

August 13, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 4, LPC-24-09981

51 Barrow Street – Greenwich Village Historic District
Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 854 0834 7928

Passcode: 643937

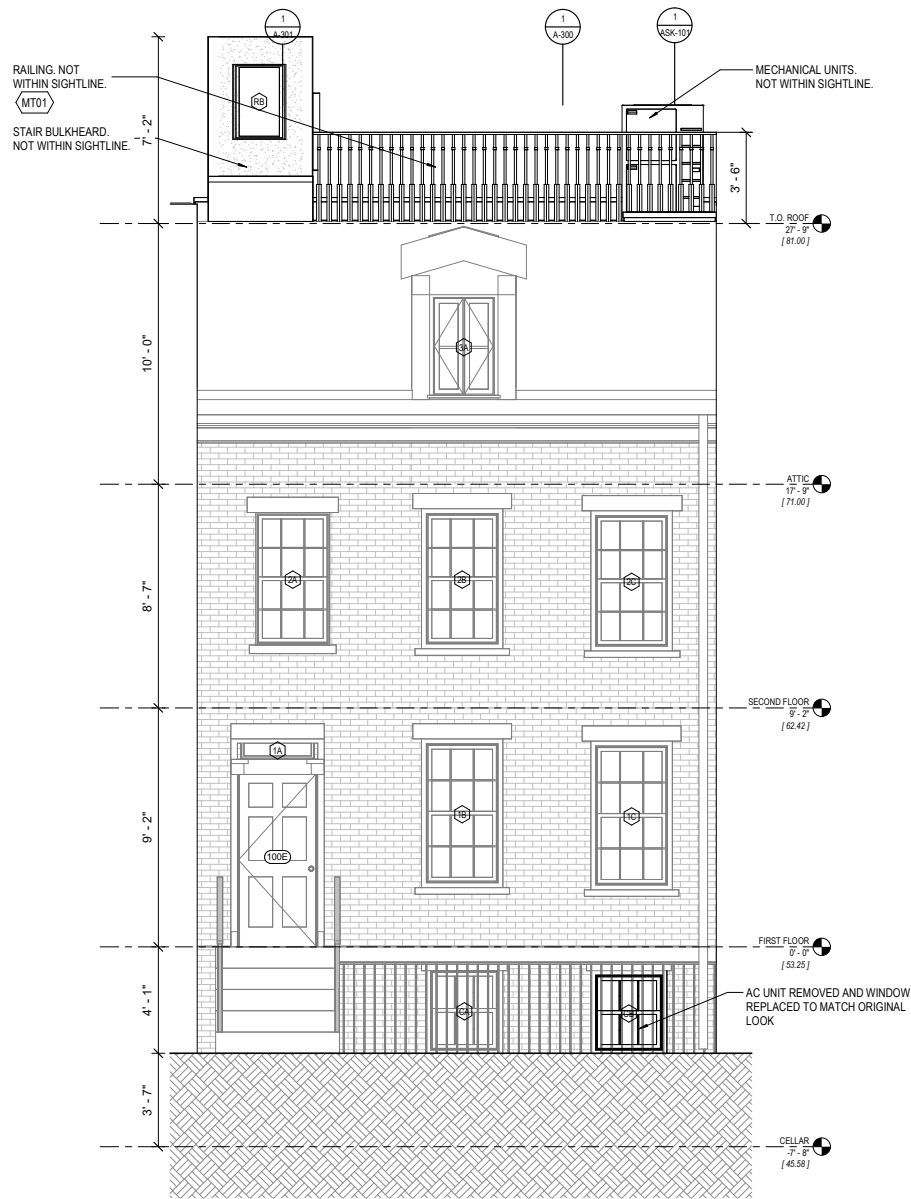
By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

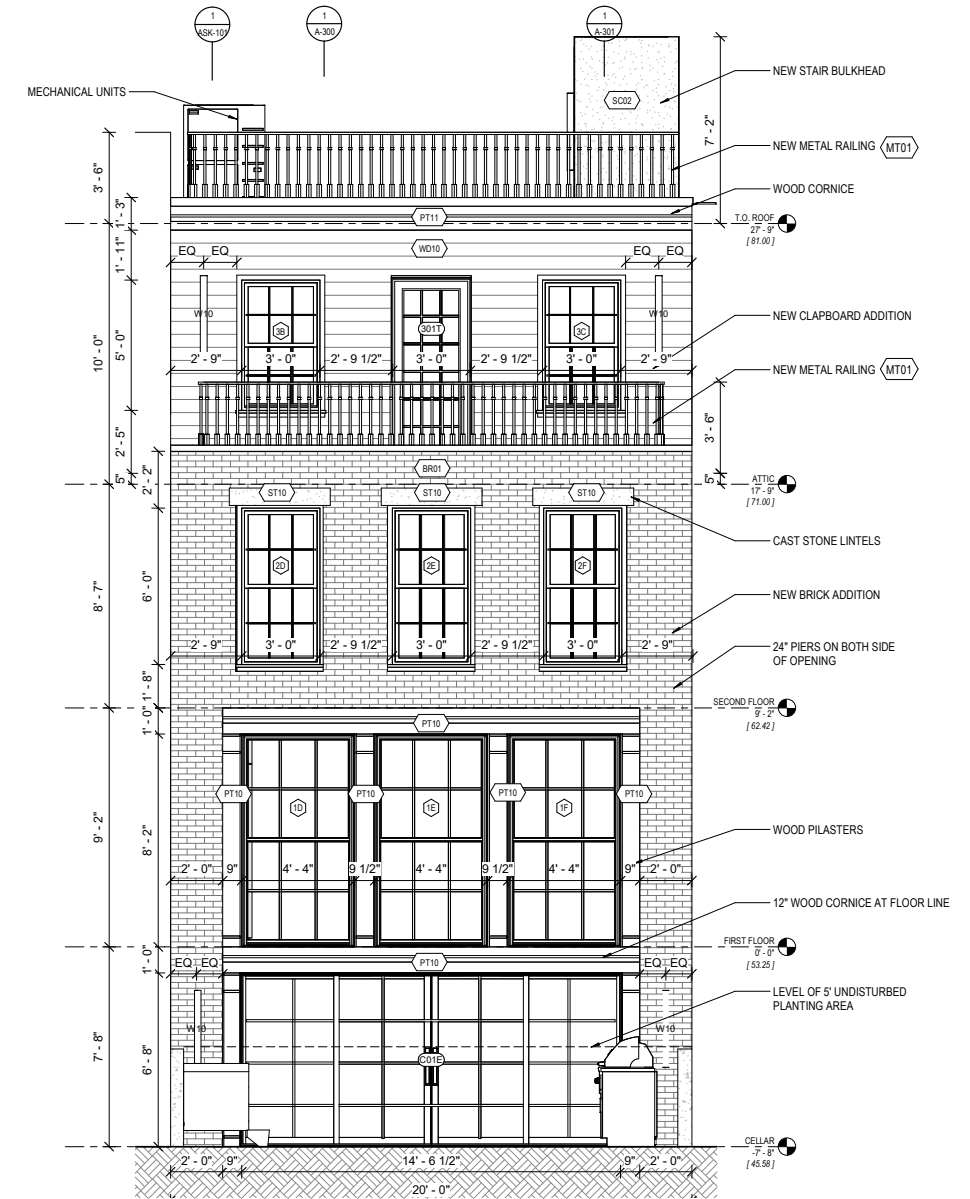
888-475-4499 (Toll free)

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51 Barrow Street



Proposed Front Elevation



Proposed Rear Elevation

Subject: Community Board 2 | LPC Presentation
 Date: August 13, 2024

Location



Historic District Designation Map



Block Map (ZOLA)



51 Barrow Street

Location



Existing Conditions



Existing Roof



Rear Facade



Rear Facade looking East

Existing Conditions



Existing Cellar Window



Partial Rear Facade



Partial View of the Existing Rear Addition

Existing Conditions



Rear Yard looking East



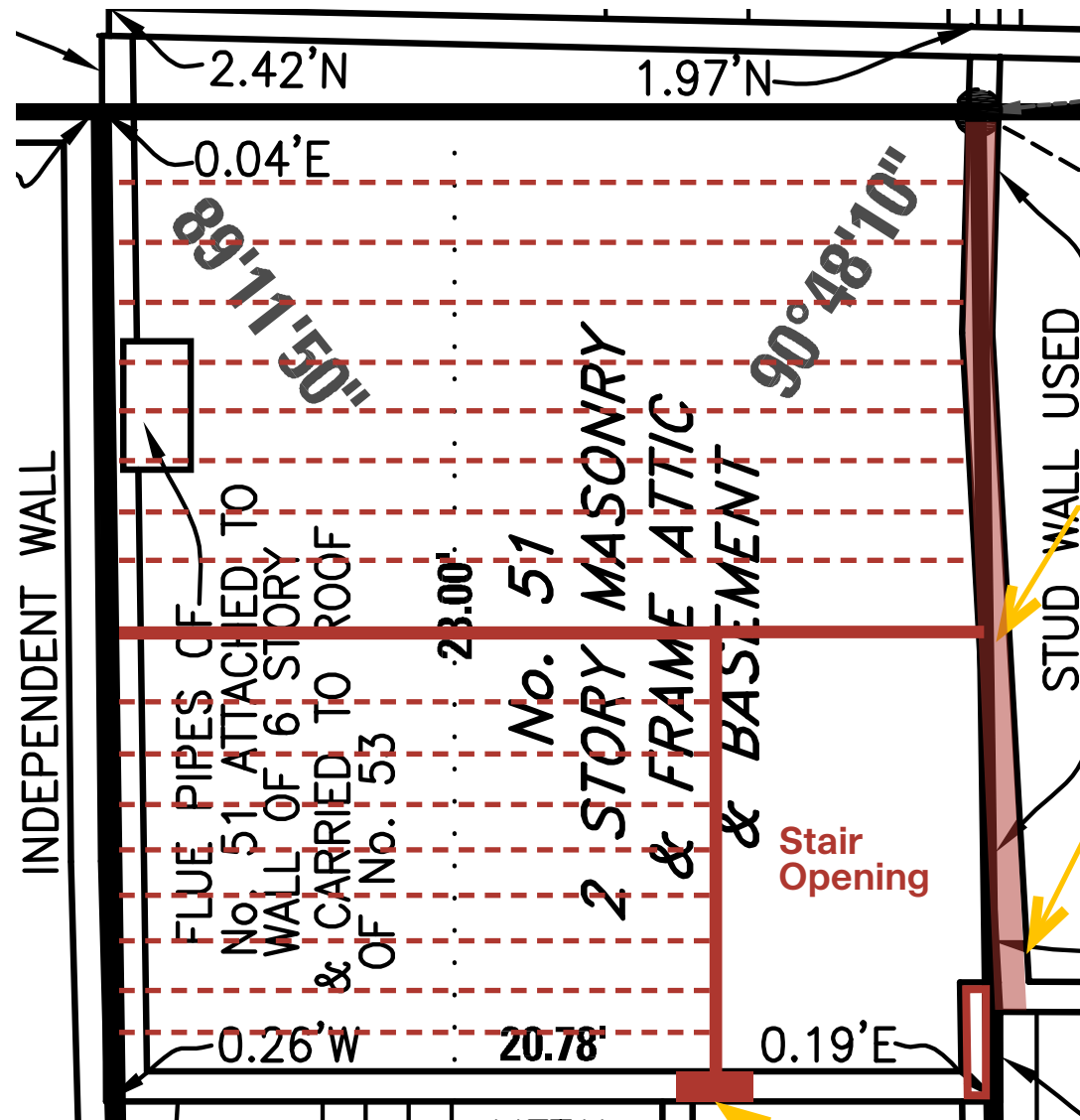
Rear Yard looking Southeast



Rear Yard viewed from Roof of Addition

Existing Structural Issues

Building Survey

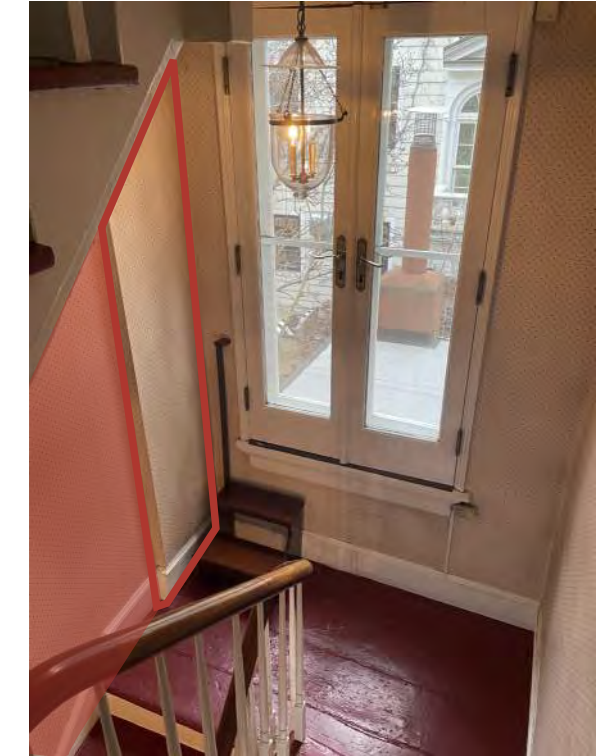
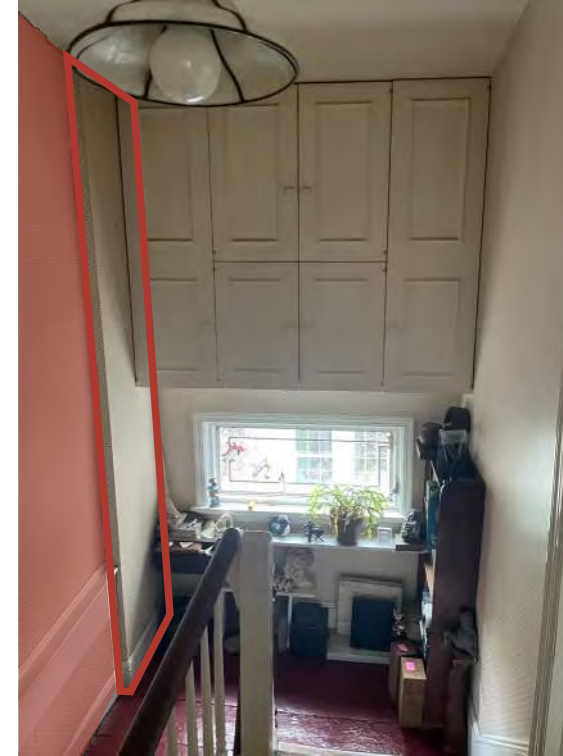


ISSUE 02
Weak floor bearing point along party wall.

ISSUE 01
Party wall oversteps the property line and separates from the rear wall. The rear facade is not integral to the party wall. Interior dimensions confirm that the interior is wider than the lot.

ISSUE 03
Floor bearing point on minimally braced wood stud pier.

ISSUE 01



Photos of rear staircase - Level 2 & 3

Photo indicates that rear facade is separate element from party wall.

ISSUE 02



Photo of Cellar Party Wall

Cellar Foundation Wall is wholly on the property of 49 Barrow. There are no joists from 51 Barrow framed into this wall.

This additional brick wall may have been added to support joists from 51 Barrow.

Existing Structural Issues

ISSUE 03



This pier picks up the stair opening, but is not robustly braced to the side masonry or the rear facade.

Openings in the rear facade are placed in an unordered fashion, leaving very minimal structural piers supporting the rear facade.

No direct structural piers

The rear facade is constructed of wood stud, with fire brick infill and shiplap substrate with shingled cladding. The firebrick infill and roof is placing a very eccentric load on the opening lintels given the lack of structural piers.

Left: Photo of rear facade
Right: Photo of rear facade probe



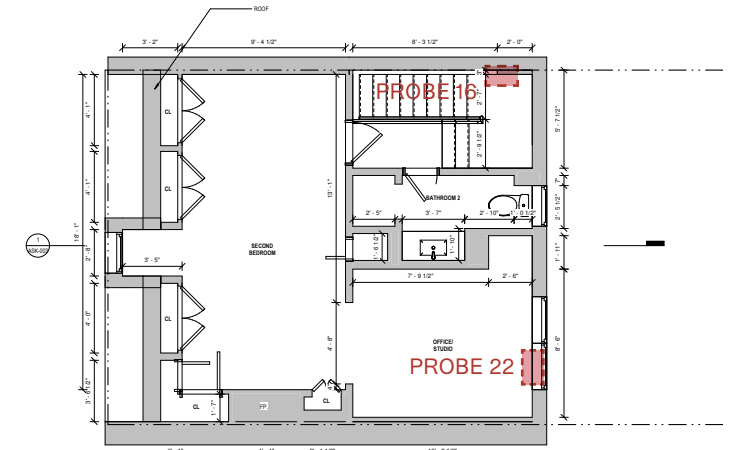
Probe Photos



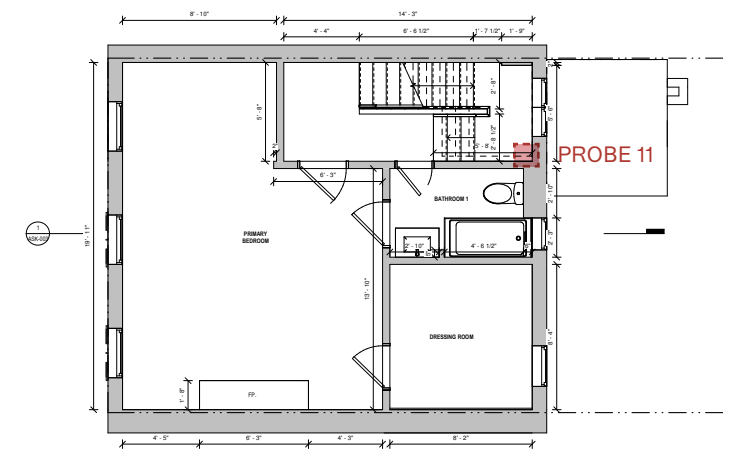
Probe 5 at first floor rear wall and ceiling



Probe 16 at party wall showing original wood frame and newer wood frame towards the rear wall



Attic



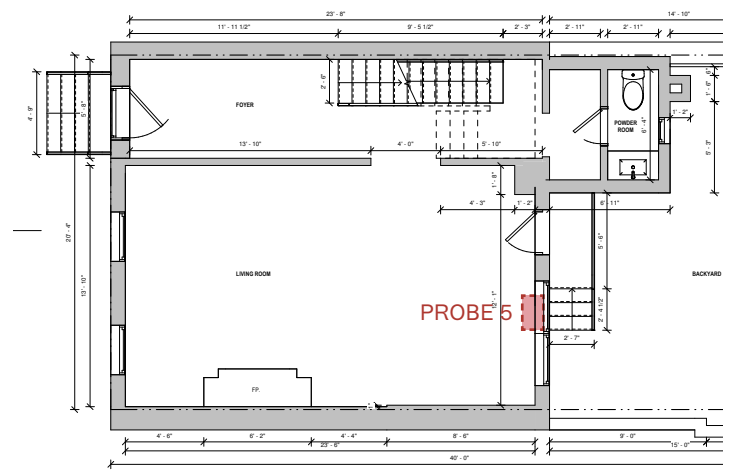
Second Floor



Probe 11 at rear facade showing loose fire brick infill

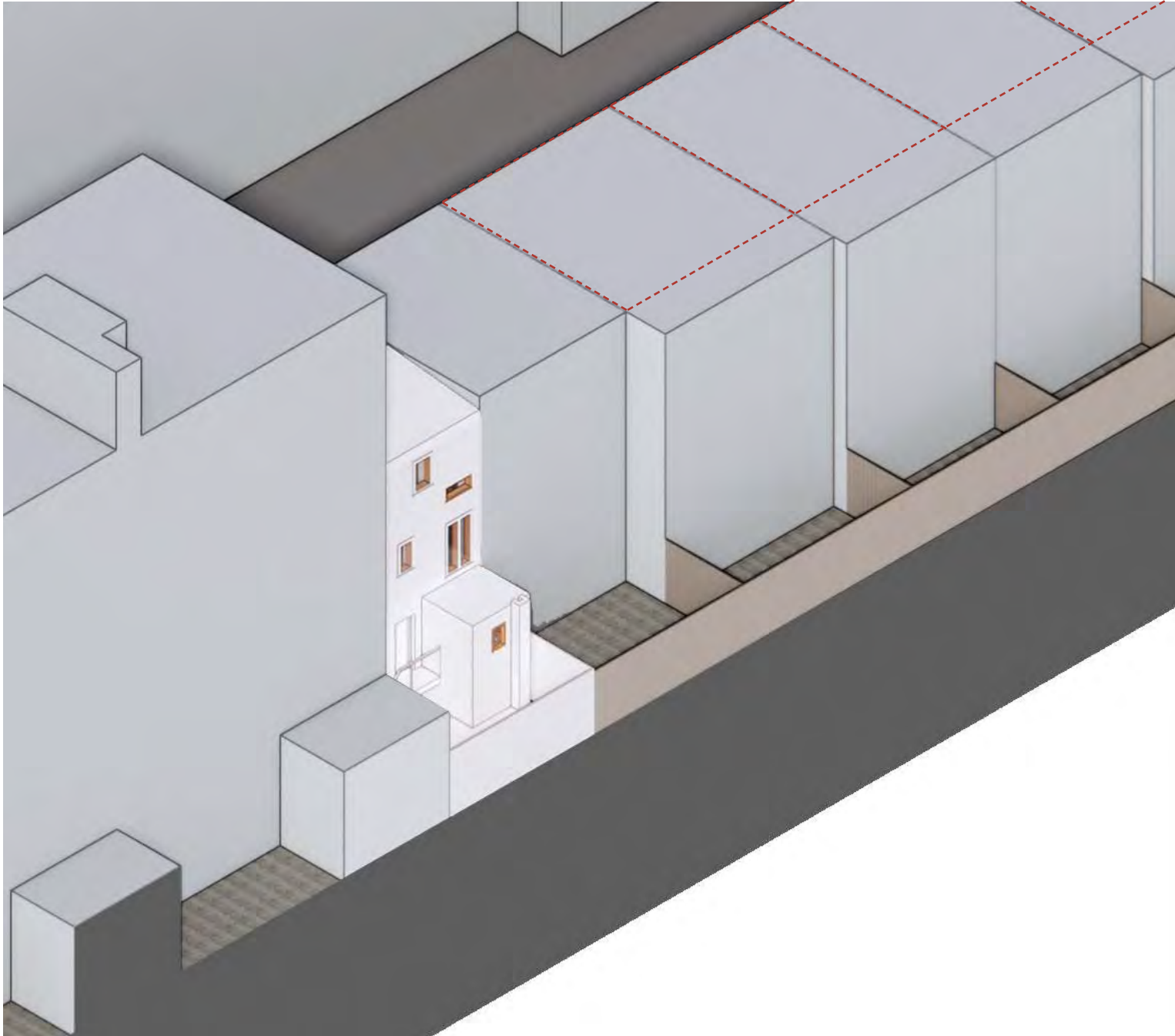


Probe 22 at roof and attic rear wall showing newer framing at existing roof

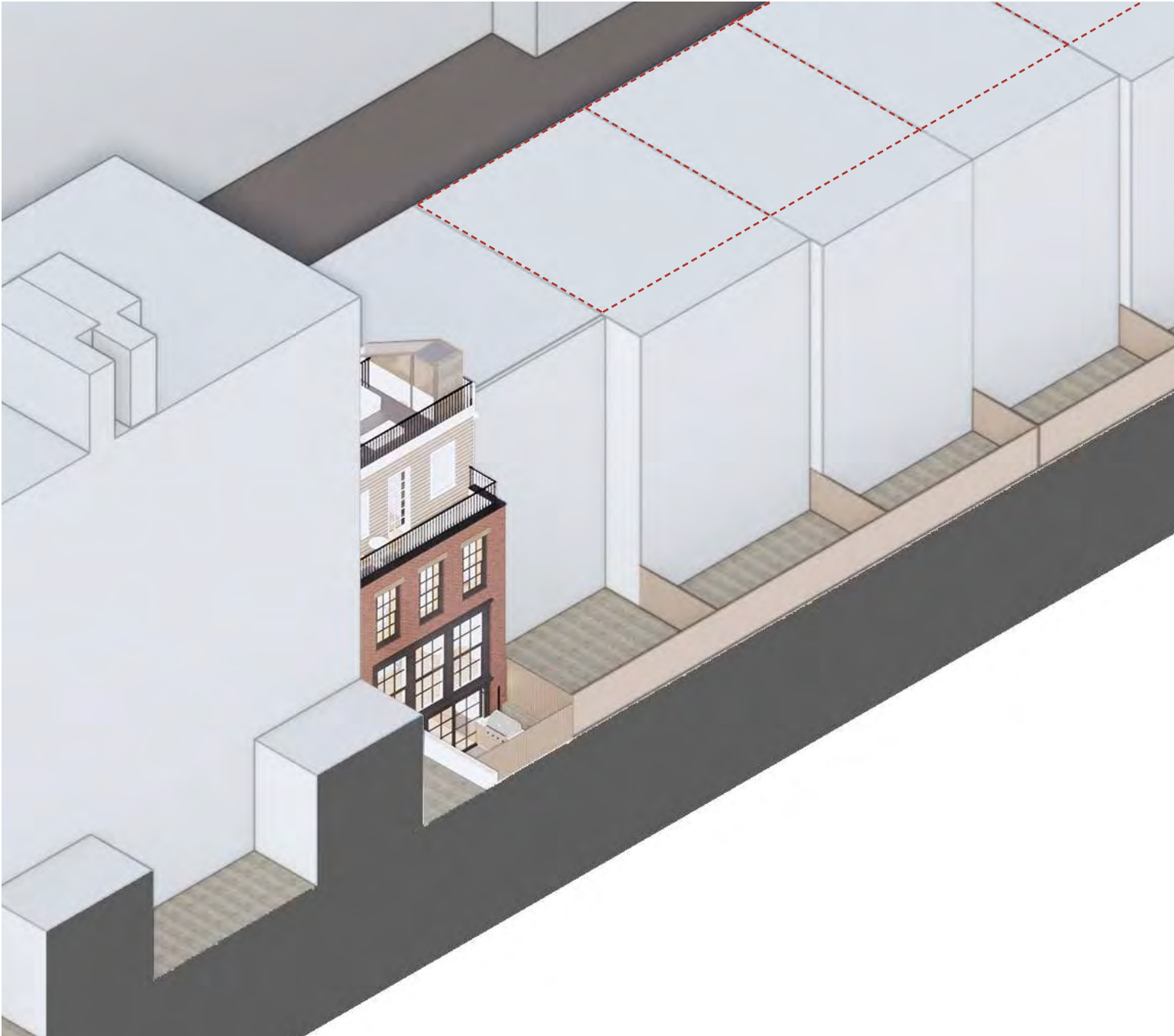


First Floor

Existing & Proposed Conditions

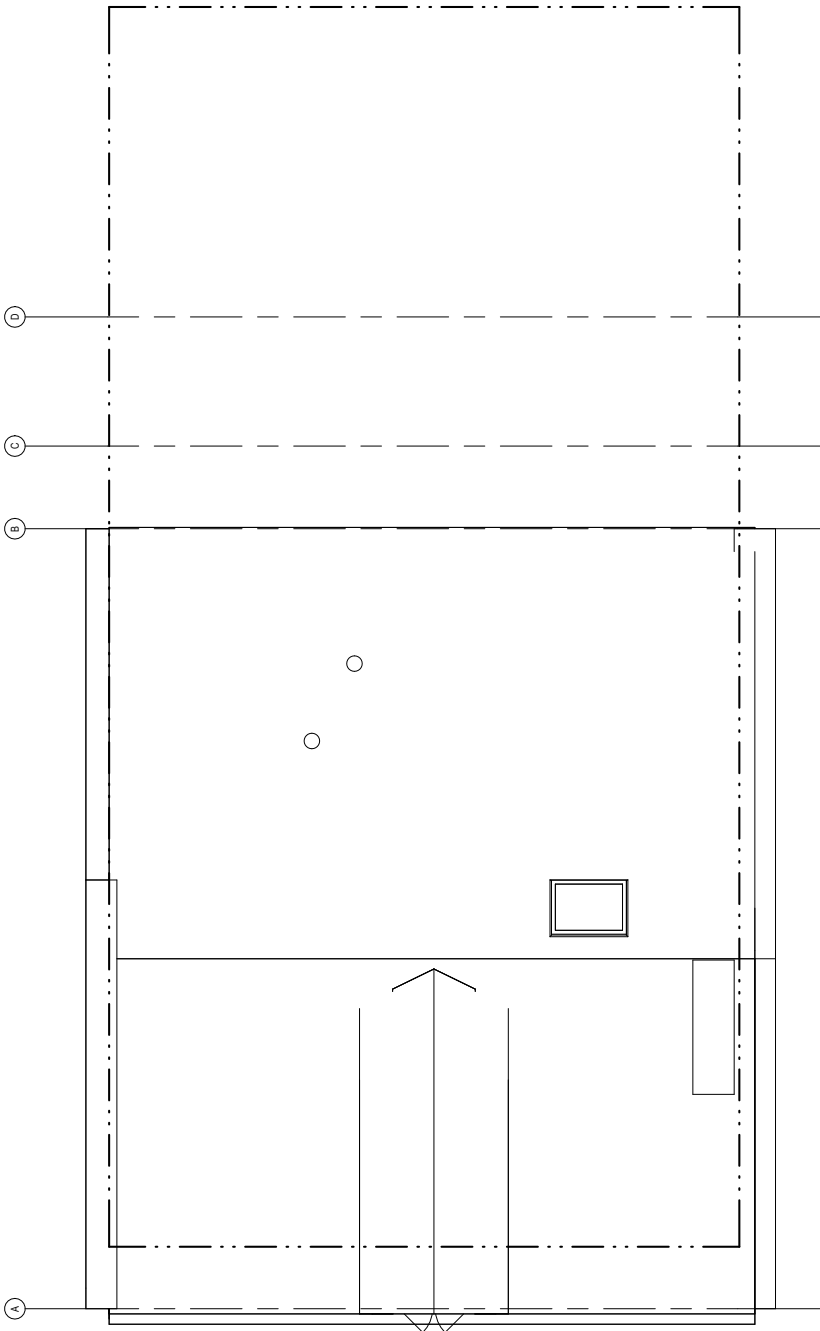


Existing Conditions - Aerial View

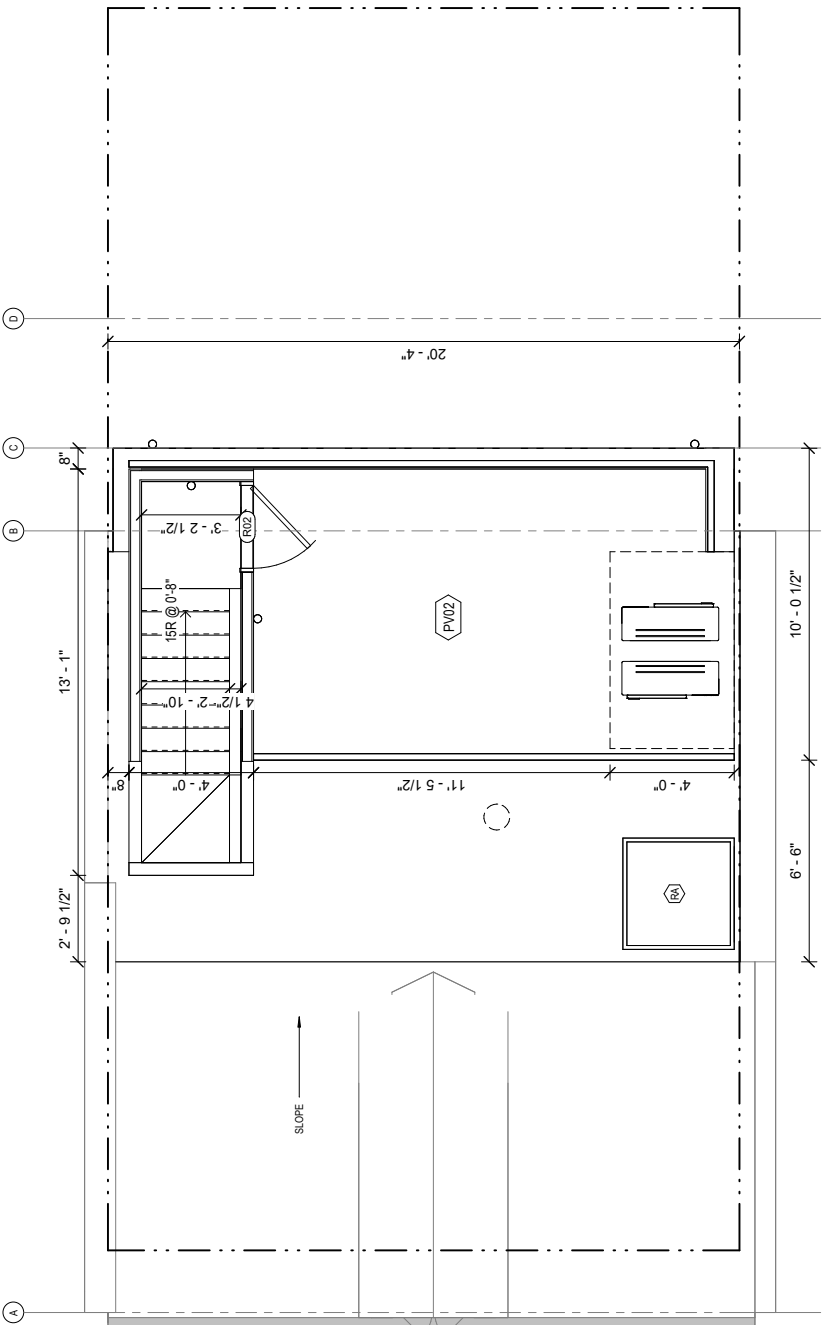


Proposed Conditions - Aerial View

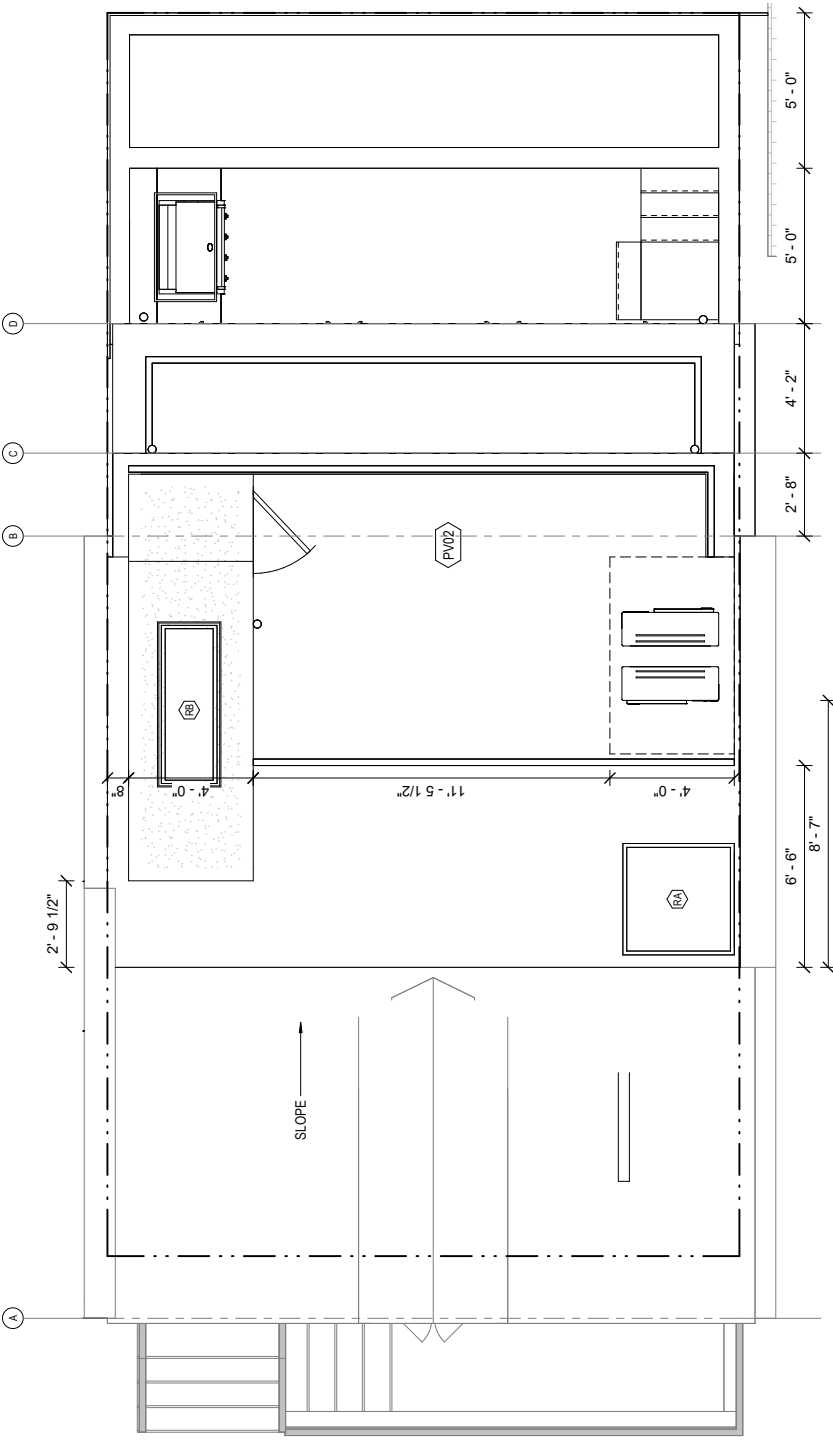
Existing & Proposed Roof Plans



Existing Conditions

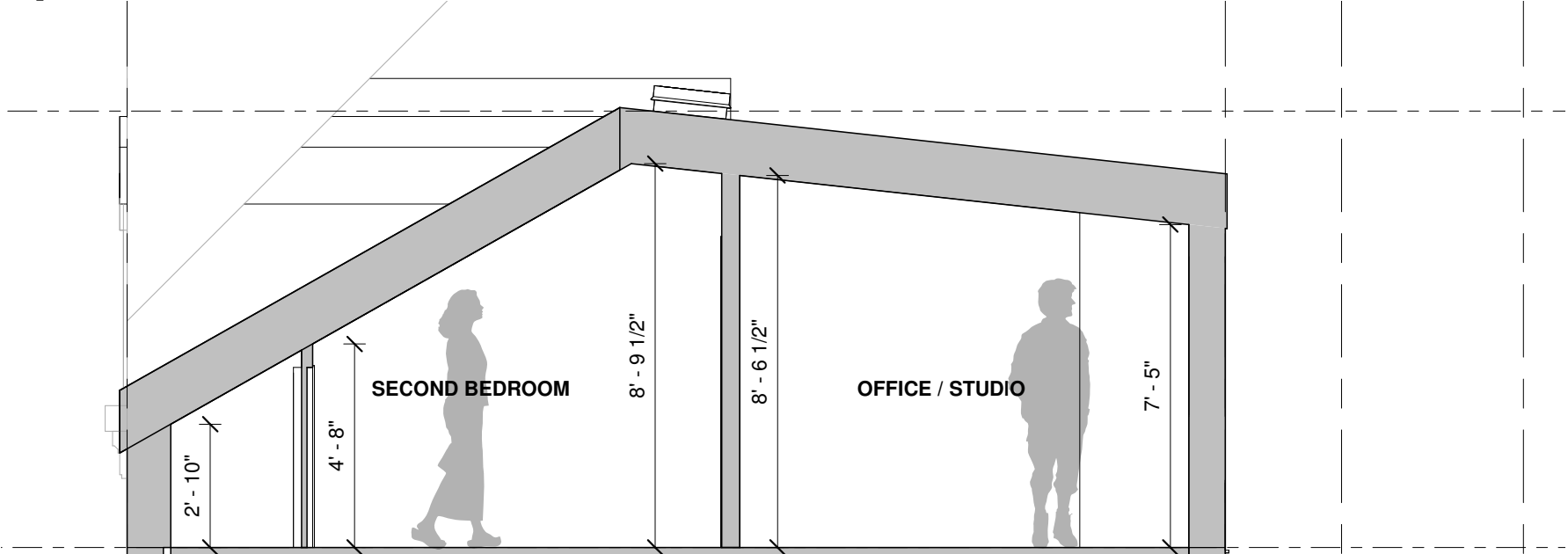


Proposed Roof Level

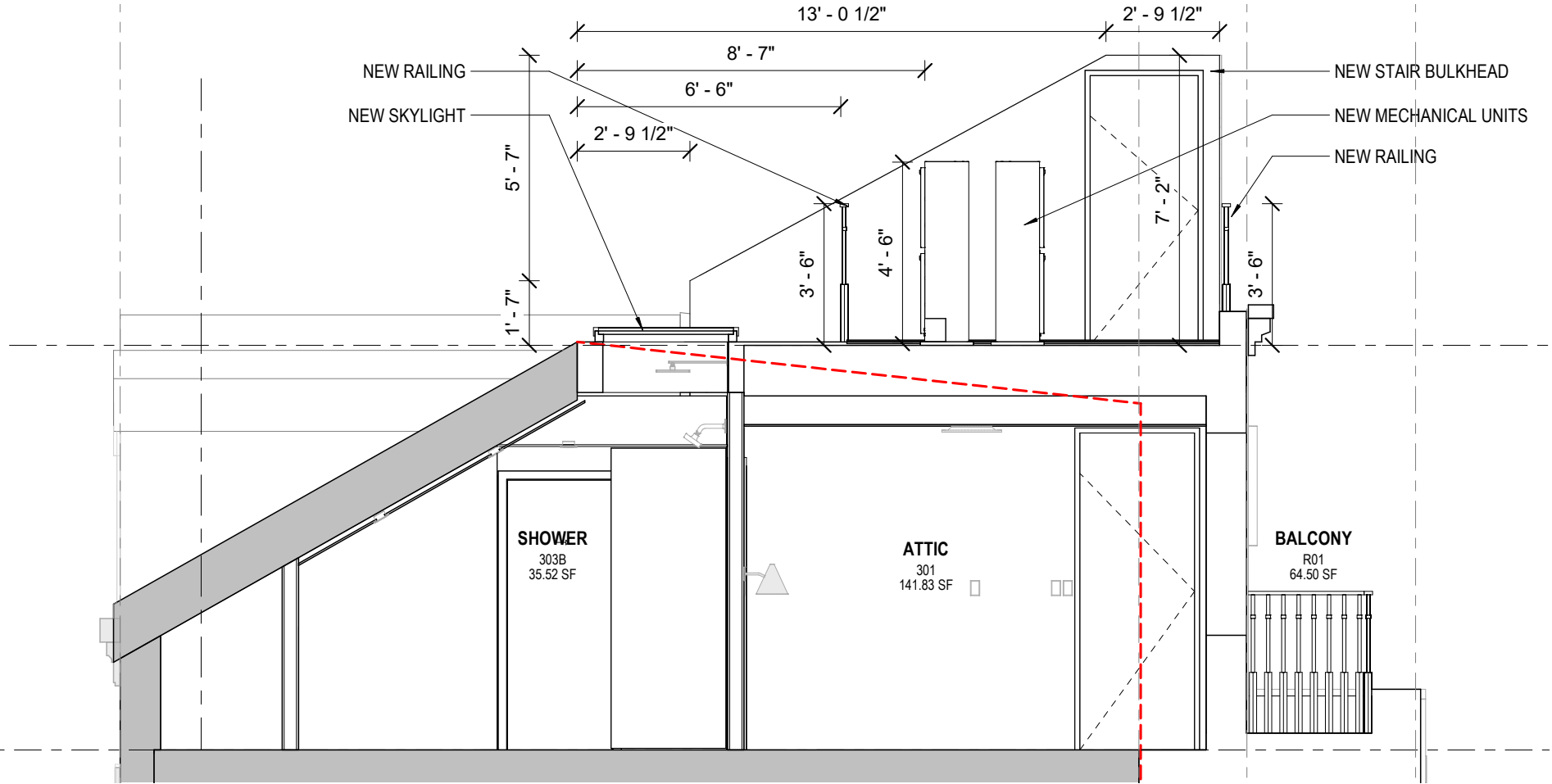


Proposed Rooftop

Existing & Proposed Roof Sections

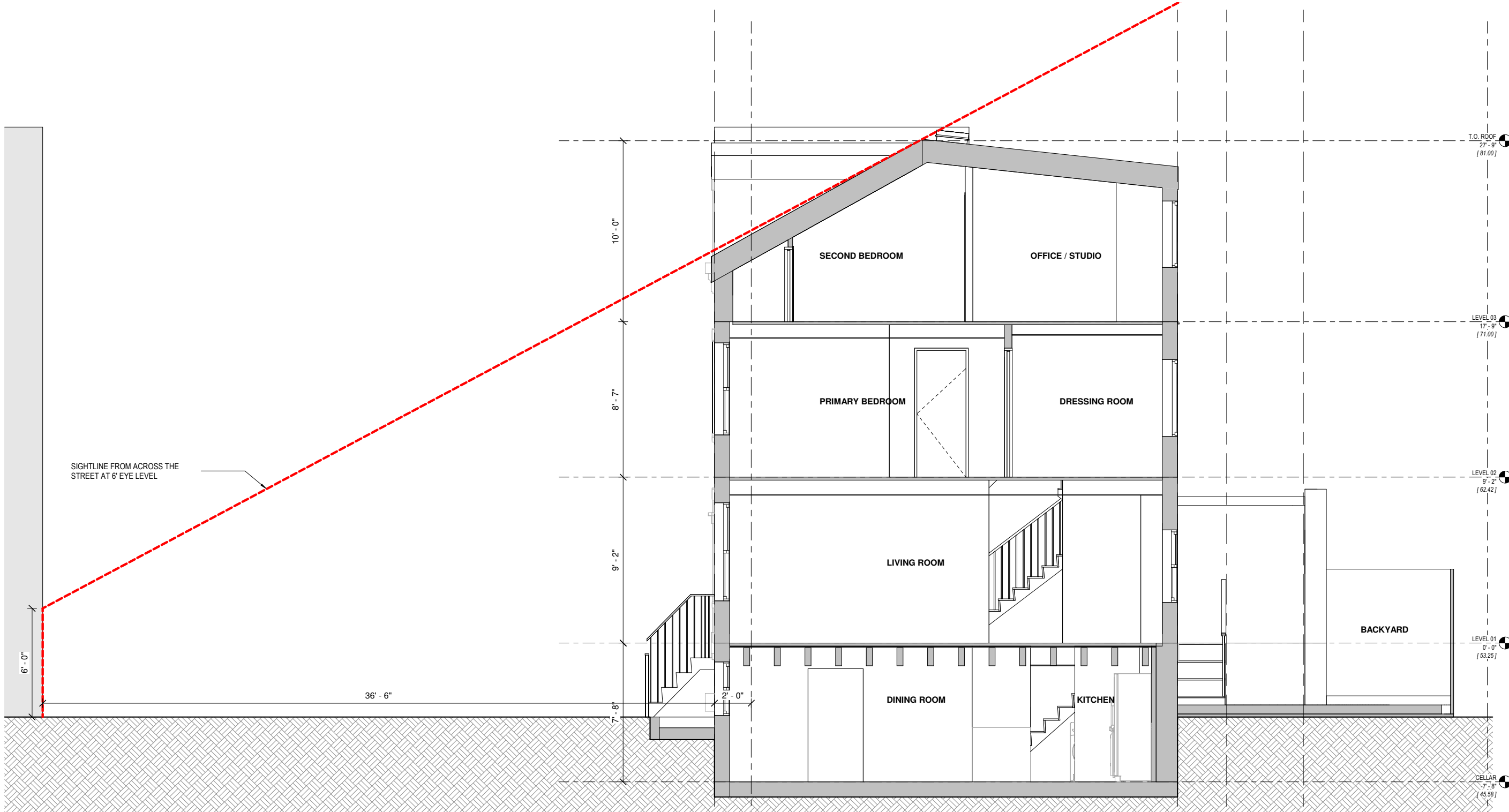


Existing Roof Section



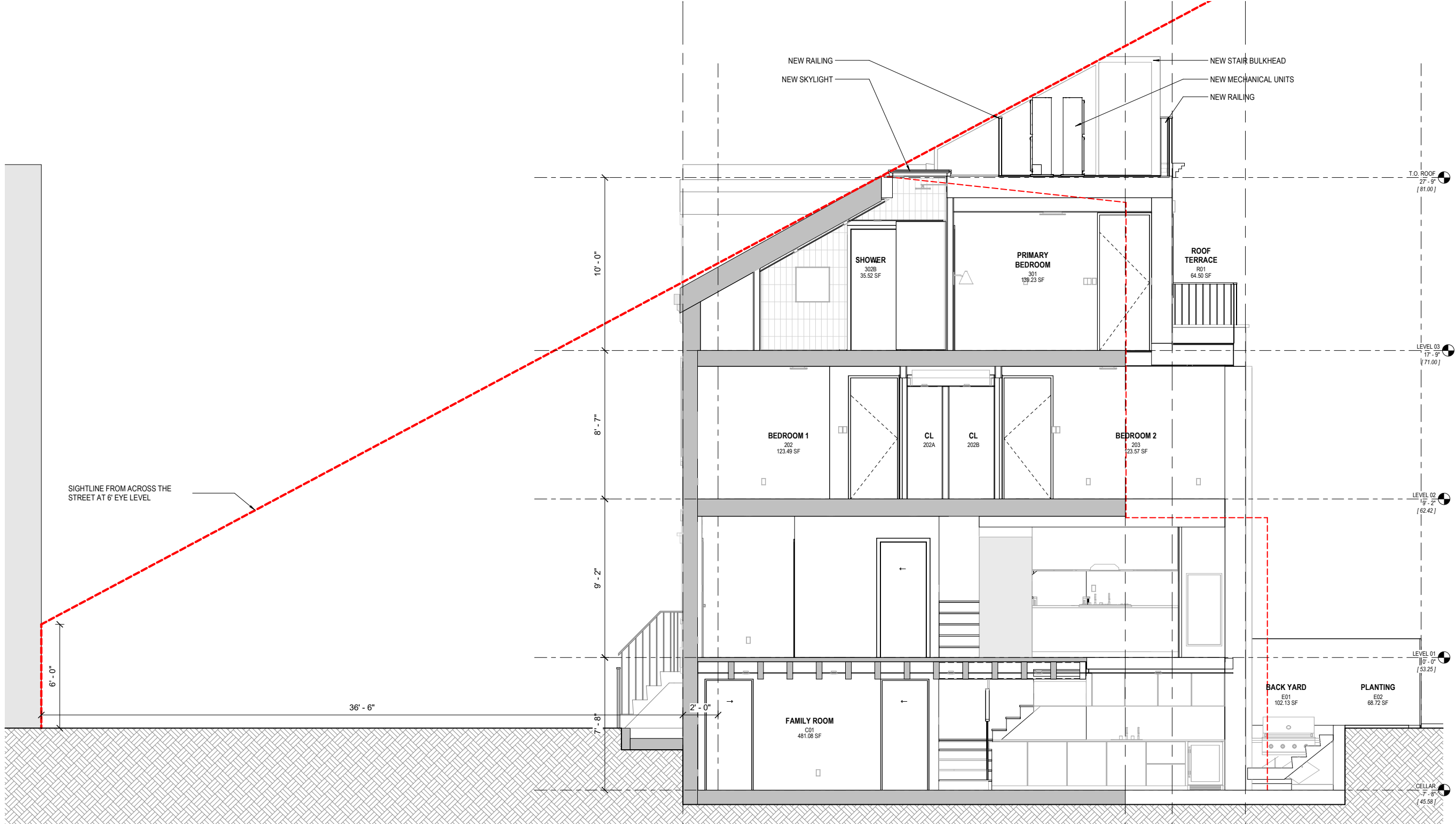
Proposed Roof Section

Existing Sightline Section



Existing Sight-line Section

Proposed Sightline Section



Proposed Sight-line Section

Roof Mock-Ups



Photo of Bulkhead looking East



Photo of Railing and HVAC Unit looking West

Roof Mock-Ups



Photo of Primary Facade looking East



Photo of Primary Facade looking West



Photo of Primary Facade

Roof Mock-Ups

51 Barrow behind these buildings

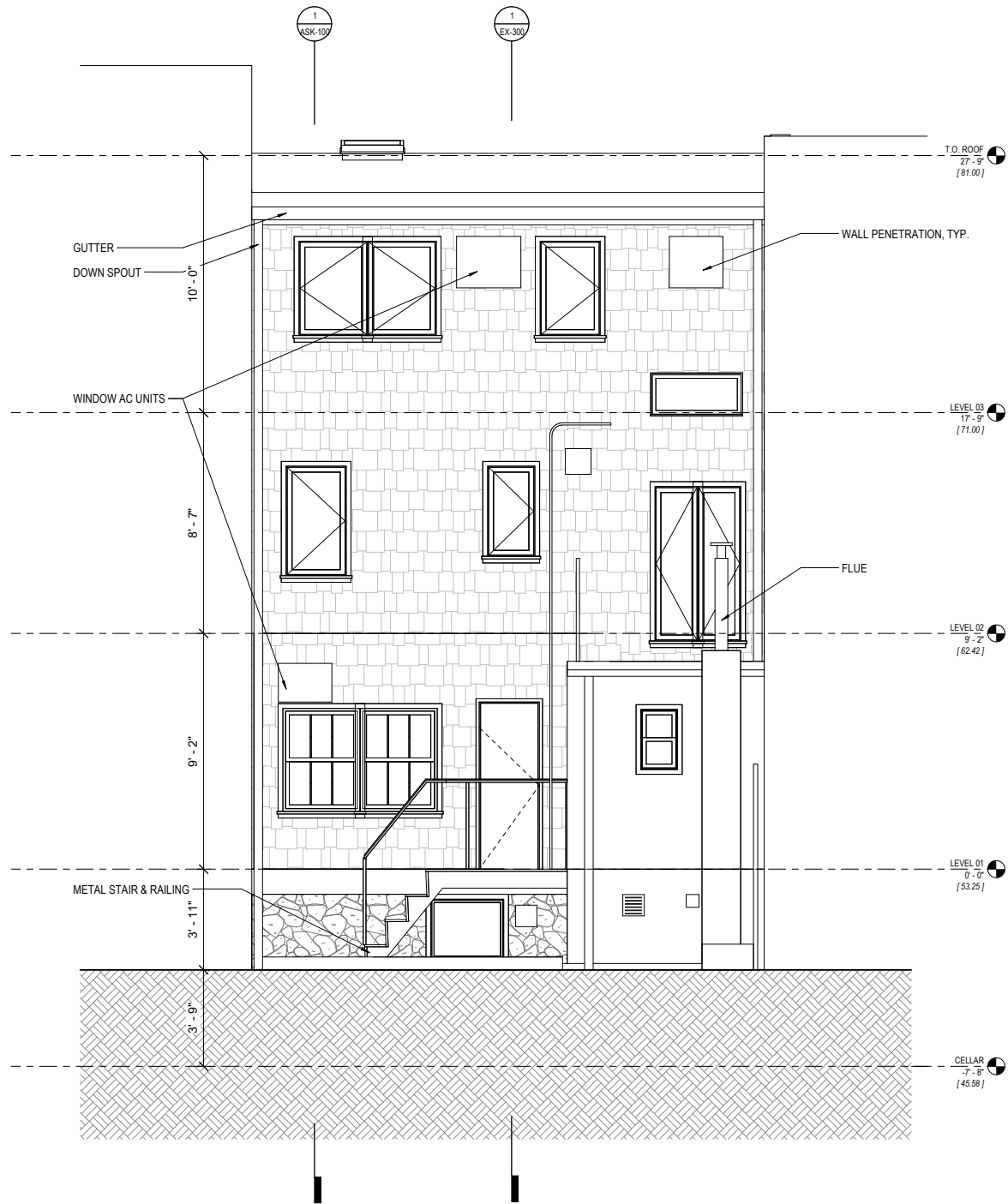


Photo from 7th Ave. Building not visible. Orange netting is at 43 Barrow.

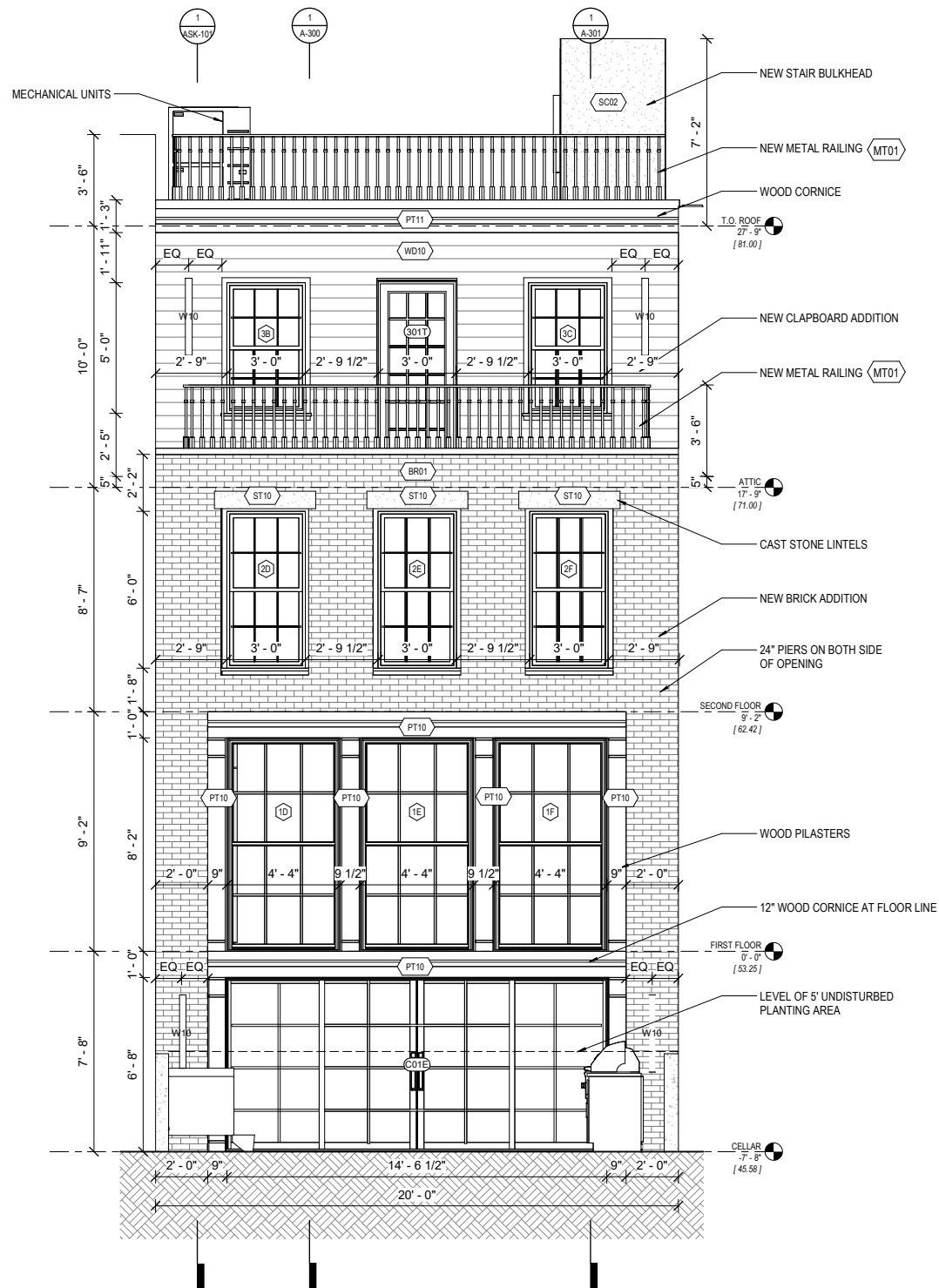


Photo from Commerce. Building not visible.

Existing & Proposed Rear Elevation

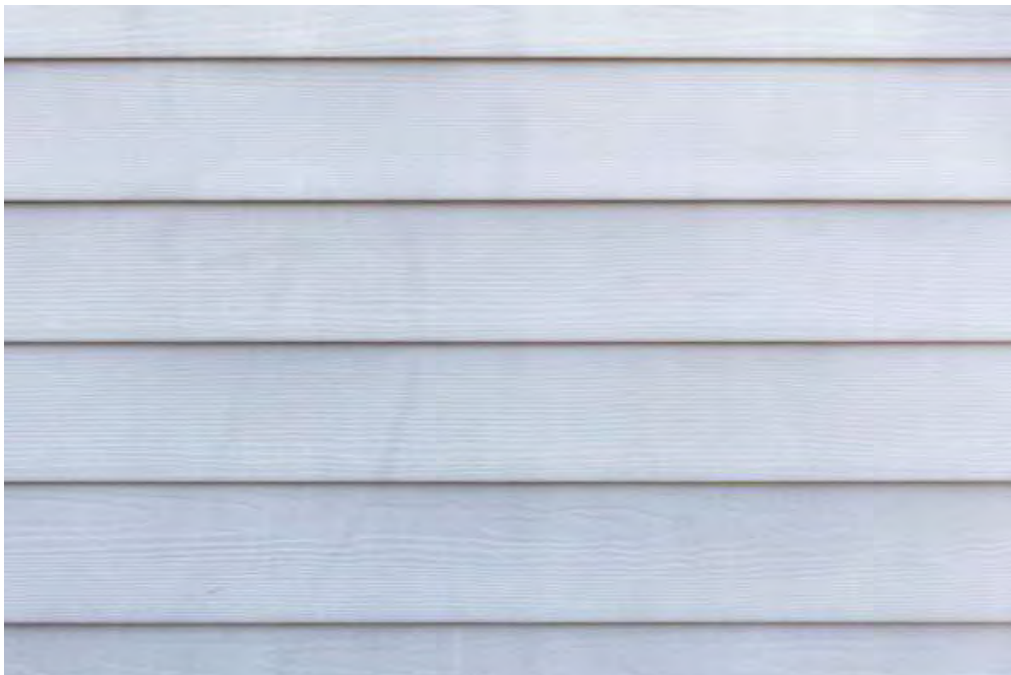


Existing Rear Elevation



Proposed Rear Elevation

Material Palette



Wood Clapboard



'Rocky Mountain' Glen Gery Brick



'Covington' Glen Gery Paver



Black Steel Railings

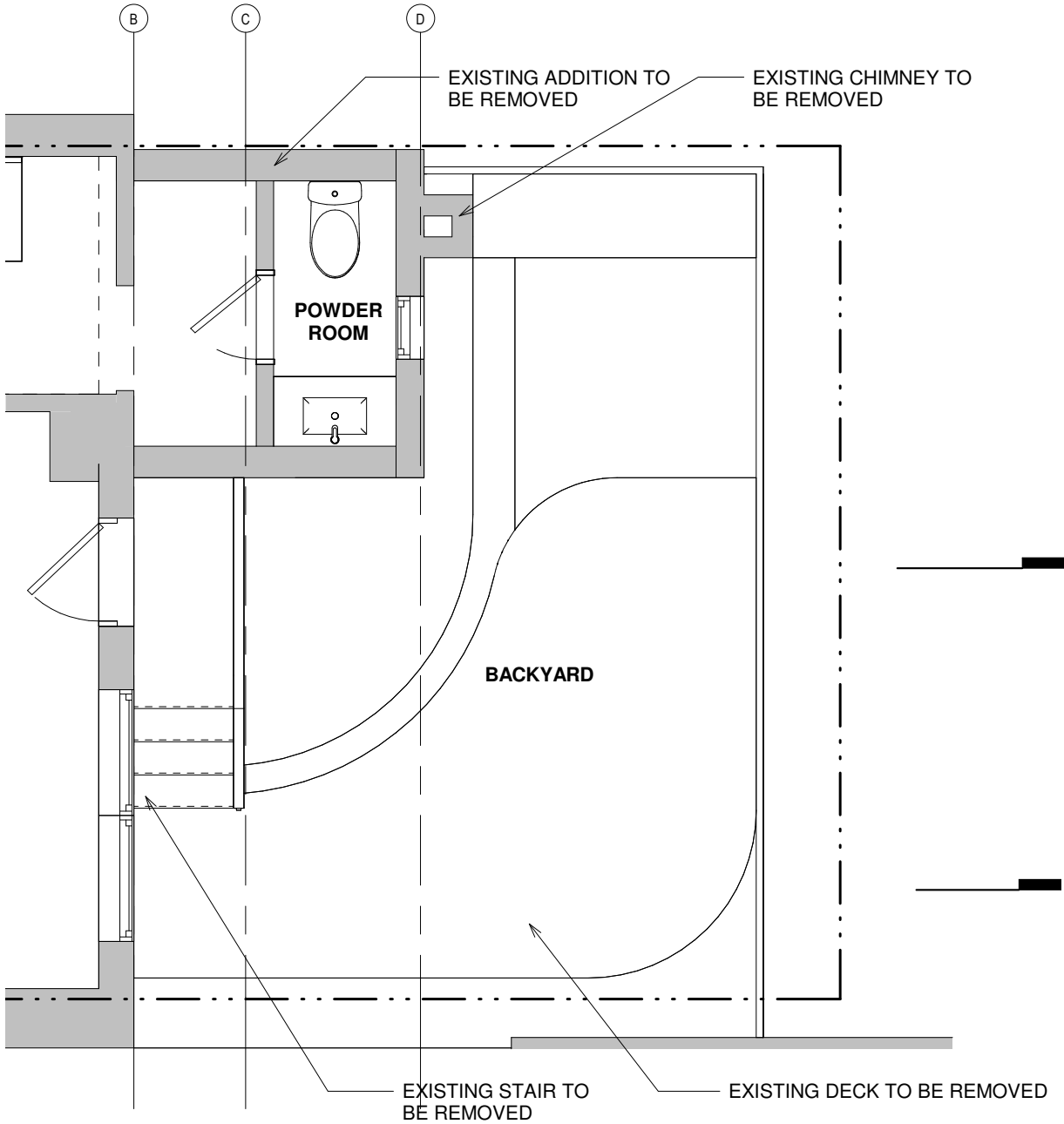


Window Frame

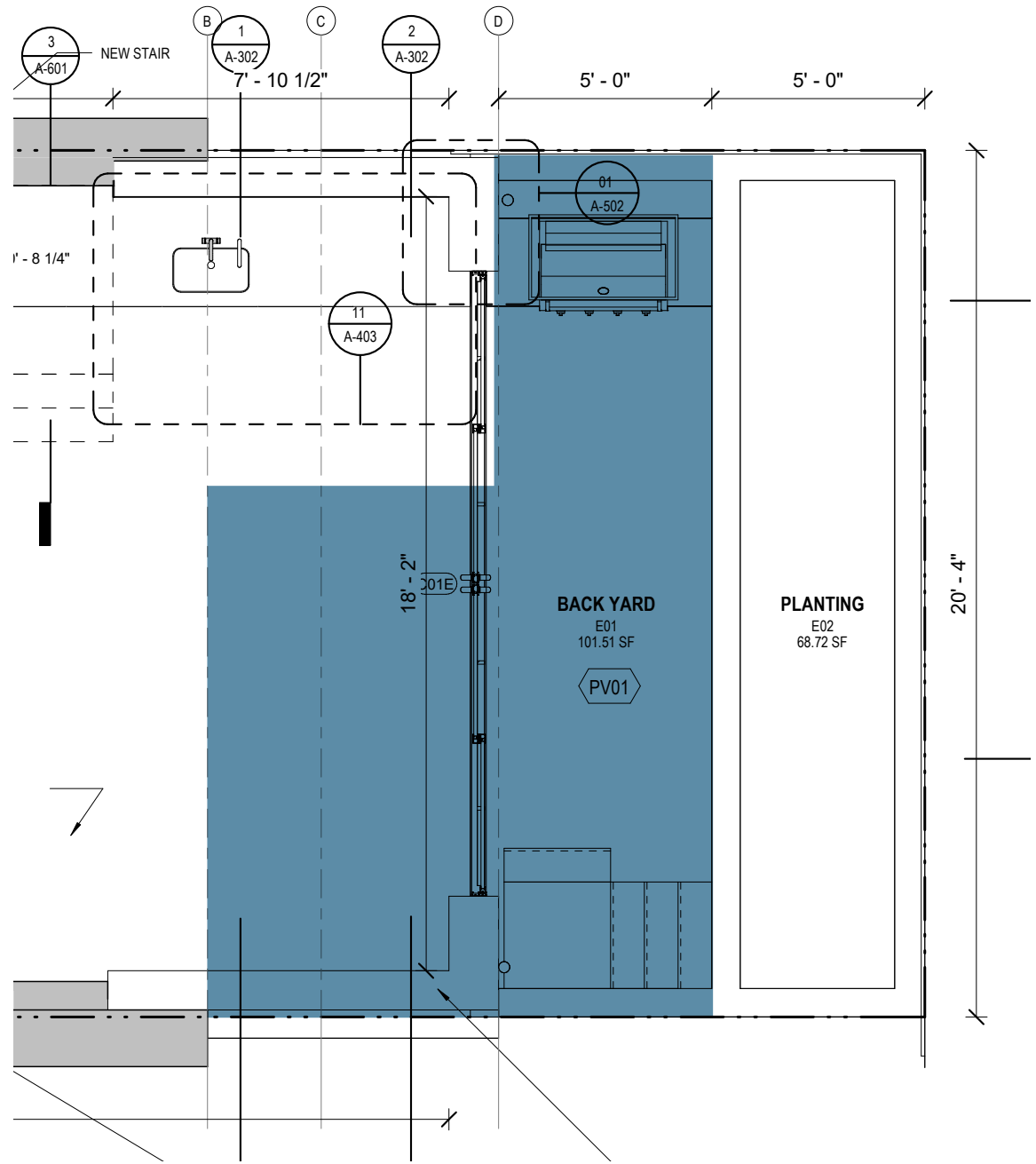


Cedar Fencing

Existing & Proposed Rear Yard Plans



Existing Yard Plan



Proposed Yard Plan ■ Area of Excavation

Existing Rear Elevation in Context



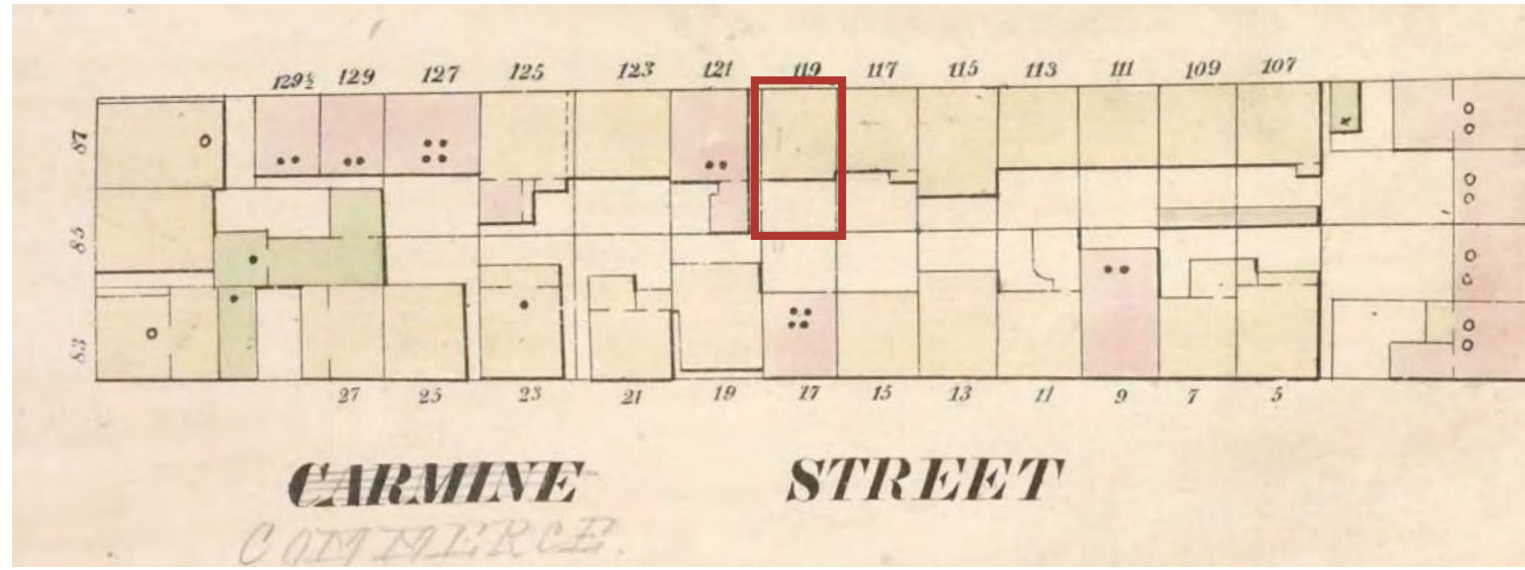
Existing Rear Elevation

Proposed Rear Elevation in Context

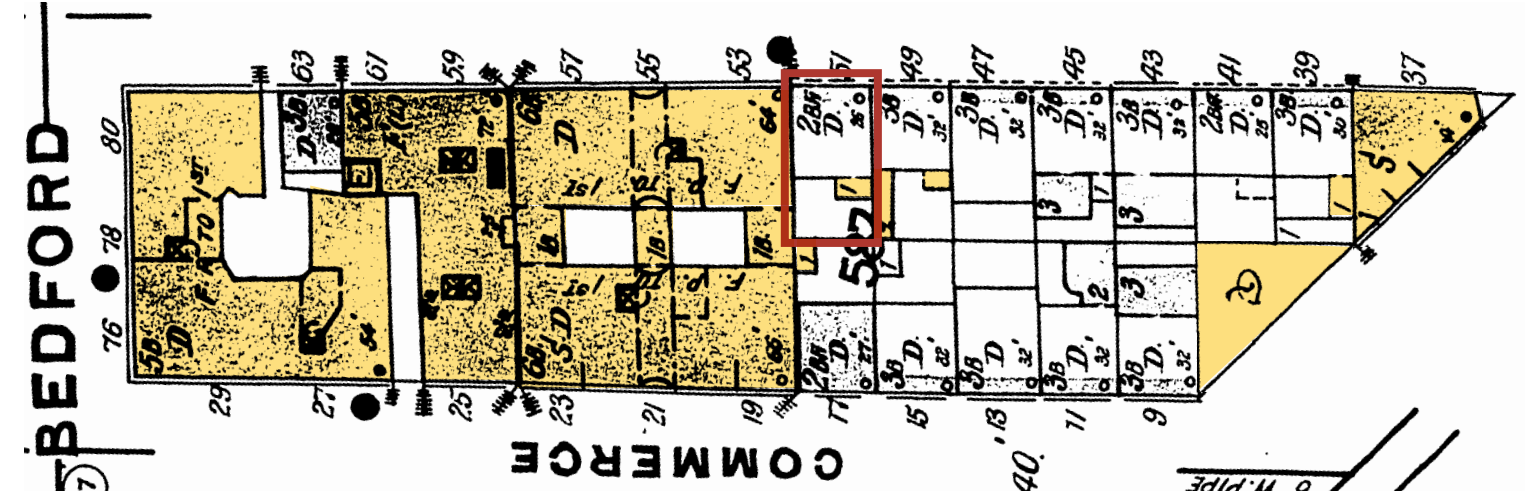


Proposed Rear Elevation

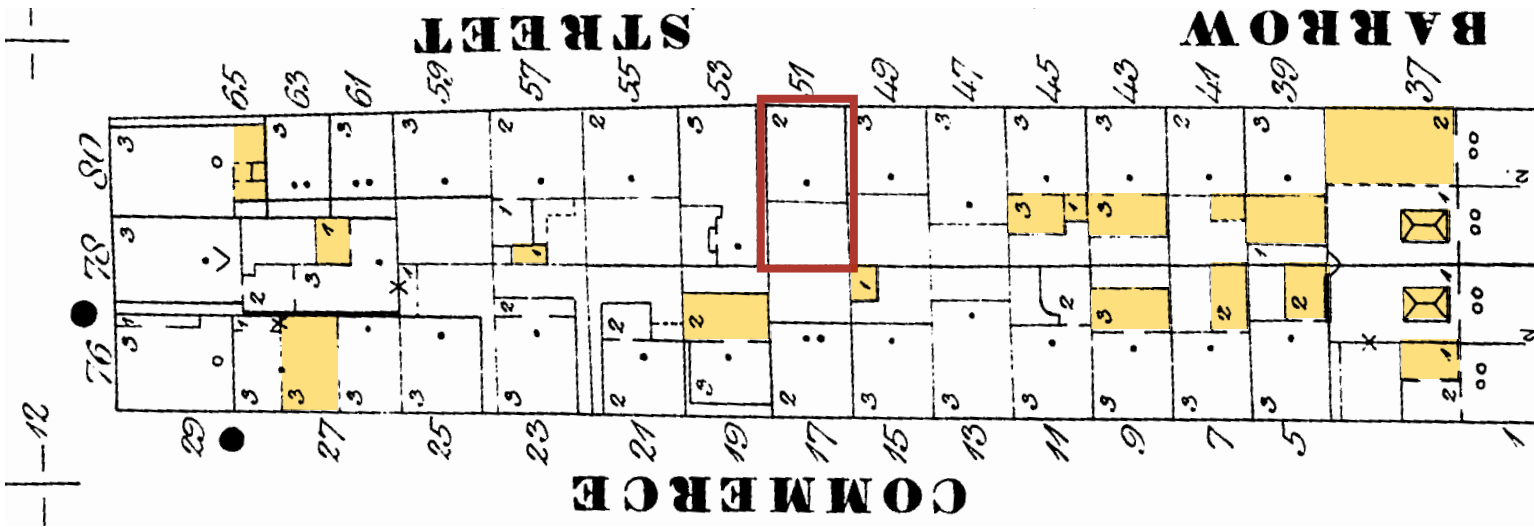
Historic Maps



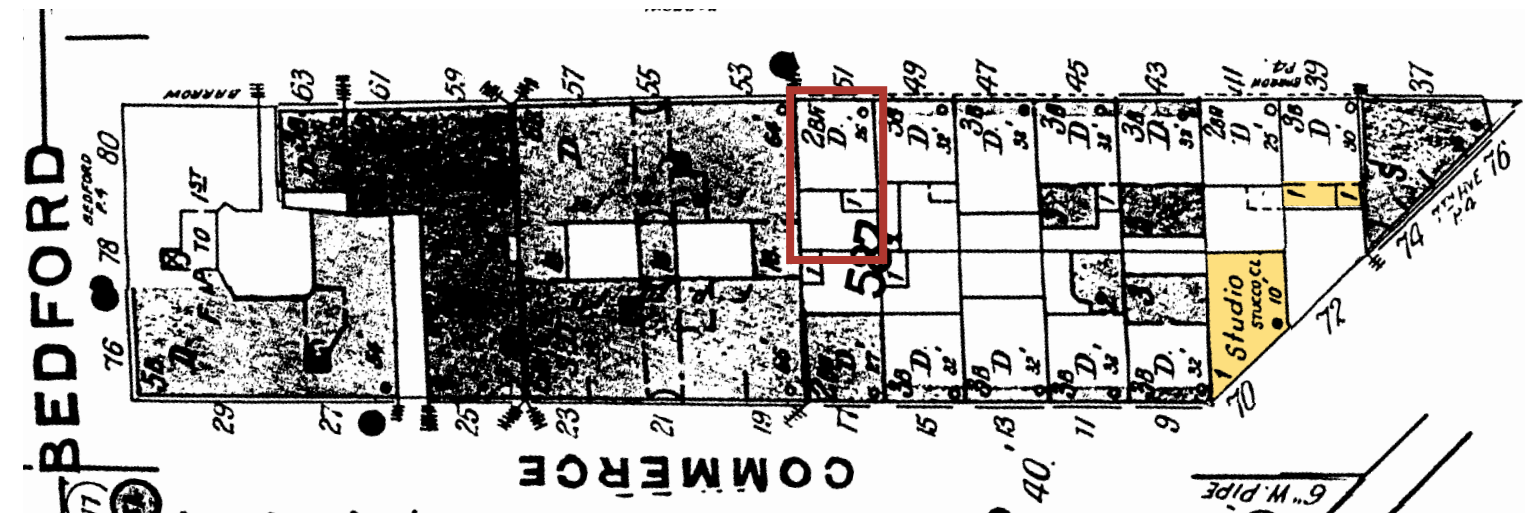
1854 Hope-Perris



1921 Sanborn

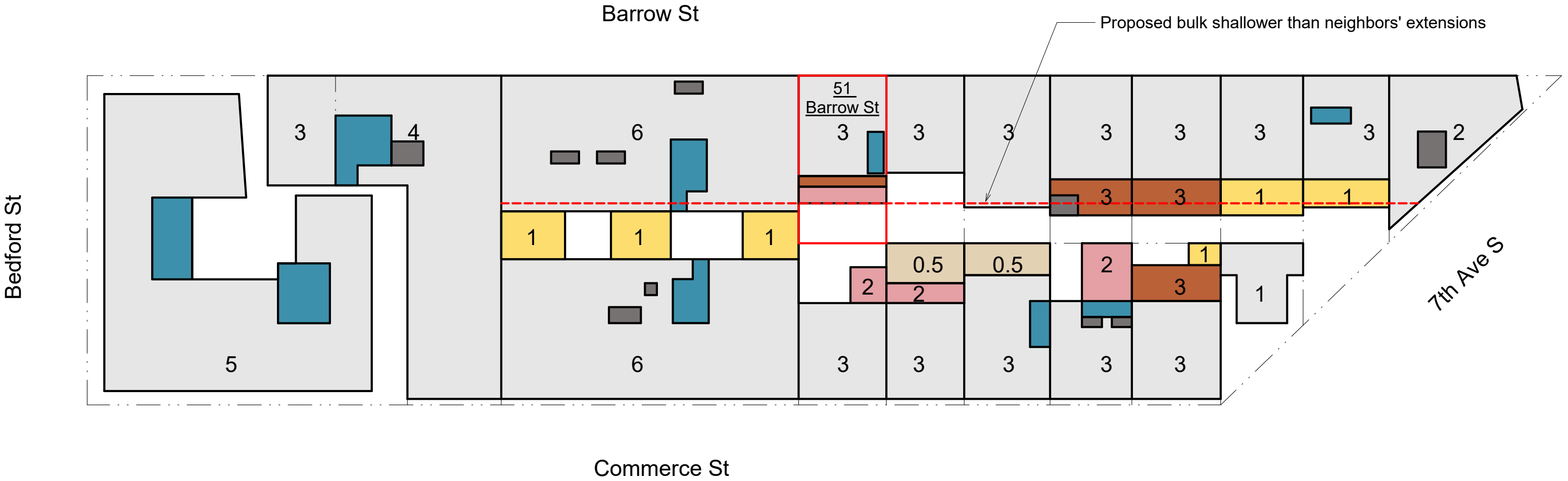


1895 Sanborn



1951 Sanborn

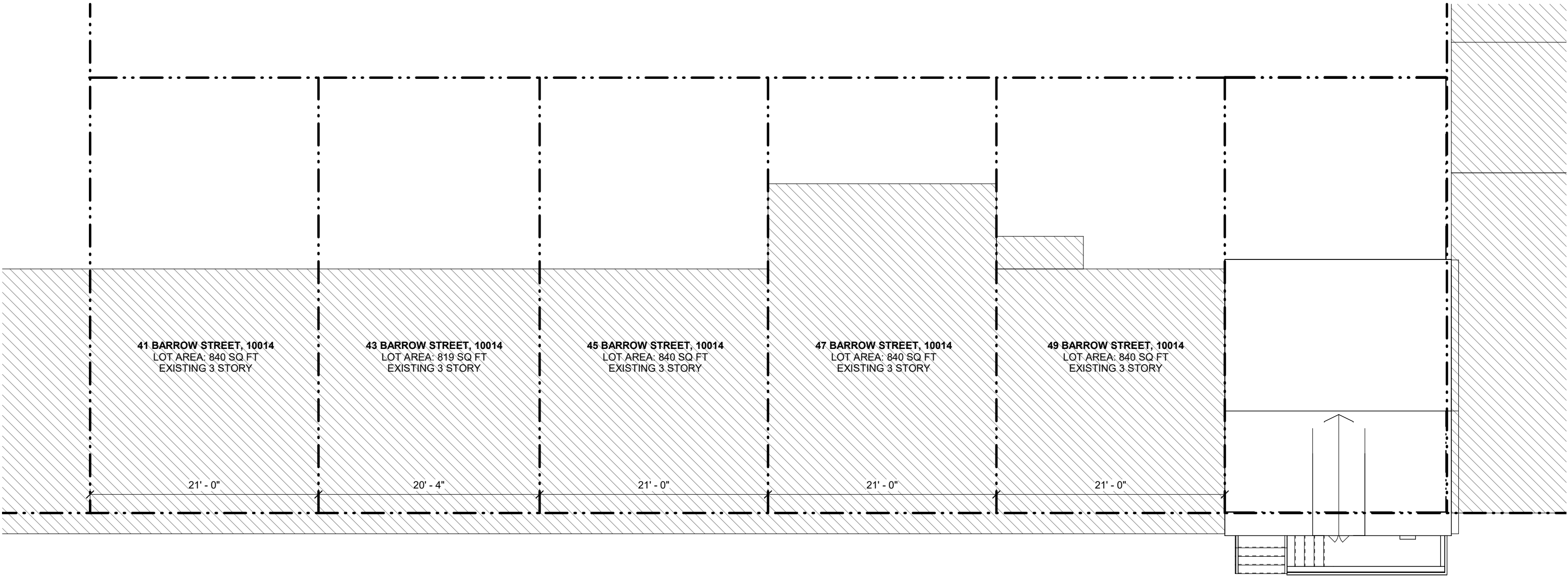
Proposed Block Plan



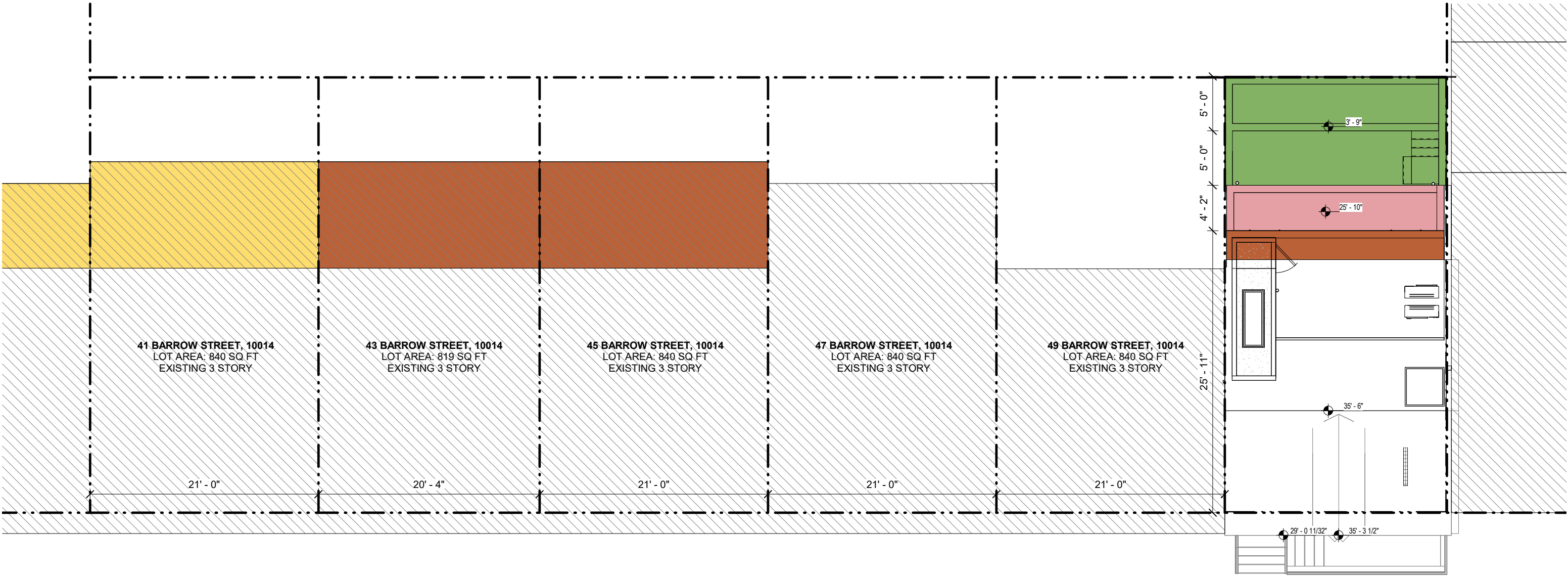
Legend

- Addition - Half Story
- Addition - 1 Story
- Addition - 2 Stories
- Addition - 3 Stories
- Bulkhead
- Mechanical Equipment

Context Plan - 1854



Context Plan - Current Proposed



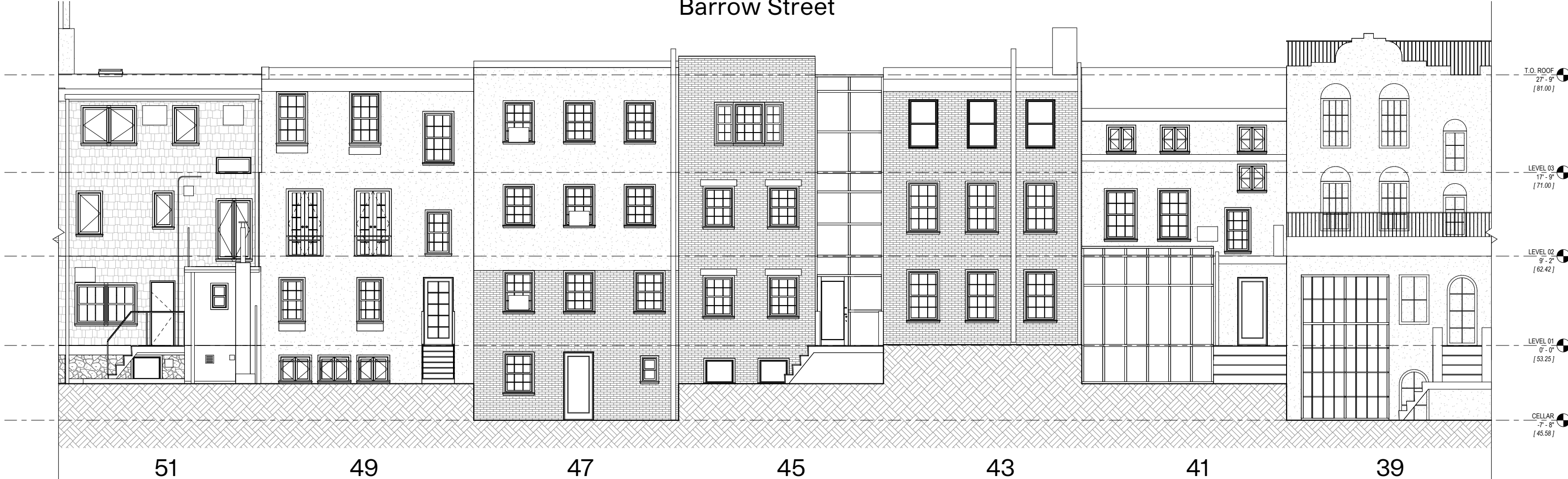
- Addition - 1 Story
- Addition - 3 Stories
- Rear Yard

Photos of Rear Facade of Adjoining Row



Adjacent Buildings

Barrow Street



51

49

47

45

43

41

39



Rears of Buildings Facing Commerce Street



Interior Block Photos



Block Center looking East



Block Center - Aerial

Interior Block Photos

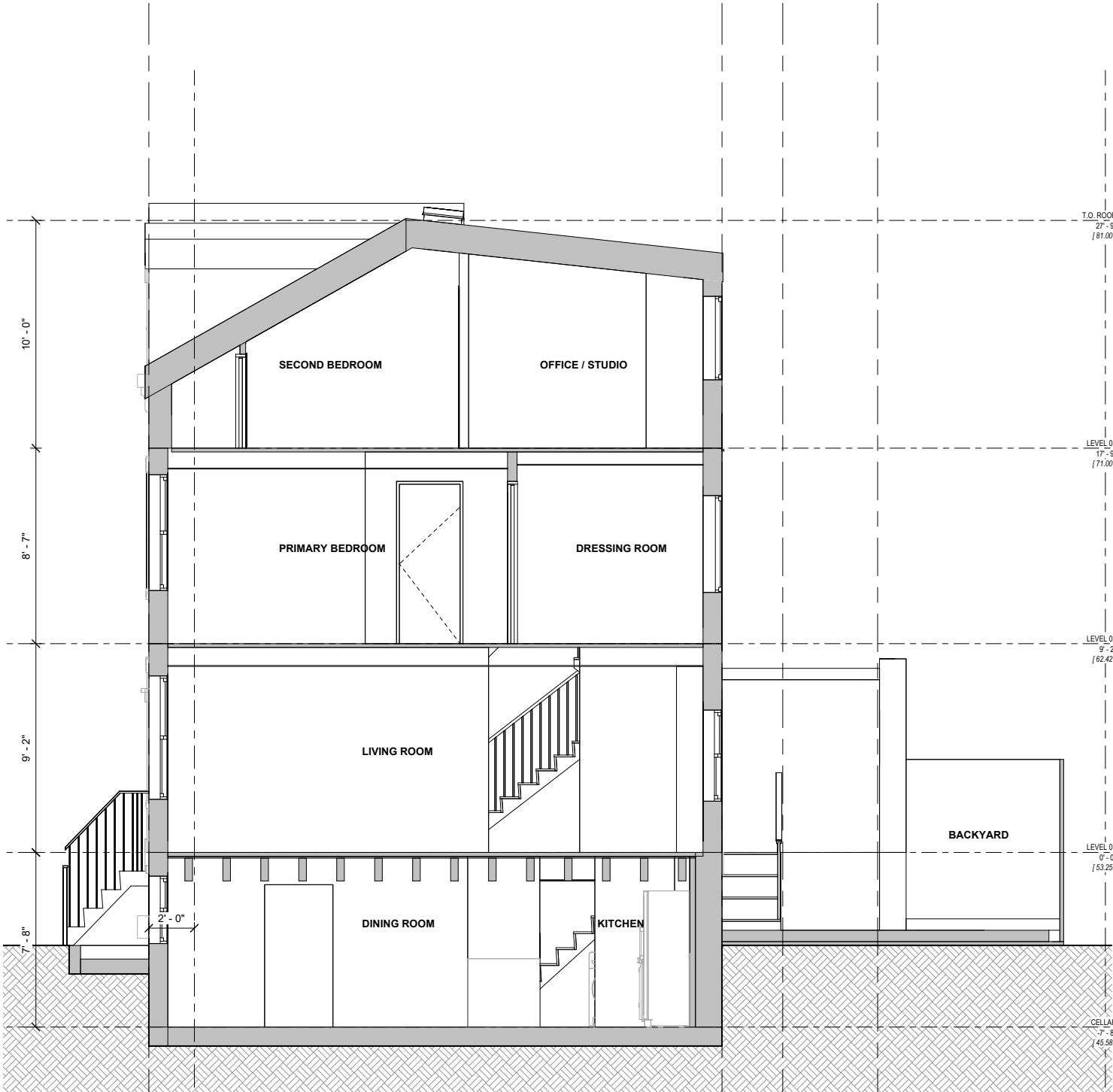


Buildings Opposite

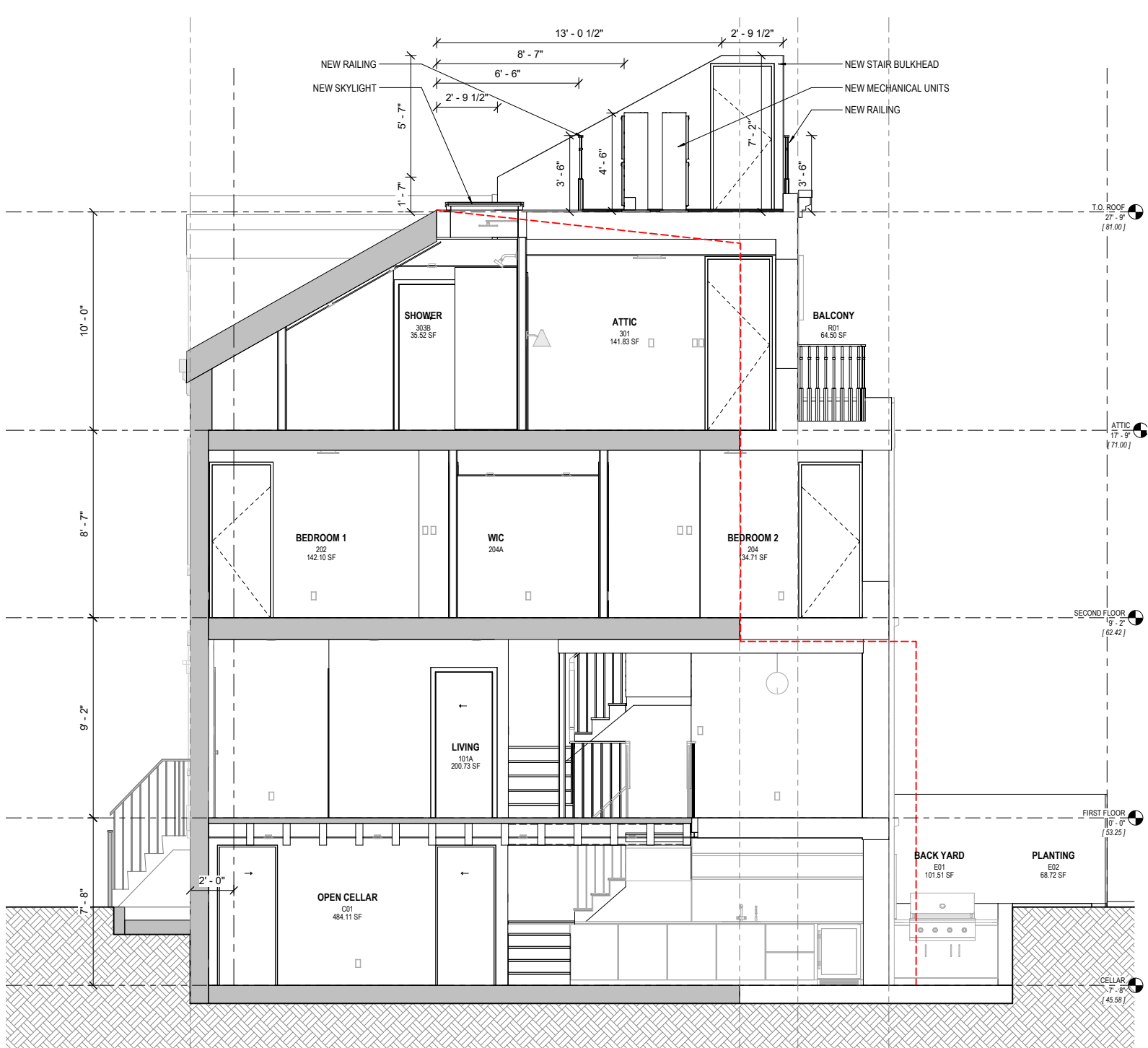


Roof Decks in the Block Center

Existing & Proposed Building Sections

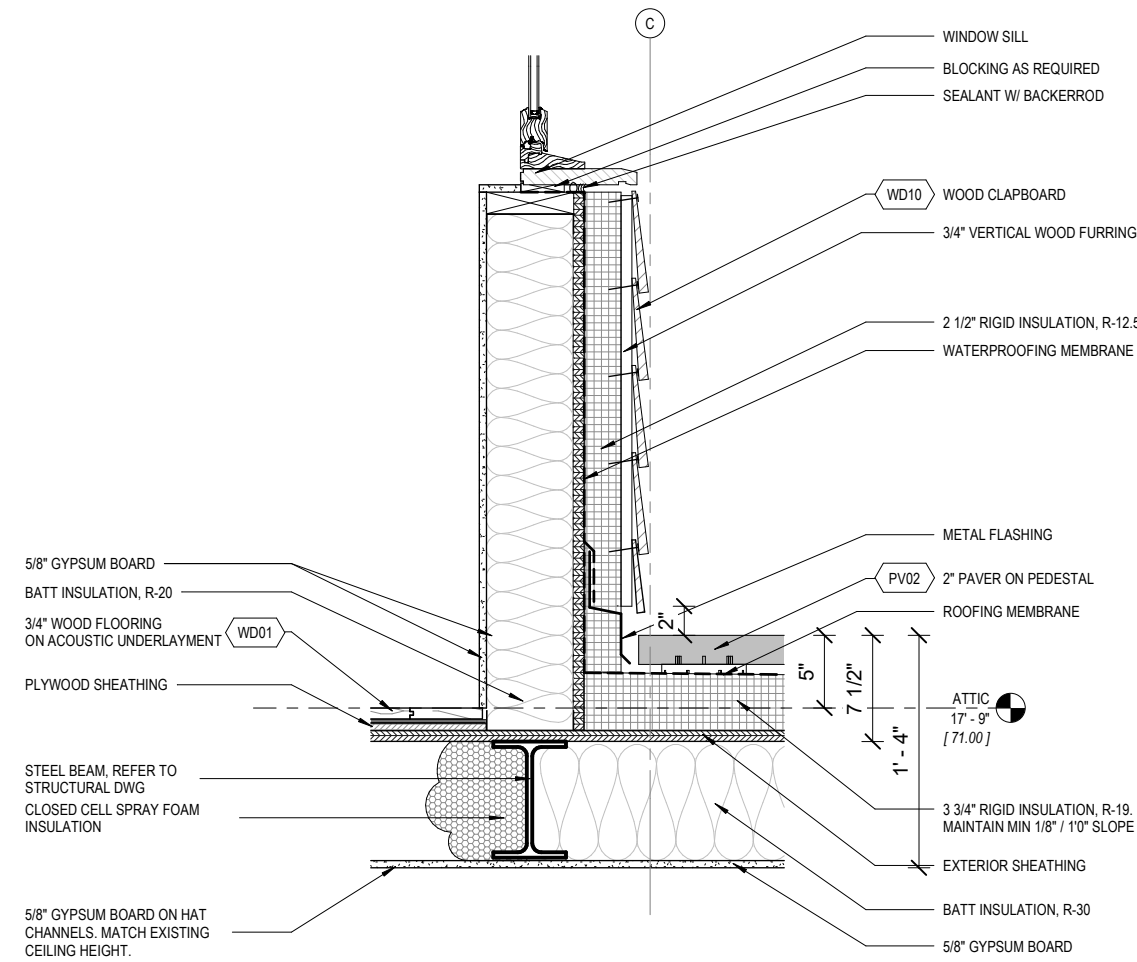


Existing Building Section

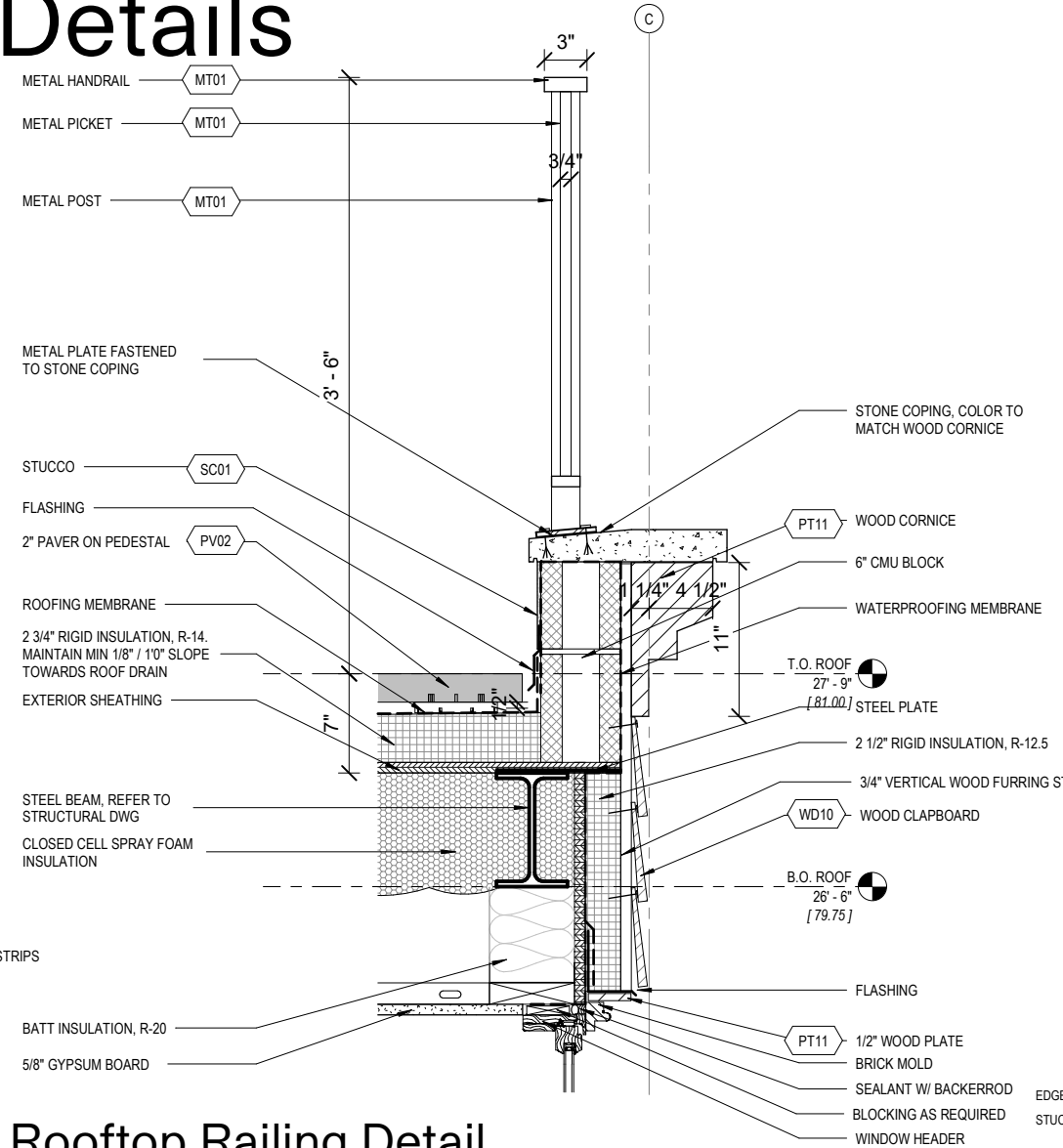


Proposed Building Section

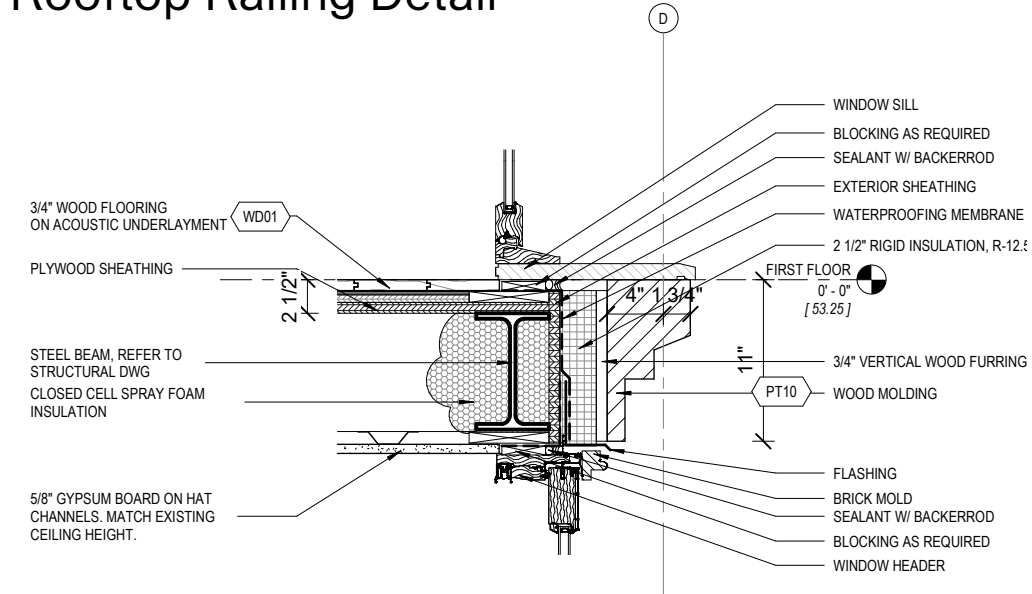
Proposed Rear Addition Details



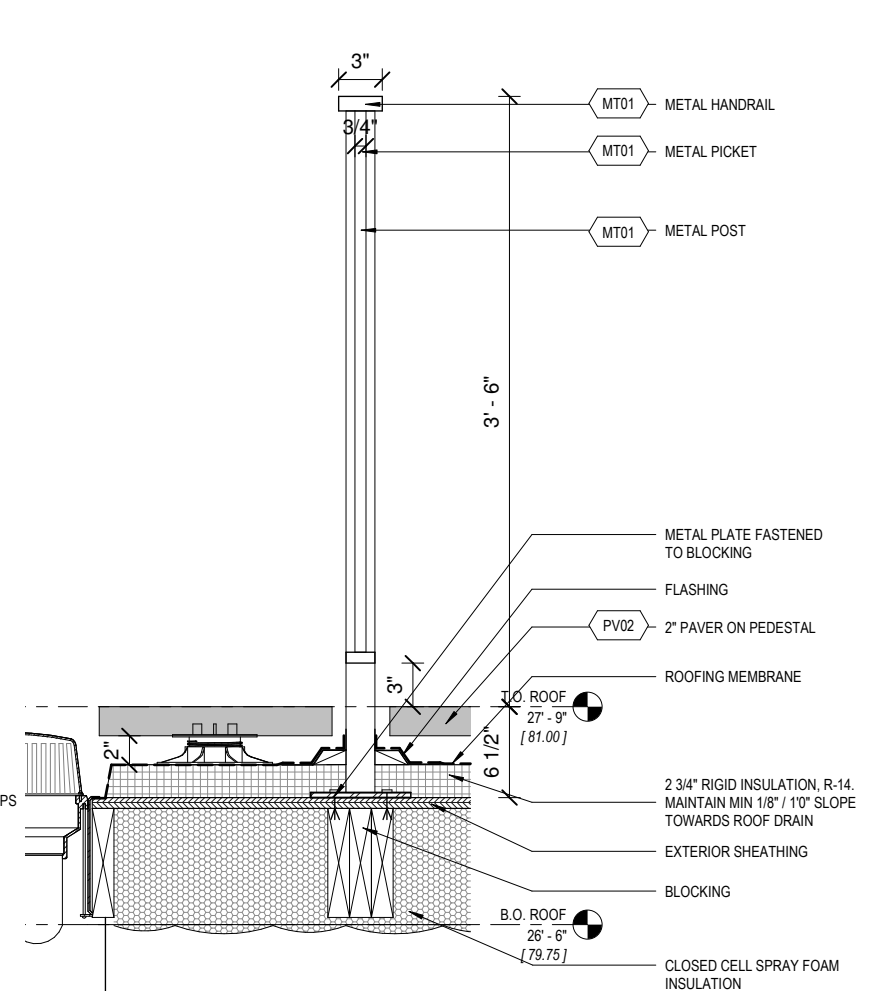
Proposed 3rd Floor Detail



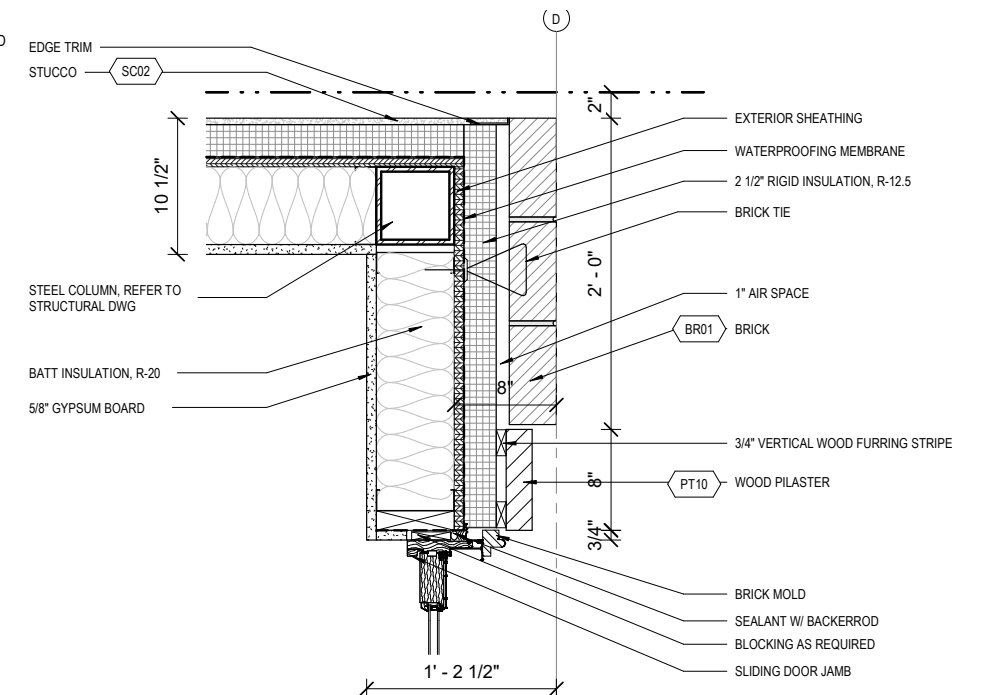
Rooftop Railing Detail



Wood Molding Detail

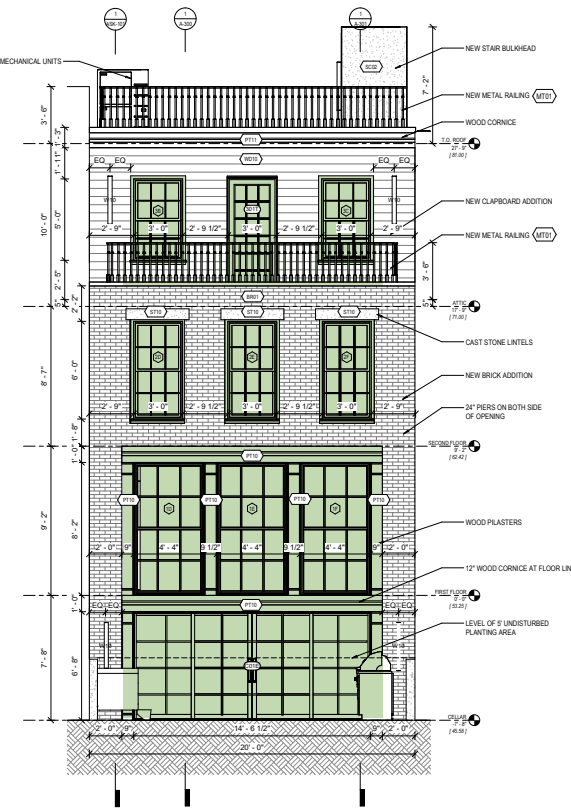


Rooftop Railing Detail



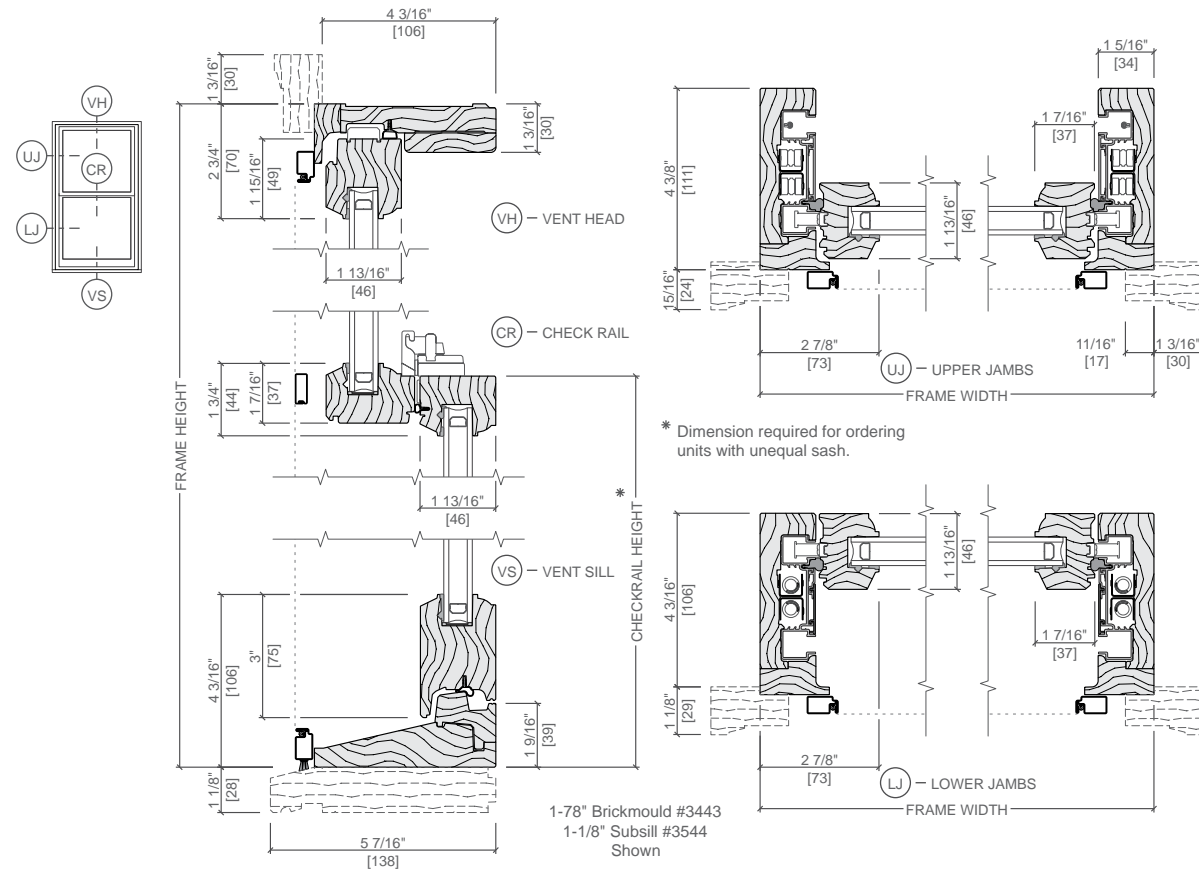
Brick Wall Opening Detail

Proposed Rear Addition Window Details

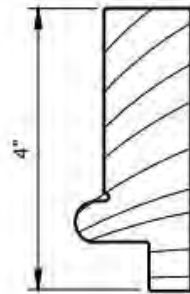


Pella® Reserve™ Traditional Hung Window

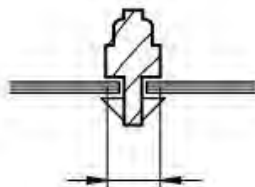
Unit Sections - Wood Exterior Putty Glaze Exterior Profile



Federal Style Brick Molds

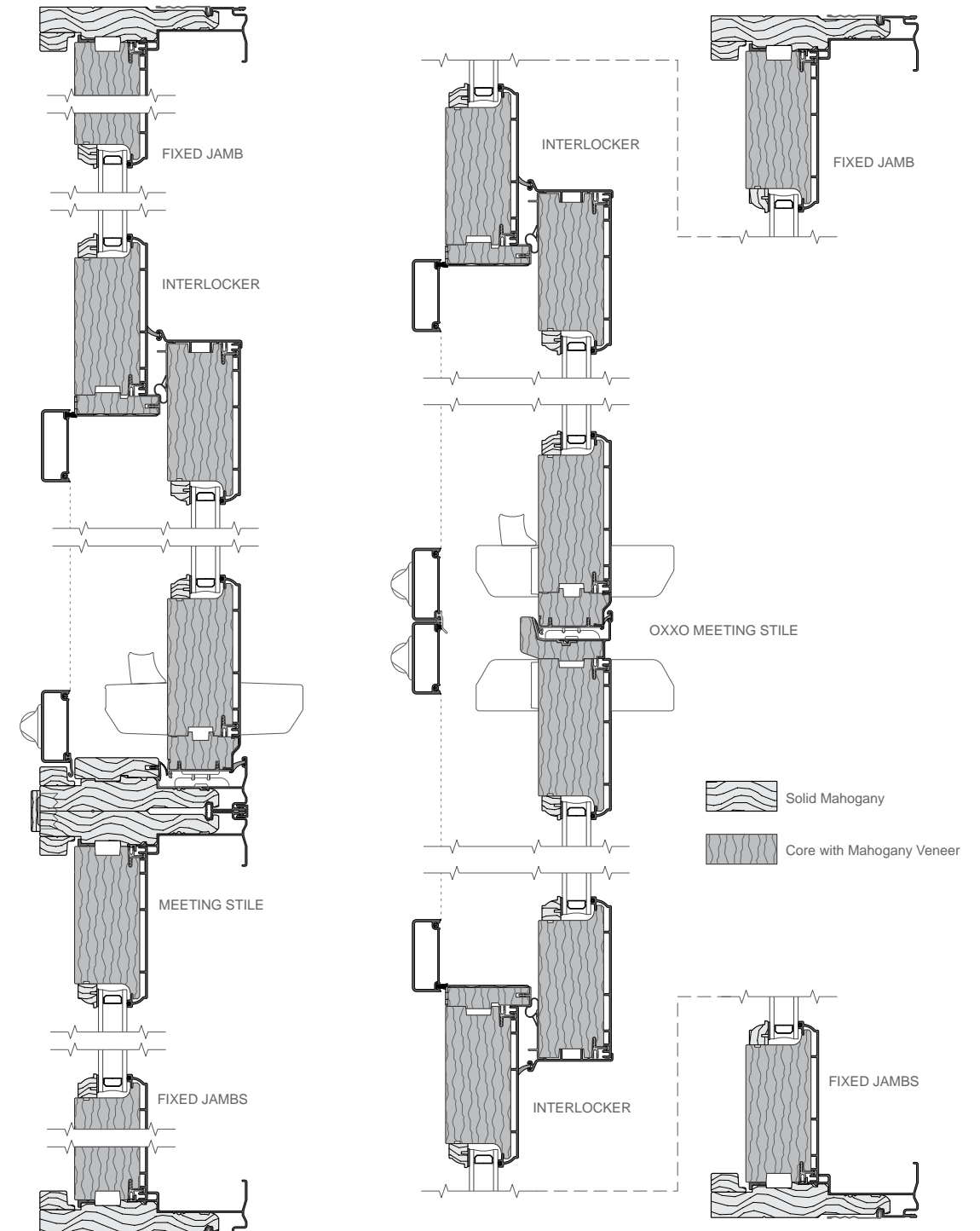


Muntins



Pella® Reserve™ Traditional Sliding Patio Door

Unit Sections Aluminum-Clad Exterior - Wood Collection



Proposed Top Floor Rear Facade Elevation



Top Floor Facade Elevation

Proposed Rear Facade Rendering



Tradition of Tea Porches in the District



50 CHARLES STREET
REAR TEA PORCH IN 1916, VIEWED FROM SEVENTH AVENUE

18 COMMERCE STREET
REAR TEA PORCH IN 1914 (ABOVE) AND IN 2023 (BELOW) WITH 1920 COLONIAL REVIVAL ALTERATION

58 MORTON STREET
RECONSTRUCTED TEA PORCH

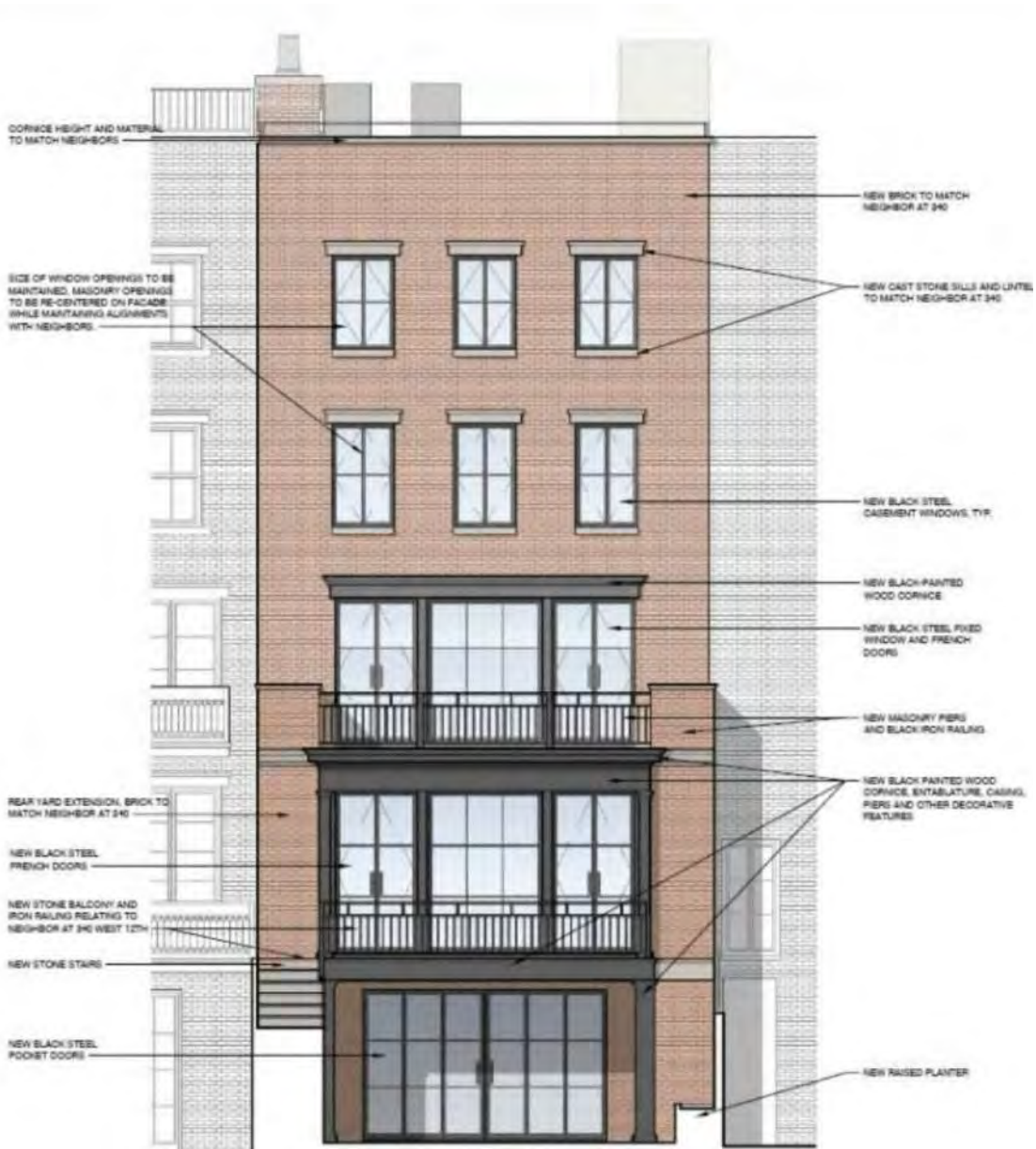
LPC-Approved Rear Additions



27 EAST 11TH STREET
ADDITION WITH WOOD CLADDING, APPROVED IN 2013



25 EAST 11TH STREET
ADDITION WITH BOWED 2-STORY WOOD CLAD PROJECTING BAY,
APPROVED IN 2022



338 WEST 12TH STREET
TEA PORCH INSPIRED REAR ADDITION, APPROVED IN 2023

LPC Approvals in the District

9 St. Lukes Place

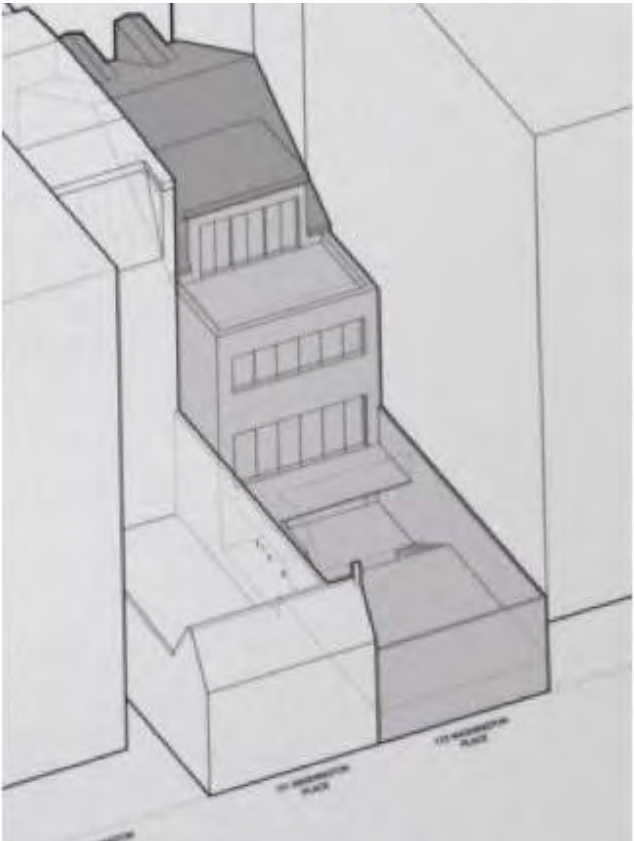


EXISTING REAR FACADE



PROPOSED REAR FACADE

123 Washington Place



Conclusion



Proposed Front Elevation



Proposed Rear Elevation

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Appendix

Survey

LEGEND

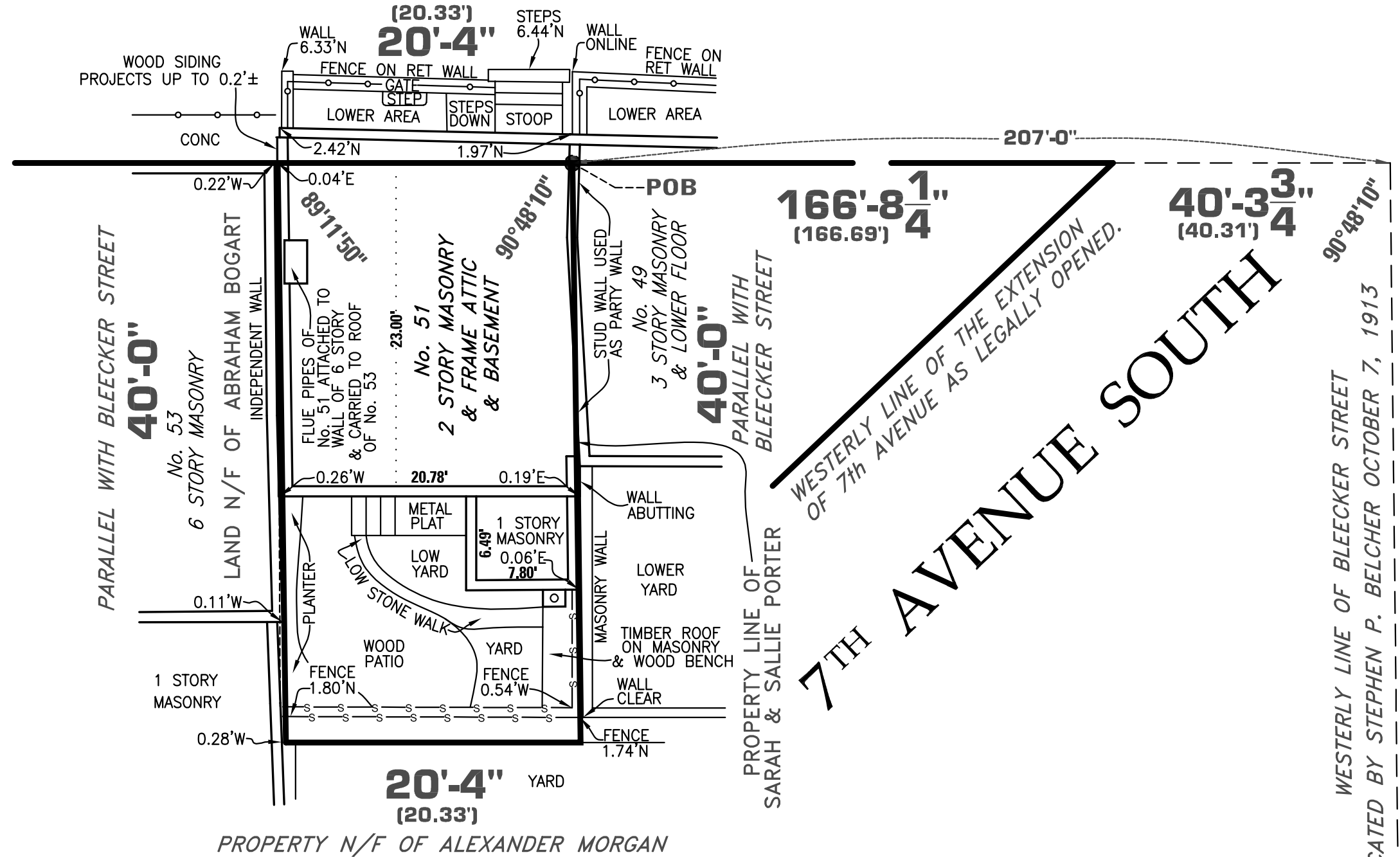
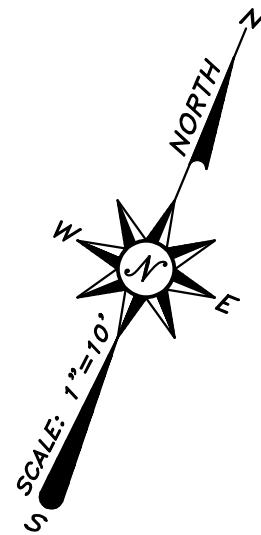
CONC.....	CONCRETE
—○—○—	IRON FENCE
—s—s—	STOCKADE FENCE
————	PROPERTY LINE
POB	POINT OF BEGINNING

BARROW

STREET

PROJECTIONS BEYOND FRONT WALL

EAVE & GUTTER.....	0.9'±
MASONRY TRIM UP TO...	0.3'±
LIGHTS.....	0.6'±



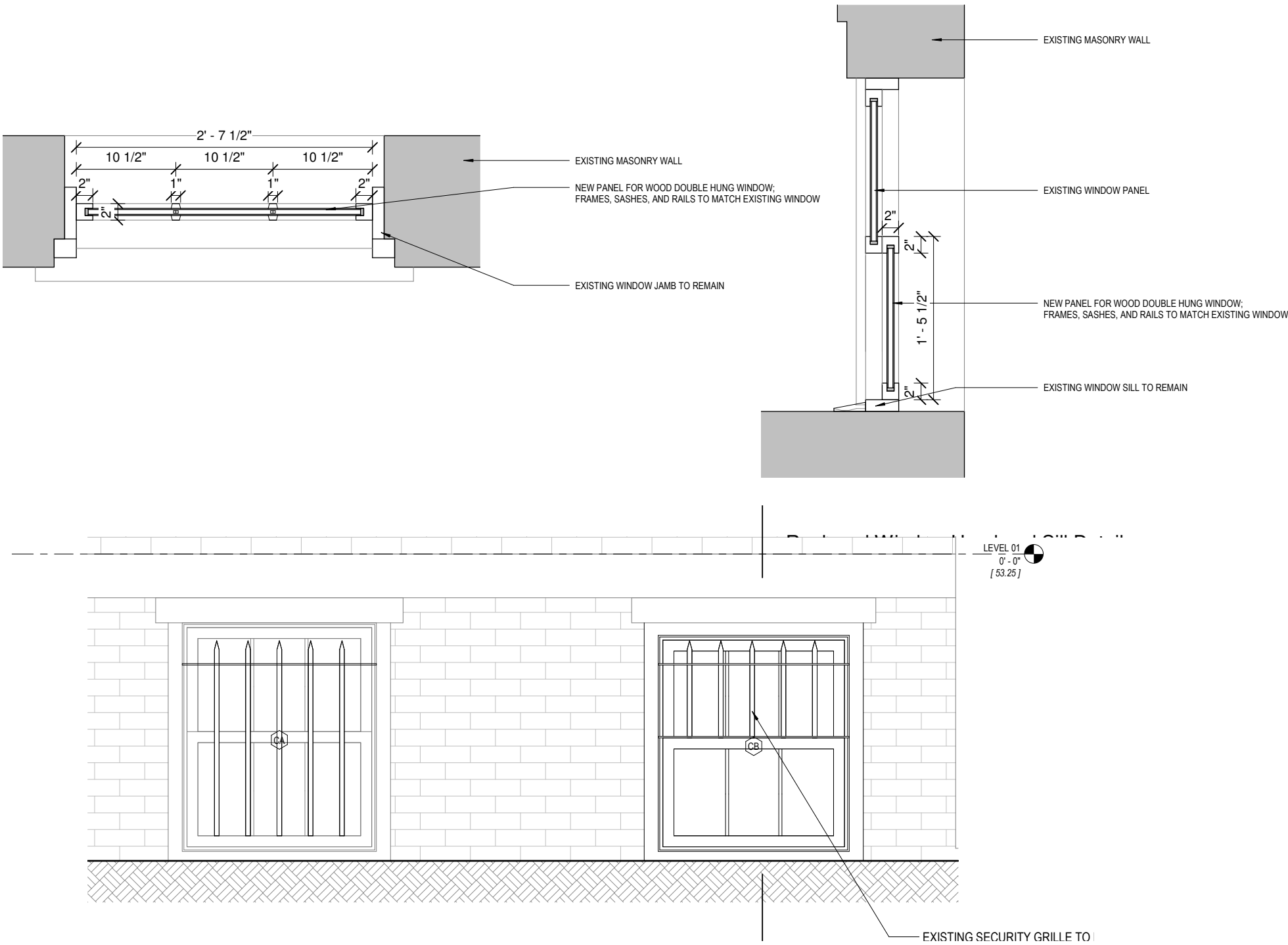
Historic Tax Photos



1939-1941 tax photo of the building, taken from Barrow St.

1983-1988 tax photo of the building, taken from Barrow St.

Replacement of Window Pane



HVAC Equipment

Date: _____ PO No.: _____

Architect: _____ GC: _____

Engr: _____ Mech: _____

Rep: _____ (Company) (Project Manager)

File Resubmit

Approval Other



ARUM048GSS5
Multi V™ S with LGRED° Outdoor Unit
4.0 Ton Heat Pump and Heat Recovery

Performance:

Cooling Mode:

Rated Capacity (Btu/h)	48,000
Power Input (kW)	3.55

Heating Mode:

Rated Capacity (Btu/h)	54,000
Power Input (kW)	3.75

Rated Capacity is based on the following conditions:

Cooling	Heating
Indoor: 80°F DB / 67°F WB	Indoor: 70°F DB
Outdoor: 95°F DB	Outdoor: 47°F DB / 43°F WB

Electrical:

Power Supply (V/Hz/Ø) ¹	208-230V, 60, 1
MOP (A)	40.0
MCA (A)	24.0
Rated Amps (A)	
Compressor Amps (A)	18.4
Fan (A) x Qty.	0.5 x 2

Piping / Connections:²

Refrigerant Charge (lbs.)	7.7
Piping / Connections for Heat Recovery Operation	
Liquid Line (in., O.D.)	3/8 Braze
Low Pressure Vapor Line (in., O.D.)	3/4 Braze
High Pressure Vapor Line (in., O.D.)	5/8 Braze
Piping / Connections for Heat Pump Operation	
Liquid Line (in., O.D.)	3/8 Braze
Vapor Line (in., O.D.)	5/8 Braze

Compressor:

Type	Hermetically Sealed Scroll
Quantity	1
Oil / Type	PVE / FVC68D

- Standard Features:**
- Night Quiet Operation
 - Fault Detection and Diagnosis
 - Smart Load Control
 - Smart Oil Management
 - Drain Pan Heater Built In

- Optional Accessories:**
- Low Ambient Baffle Kit - ZLABGP04A (2 required)³



SB_MultiV_S_wLGRED_ARUM048GSS5_2022_12_02_092941
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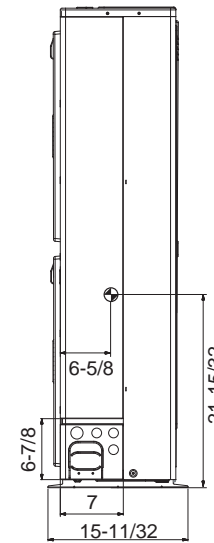
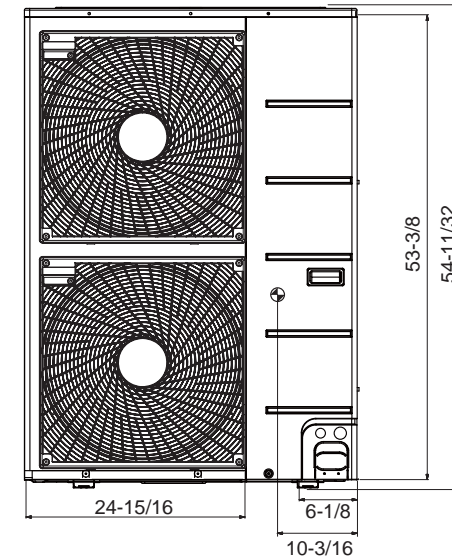
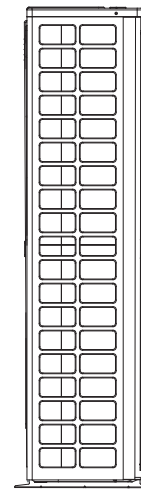
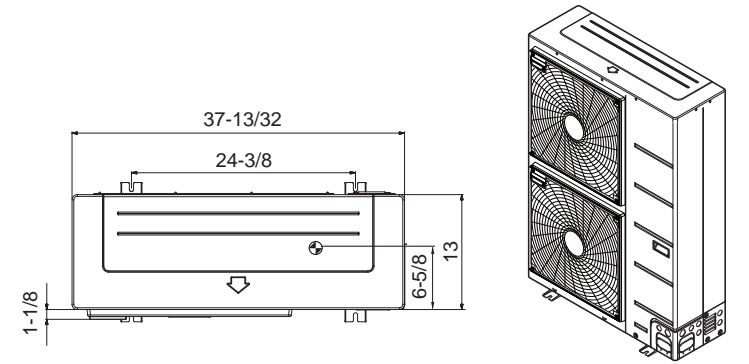
ARUM048GSS5
Multi V™ S with LGRED° Outdoor Unit
4.0 Ton Heat Pump and Heat Recovery



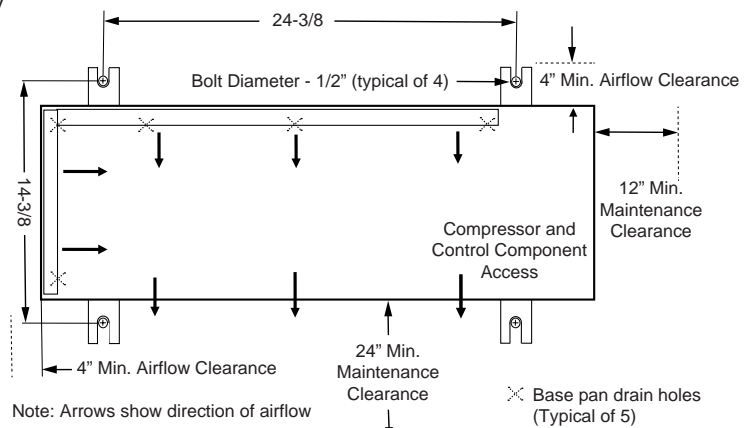
Tag No.: _____

Date: _____

PO No.: _____



Unit: inch
⊙ Center of Gravity



LG Condensing Unit

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