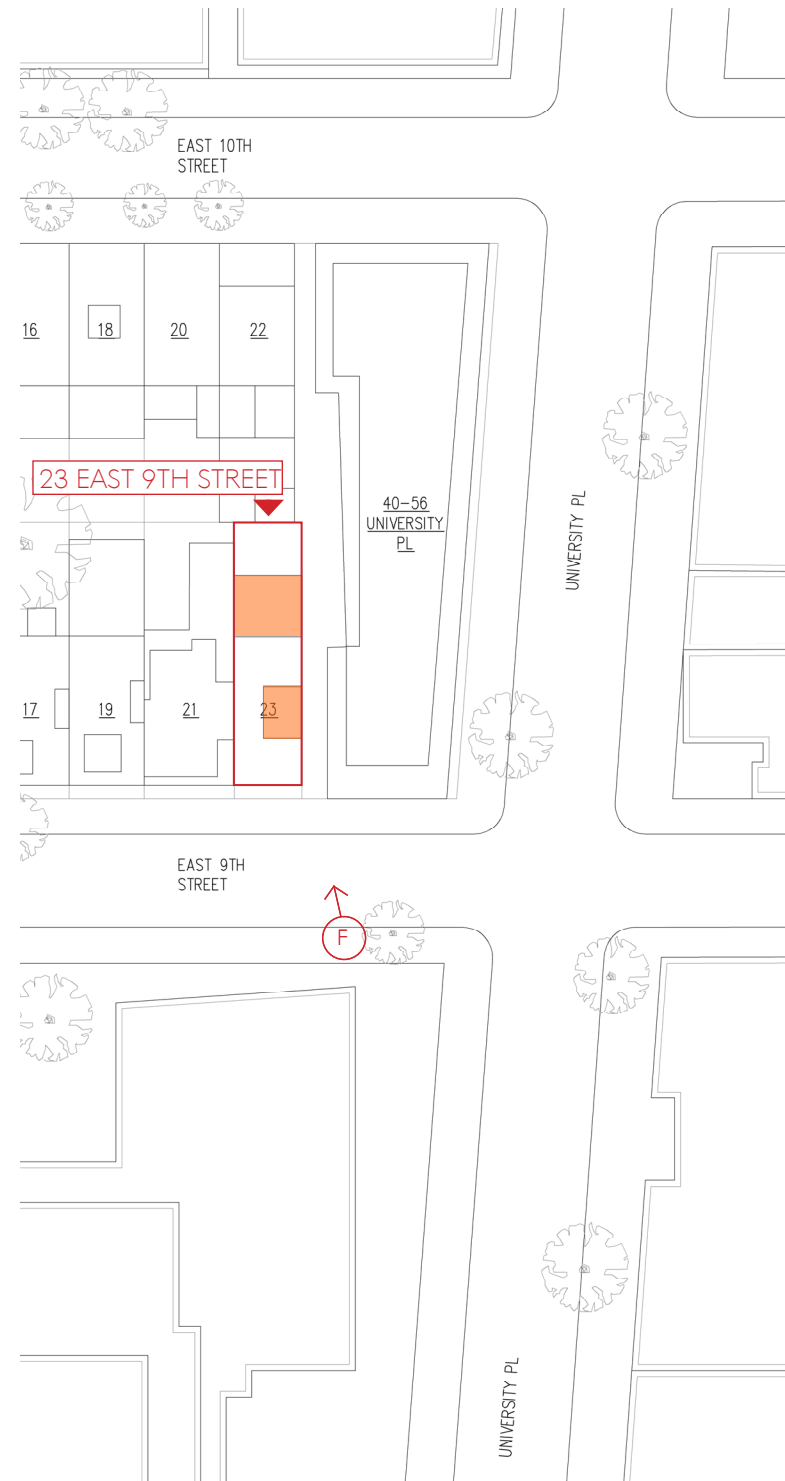
PROPOSED PLAN - FIRST FLOOR



DEMOLITION PLAN - SECOND FLOOR



PROPOSED PLAN - SECOND FLOOR



SITE PLAN / 1/32" 1'-0"



F



F

November 26, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 8, LPC-25-01663

23 East 9th Street – Greenwich Village Historic District

Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 161 709 3216

Passcode: 445660

By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

888-475-4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

APPENDIX



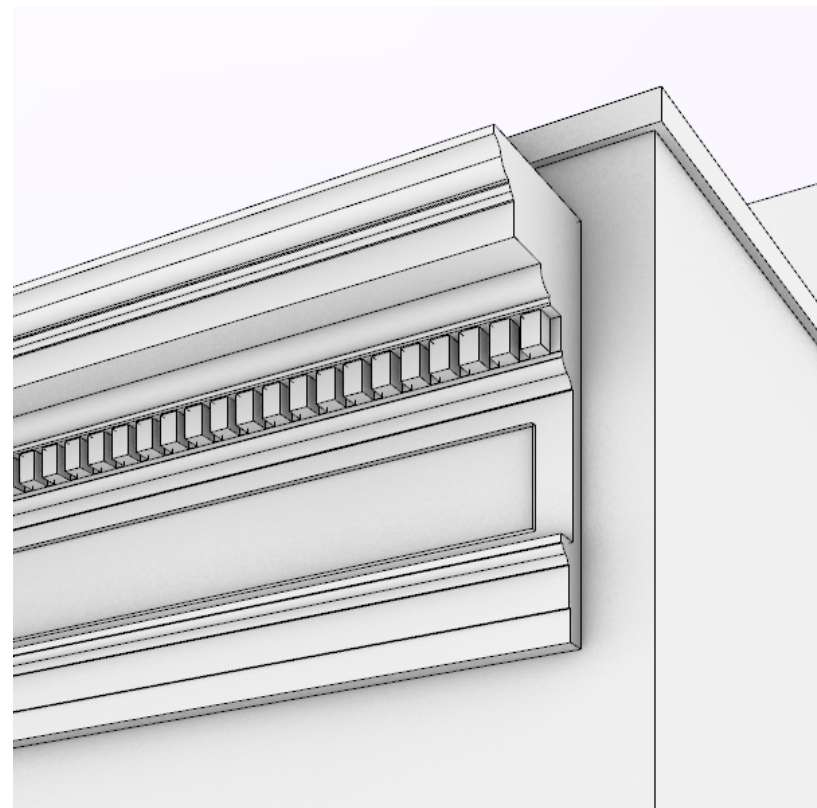
CORNICE FROM 1940 TAX PHOTO



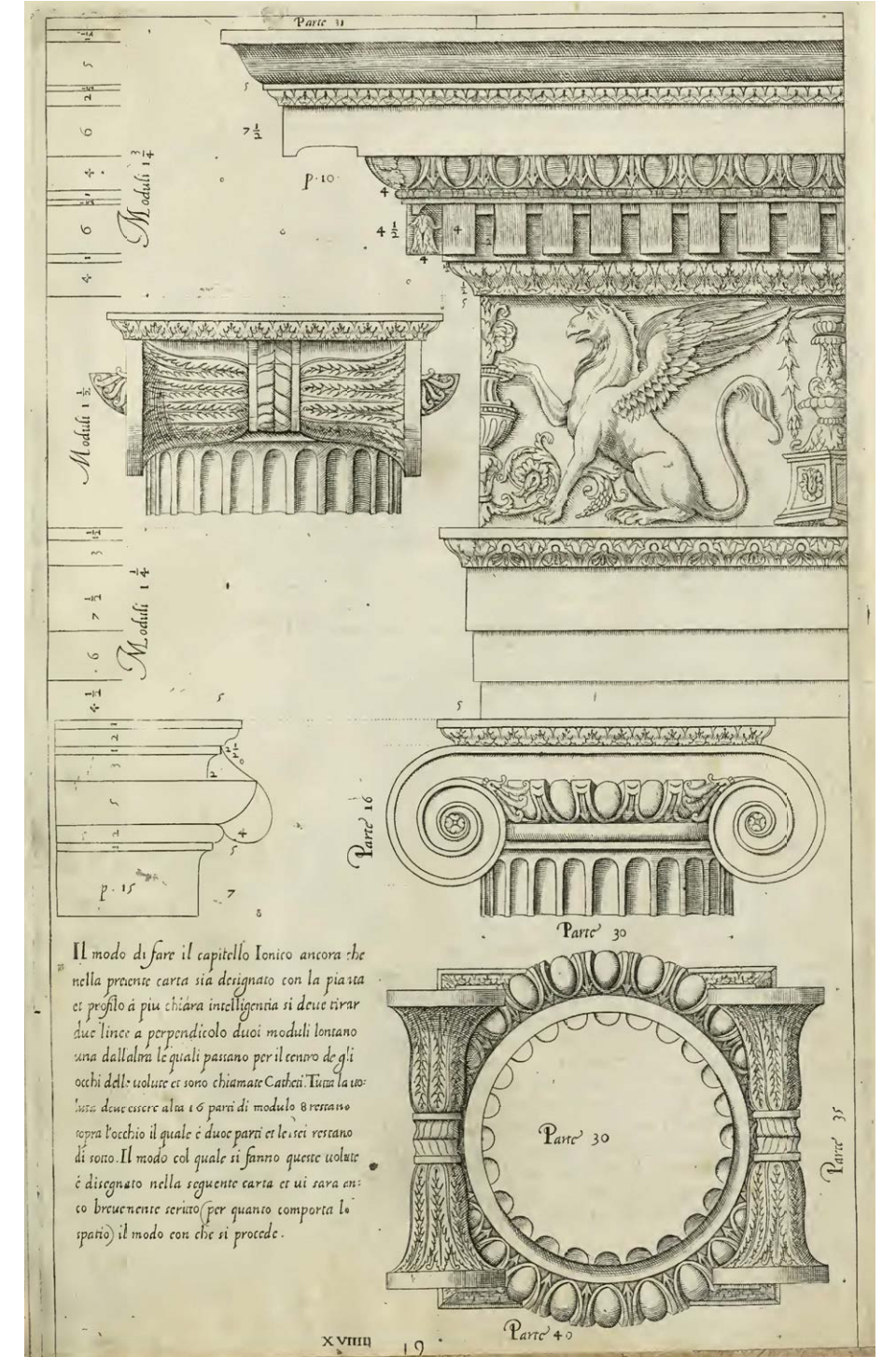
CORNICE DETAIL FROM 1940 TAX PHOTO



CORNICE MODEL



CORNICE MODEL



VIGNOLA PLATE 19

Proportions for the cornice recreation are based on plate 19 from Vignola's "Canon of the five orders of architecture" w. 1592.

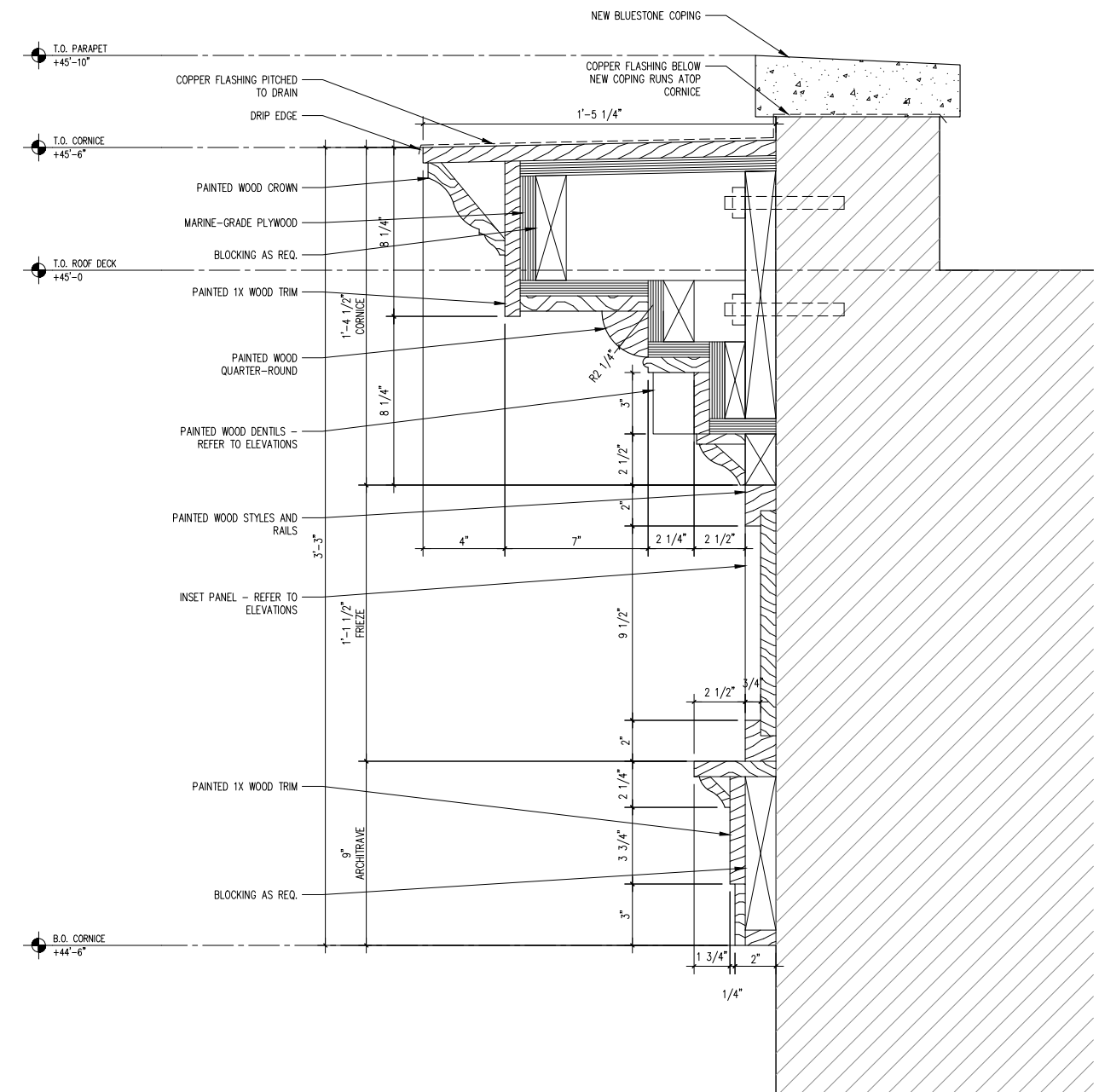
PRIMARY FACADE / Cornice Reconstruction



CORNICE MODEL / NTS

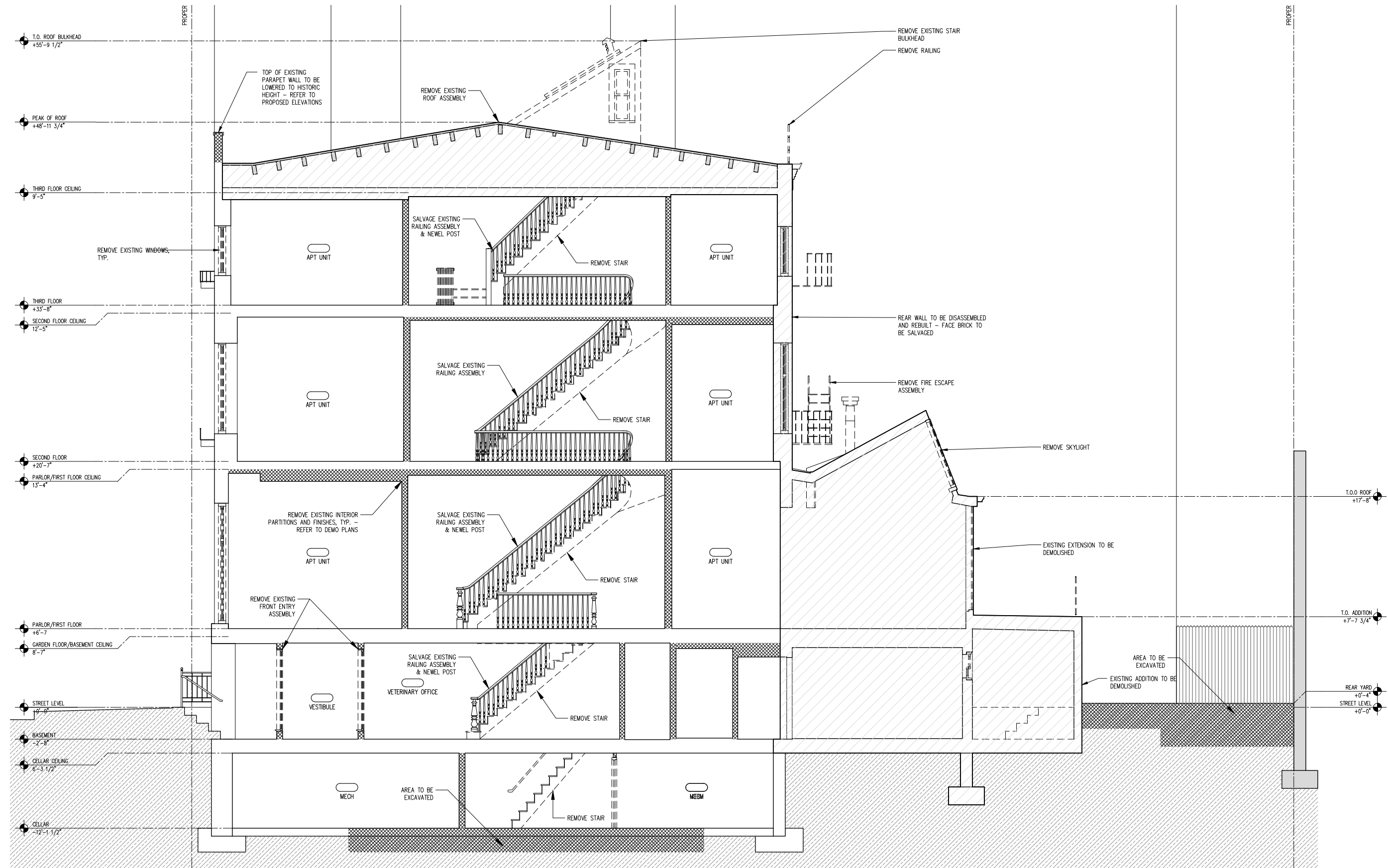


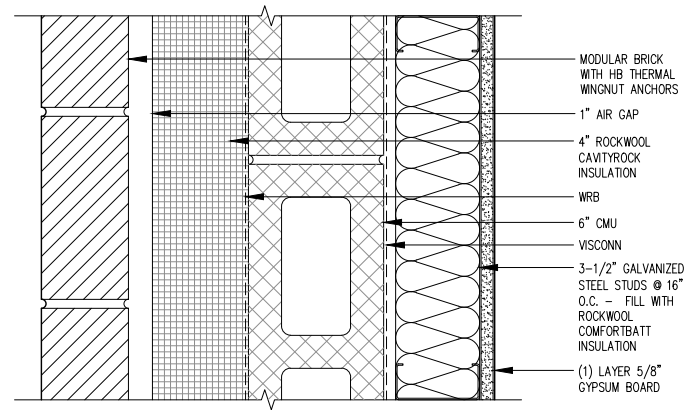
CORNICE DETAIL ELEVATION / Scale (1/4)" 1'-0"



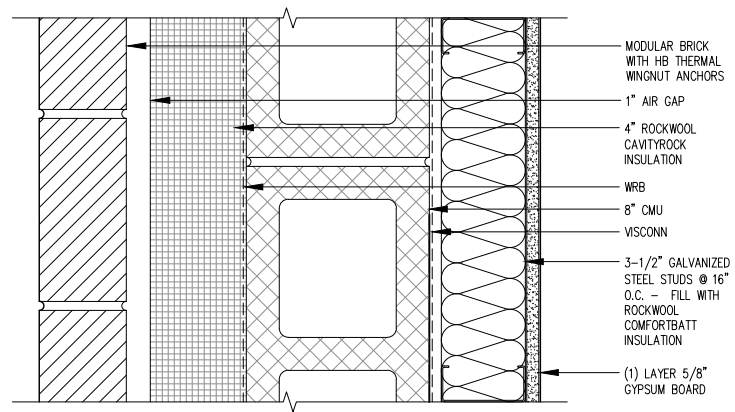
CORNICE DETAIL SECTION / Scale (1-1/2)" 1'-0"

ROOF ALTERATIONS AND REAR YARD ADDITION / Existing Building Section / Scale (1/8)" 1'-0"

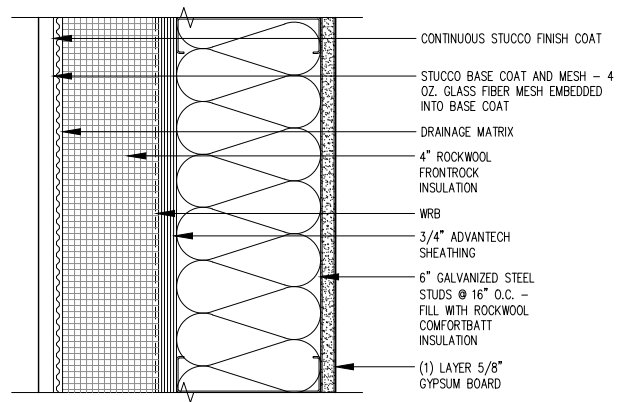




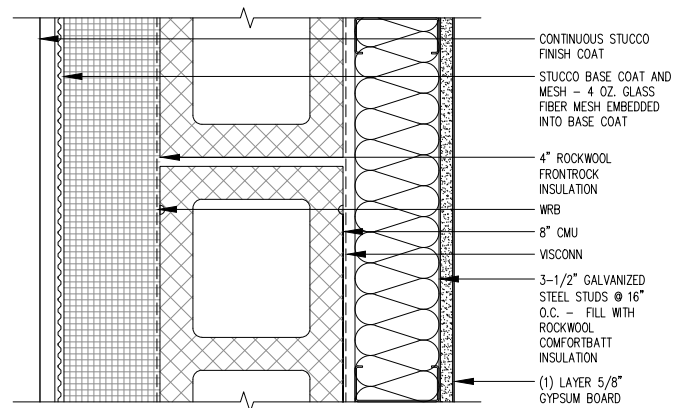
WALL TYPE - REAR WALL RECONSTRUCTION



WALL TYPE - REAR EXTENSION NORTH WALL



WALL TYPE - BULKHEAD WALL



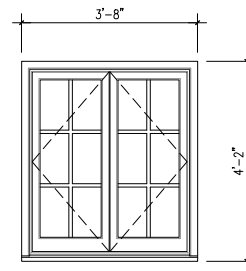
WALL TYPE - REAR EXTENSION EAST WALL



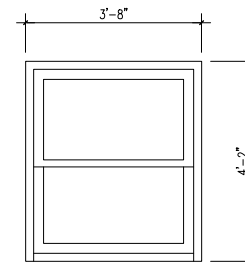
1940 WINDOW CONFIGURATION

WINDOW TYPE A
WOOD INSWING
CASEMENT

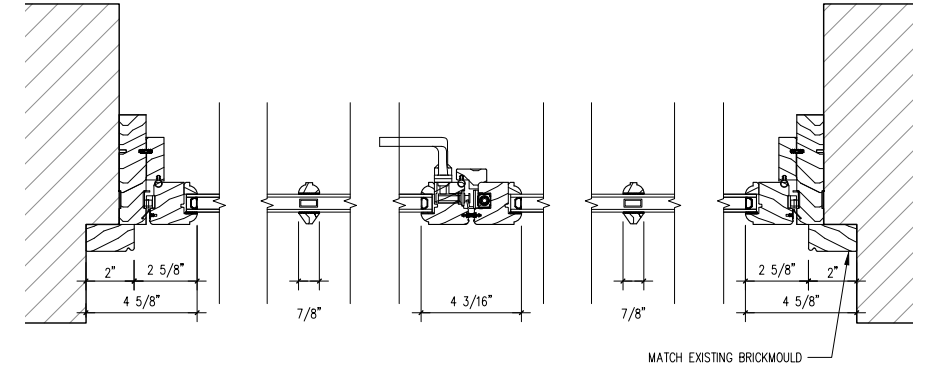
LOCATION:
PRIMARY FACADE
BASEMENT
THIRD FLOOR



PROPOSED



EXISTING

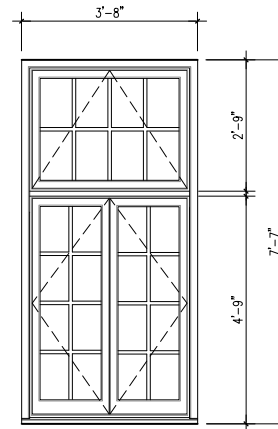


TYPES A, B, AND C

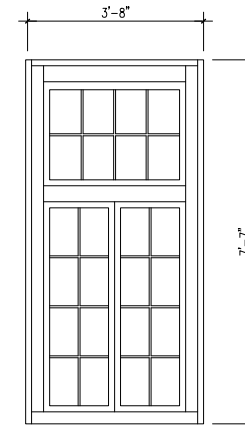
PROPOSED WINDOW PLAN DETAIL / Scale (1-1/2)" 1'-0"

WINDOW TYPE B
WOOD INSWING
CASEMENT WITH
AWNING TRANSOM

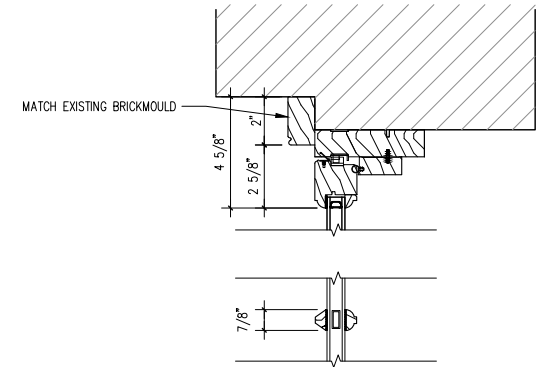
LOCATION:
PRIMARY FACADE
SECOND FLOOR



PROPOSED

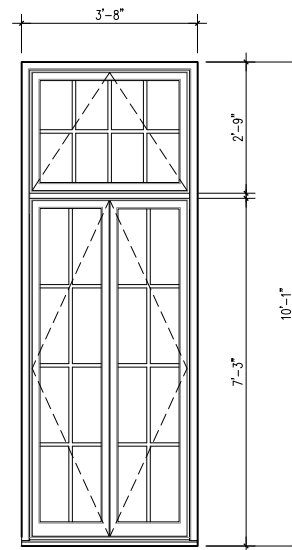


EXISTING

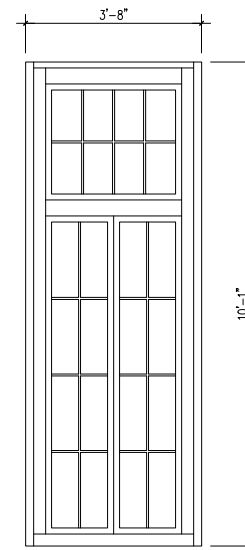


WINDOW TYPE C
WOOD INSWING
CASEMENT WITH
AWNING TRANSOM

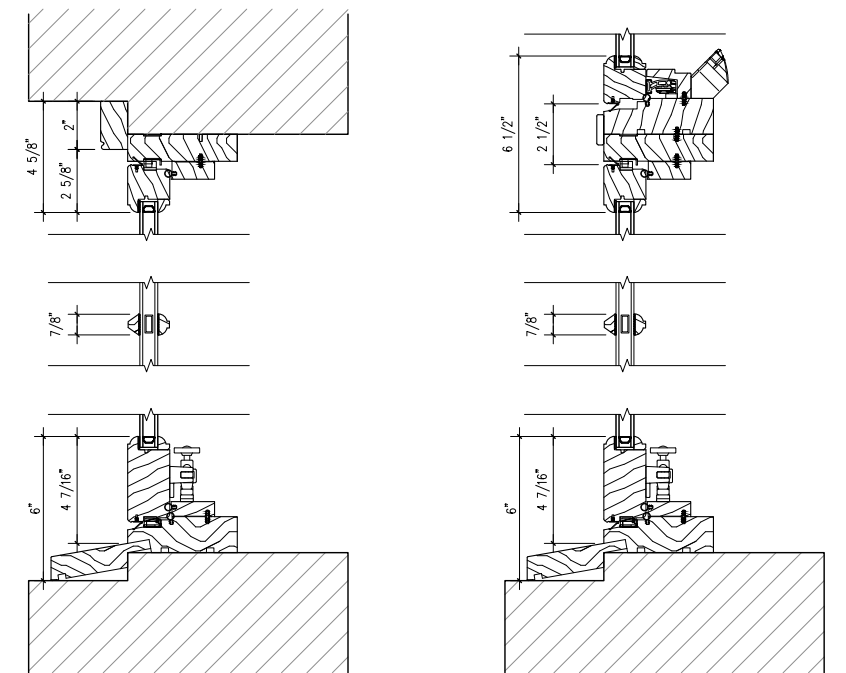
LOCATION:
PRIMARY FACADE
FIRST FLOOR



PROPOSED



EXISTING

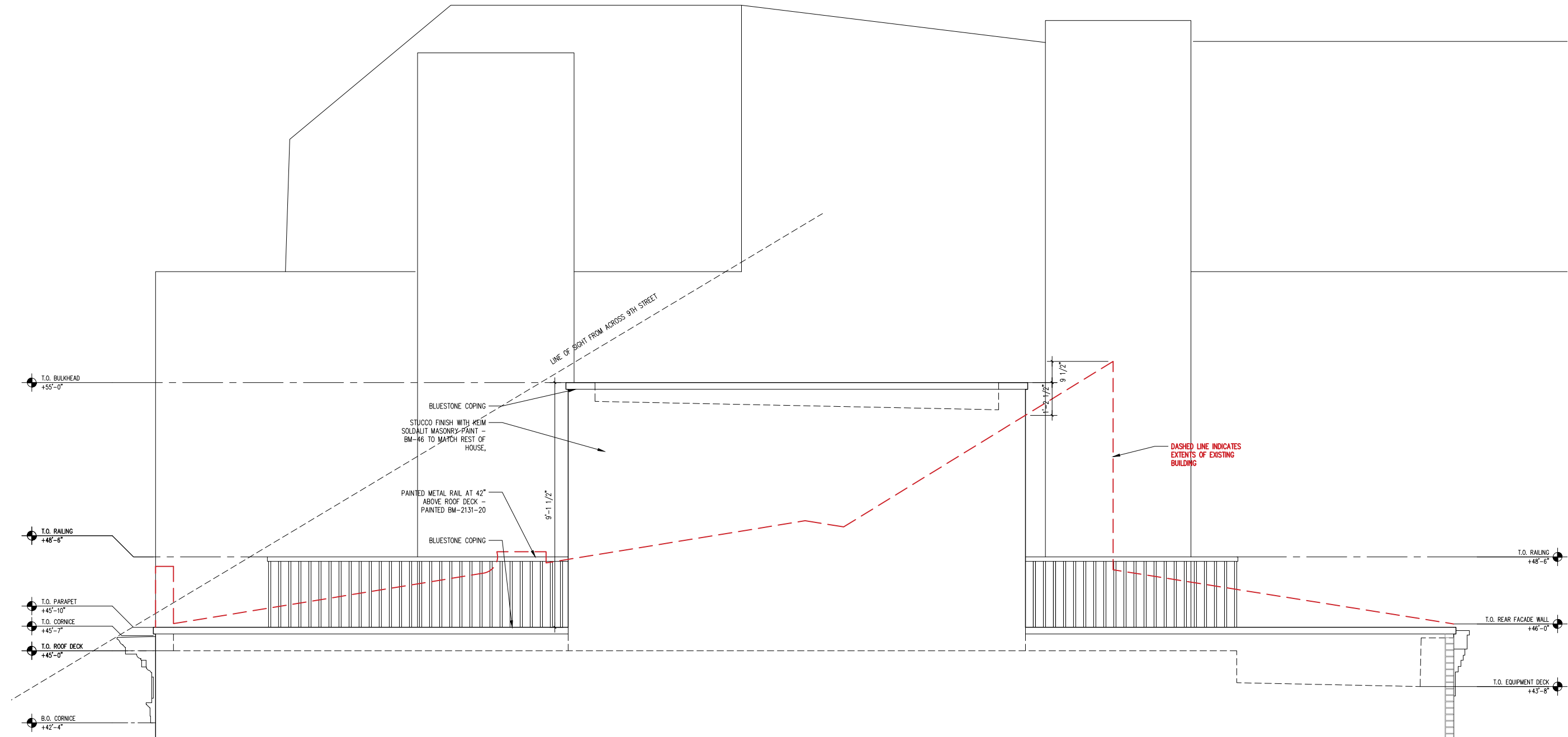


TYPE A

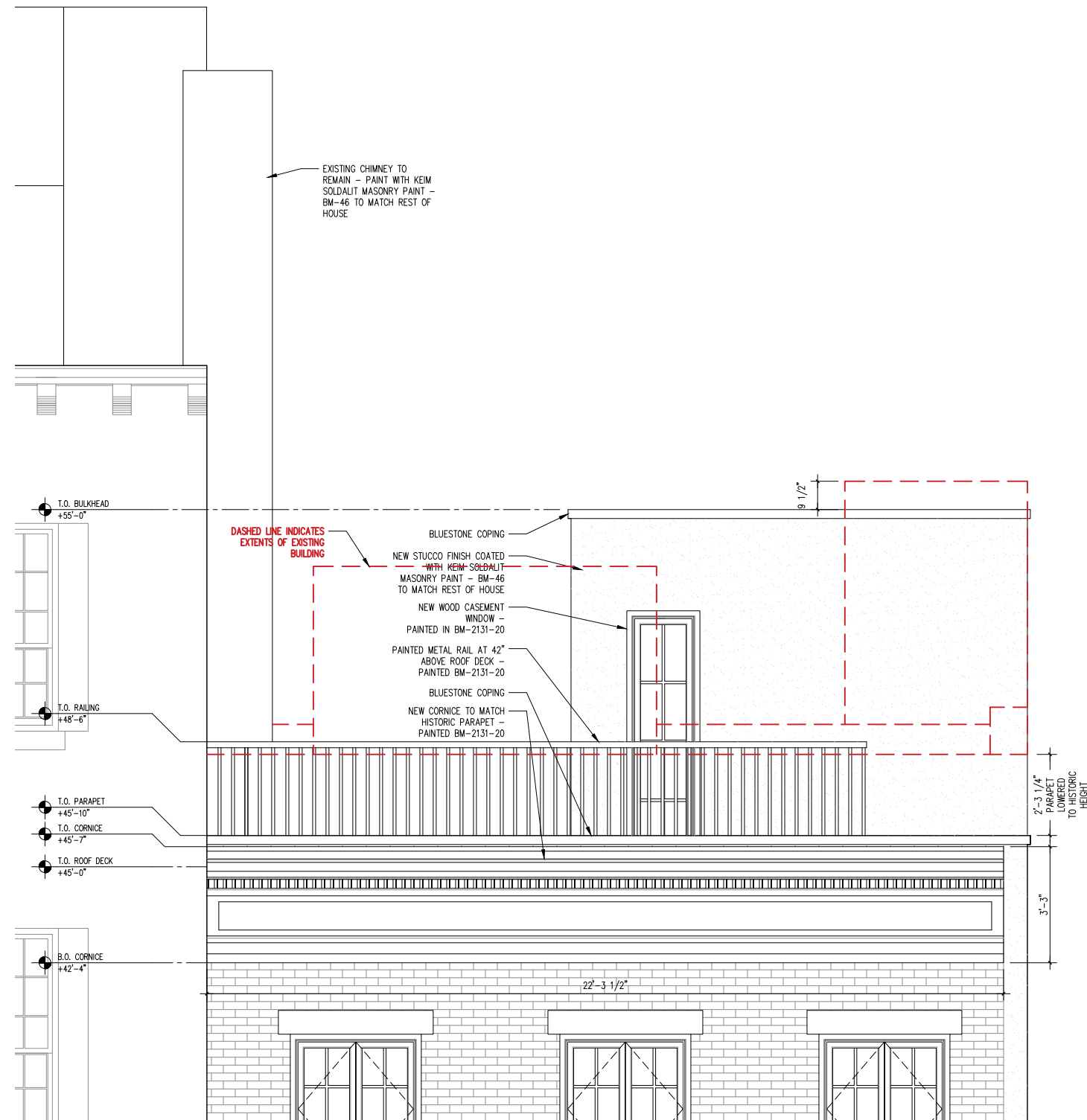
TYPES B AND C

WINDOW ELEVATIONS / Scale (1/4)" 1'-0"

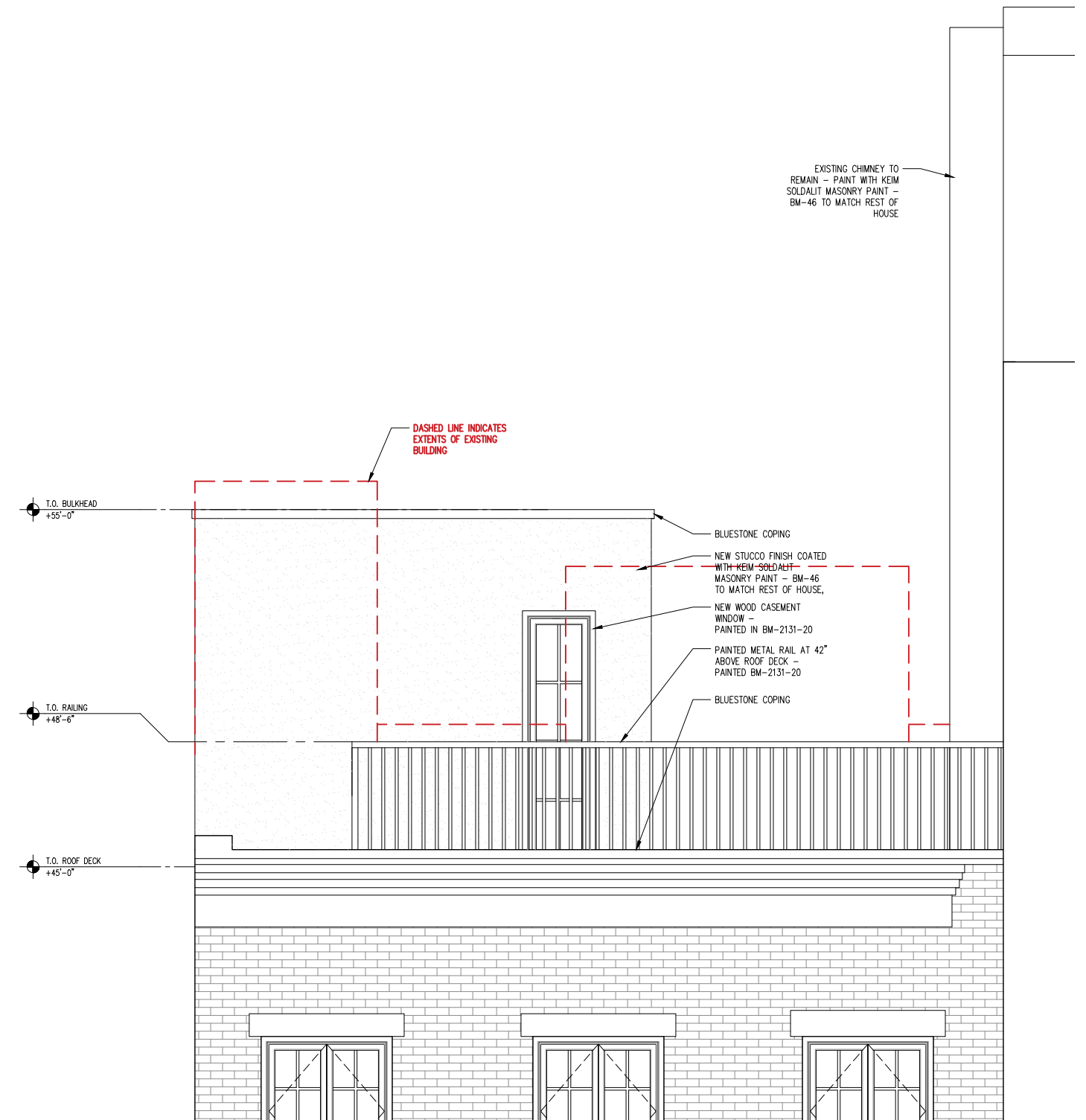
PROPOSED WINDOW SECTION DETAILS / Scale (1-1/2)" 1'-0"



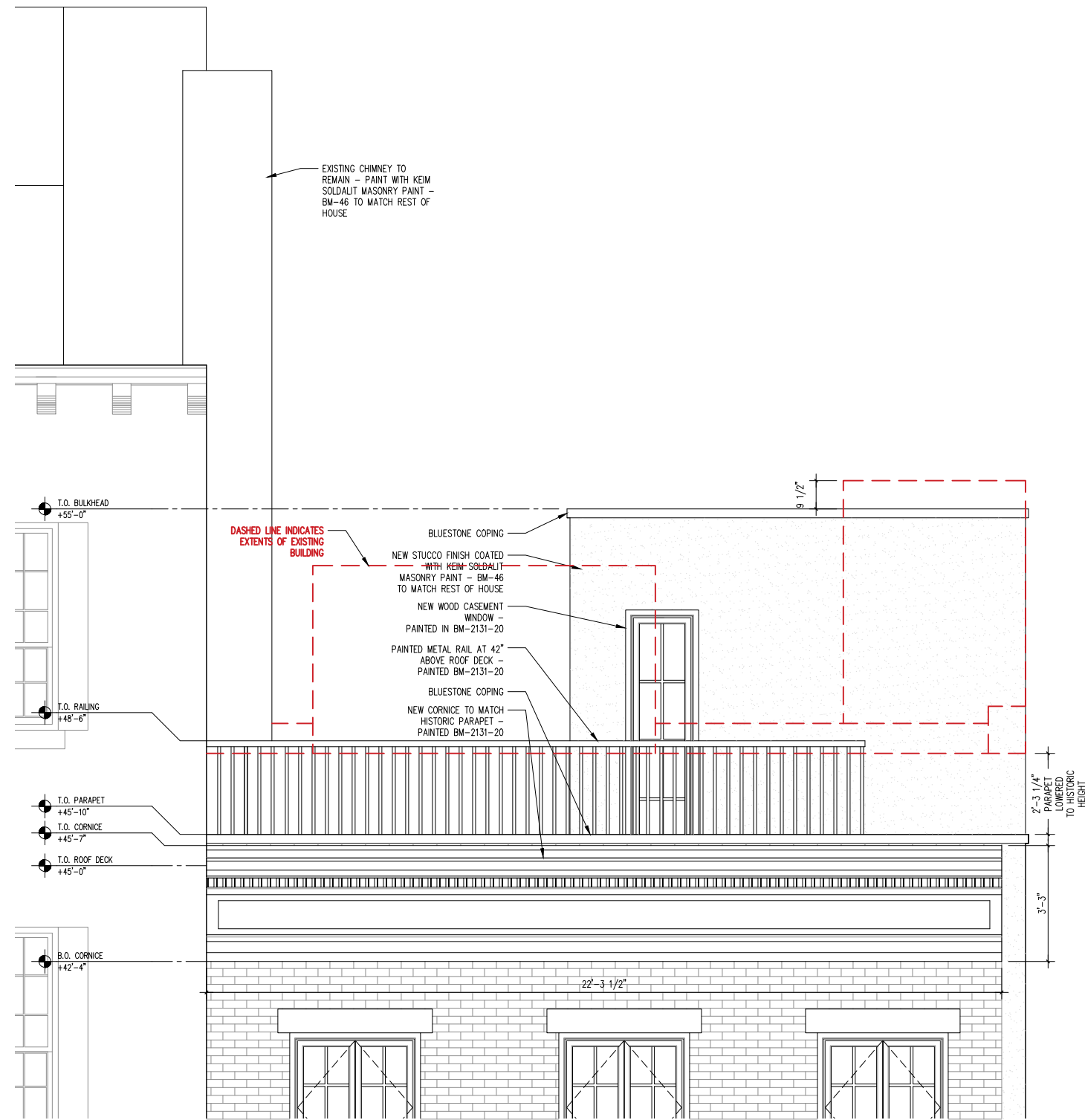
PROPOSED ELEVATION



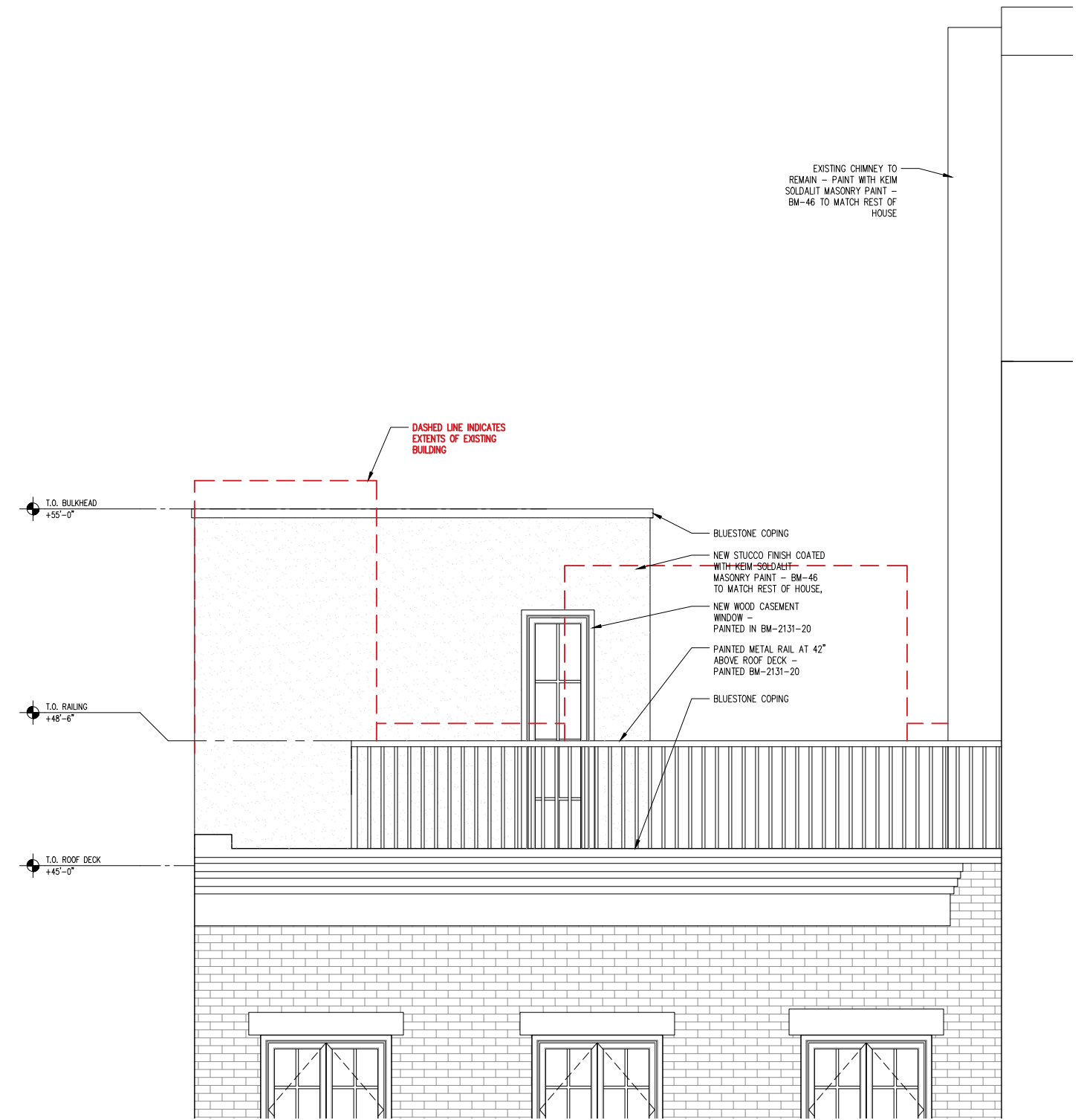
PROPOSED PRIMARY FACADE ROOF ELEVATION DETAIL



PROPOSED REAR FACADE ROOF ELEVATION DETAIL

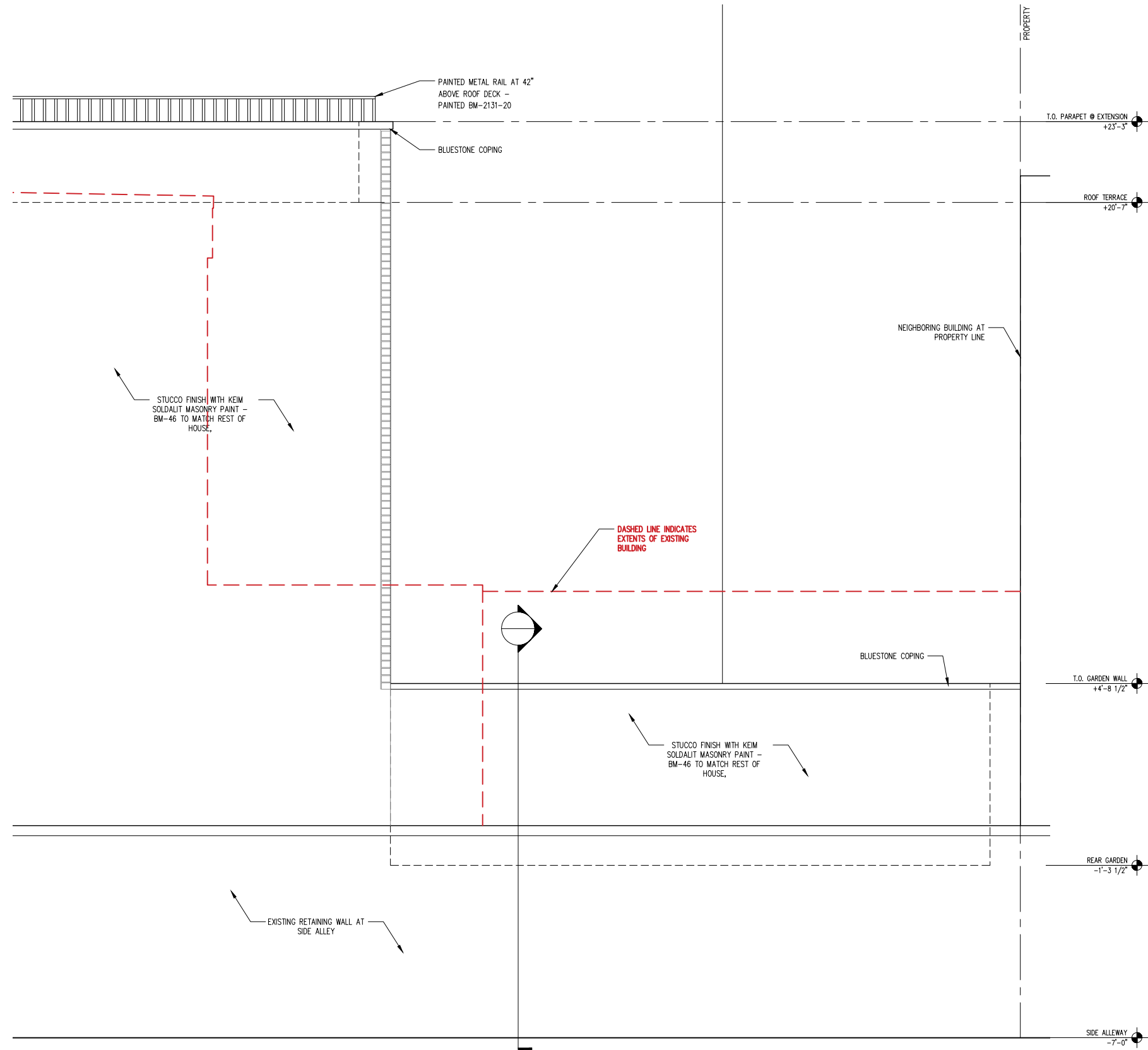


PROPOSED PRIMARY FACADE ROOF ELEVATION DETAIL

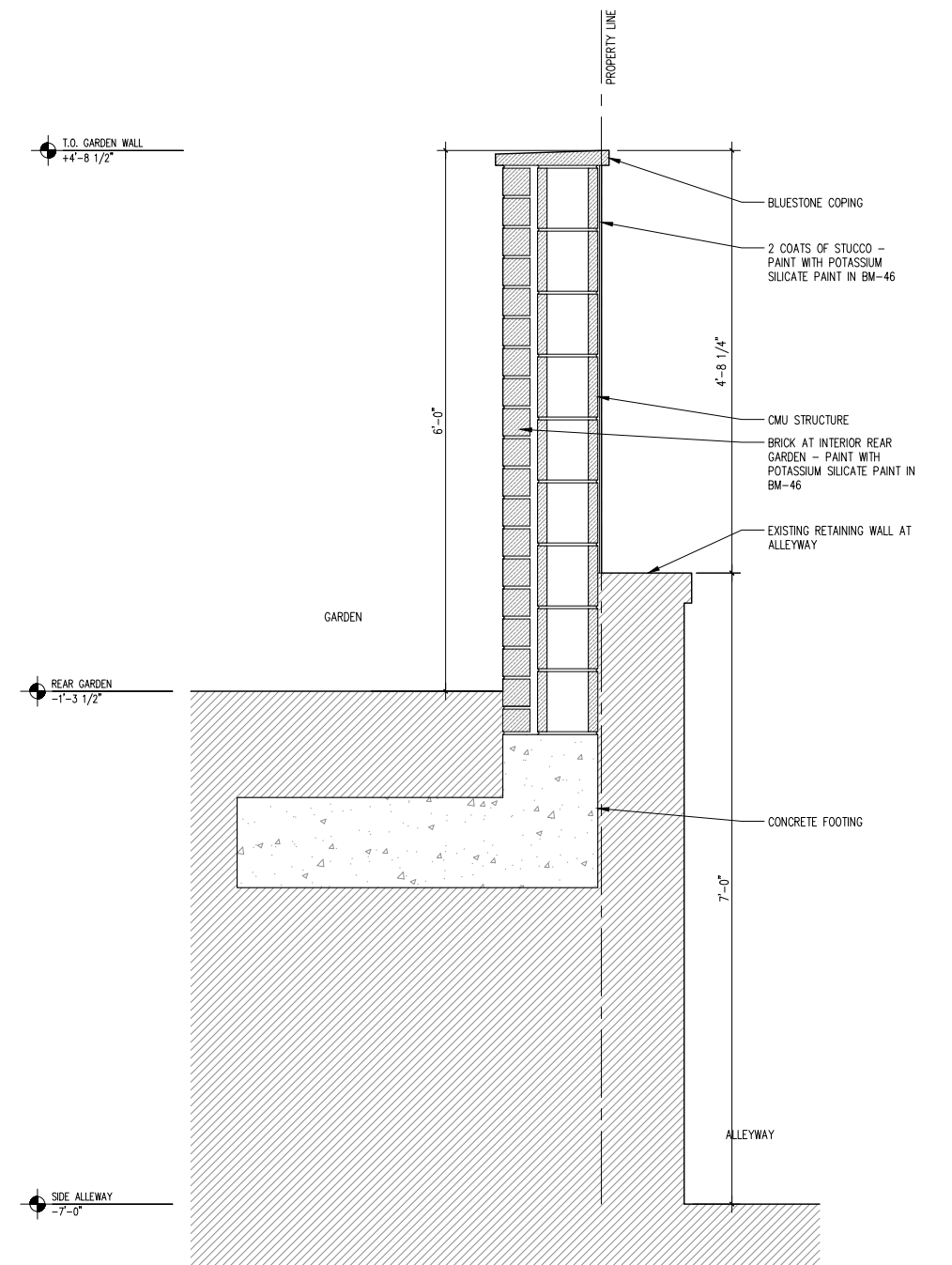


PROPOSED REAR FACADE ROOF ELEVATION DETAIL

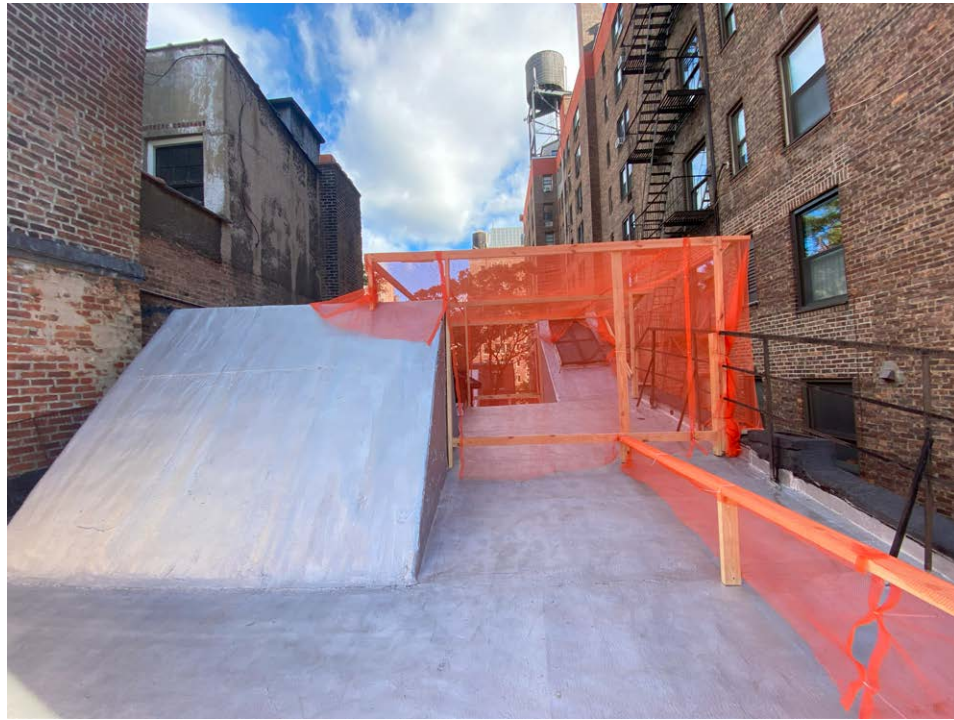
REAR YARD ADDITION / Rear Garden Wall



REAR GARDEN WALL DETAIL ELEVATION / Scale (1/4)" 1'-0"



REAR GARDEN WALL DETAIL SECTION / Scale (1/2)" 1'-0"



ROOF BULKHEAD AND RAILING / Looking North



ROOF BULKHEAD AND RAILING / Looking South



REAR EXTENSION / Looking Down from Roof



ROOF BULKHEAD AND RAILING / Looking East



ROOF BULKHEAD AND RAILING / Looking East



REAR EXTENSION/ Looking South



(A)



(B)



(C)



(D)



(E)



(F)

November 26, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 8, LPC-25-01663

23 East 9th Street – Greenwich Village Historic District Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 161 709 3216

Passcode: 445660

By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

888-475-4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.