

August 13, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 6, LPC-24-12001

**785 Fifth Avenue – Upper East Side Historic District
Borough of Manhattan**

To testify virtually, please join Zoom

Webinar ID: 854 0834 7928

Passcode: 643937

By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

888-475-4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

APARTMENT RENOVATION

785 FIFTH AVENUE, 18TH 'MARKETING' FLOOR, UNIT 18
NEW YORK, NY 10022

LANDMARKS PRESERVATION COMMISSION HEARING
JUNE 26, 2024
DOCKET #: LPC-24-

ARCHITECT:

SAWYER | BERSON
ARCHITECTURE & LANDSCAPE
235 PARK AVE SOUTH, 11th FL
NEW YORK, NY 10003
TEL: (212) 244-3055
FAX: (212) 244-3030

STRUCTURAL ENGINEER:

SILMAN ENGINEERING
32 OLD SLIP 10TH FL
NEW YORK, NY 10005
TEL: (212) 620-7970

MEP ENGINEER:

POLISE CE
133 WEST 19TH STREET
NEW YORK, NY 10011
TEL: (212) 645-1002

GENERAL CONTRACTOR:

REIS CONTRACTING
286 MADISON AVENUE
NEW YORK, NY 10017
TEL: (646) 918-7015

LIGHTING DESIGN:

L DESIGN STUDIO
54 W40TH STREET
NEW YORK, NY 10018
TEL: (212) 686-5400

AUDIO VISUAL:

AVS
1 LABRIOLA COURT
ARMONK, NY 10504
TEL: (914) 219-5520

ACOUSTIC CONSULTANT:

WSDG
110 EAST 25TH STREET
NEW YORK, NY 10010
TEL: (845) 691-9300

SECURITY CONSULTANT:

INTELLI-TEC
150 EILEEN WAY UNIT 2
SYOSSET, NY 11791
TEL: (800) 981-7233

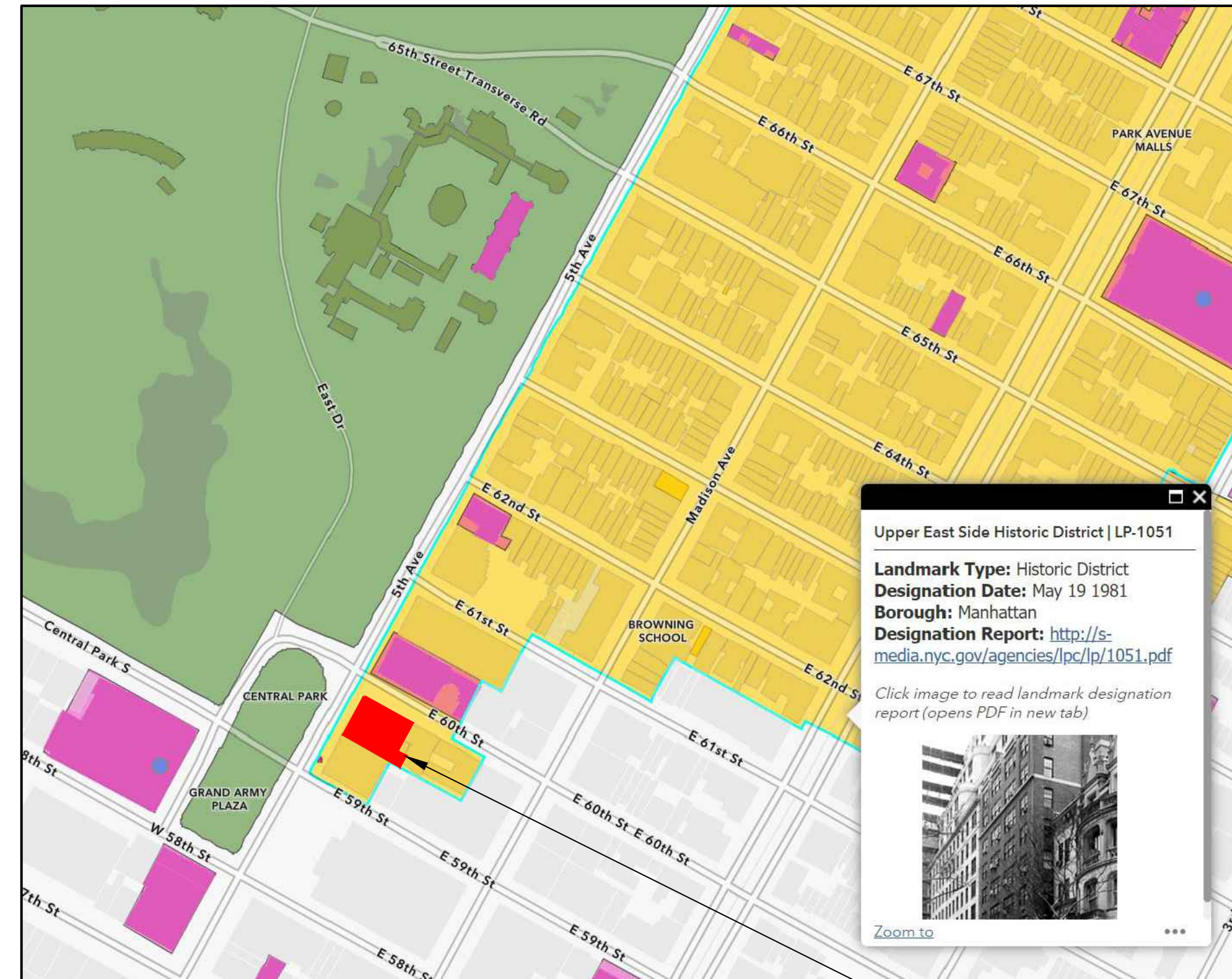
INTERIOR DESIGNER:

CLEMENTS DESIGN
717 N. HIGHLAND AVENUE #3
LOS ANGELES, CA 90038
TEL: (310) 247-9350

WALDO DESIGNS
620 NORTH ALMONT DRIVE
LOS ANGELES, CA 90069
TEL: (310) 278-1803

LOCATION INFORMATION:

ADDRESS: 785
FIFTH AVENUE
TAX BLOCK: 1374
TAX LOT: G9
ZONING MAP: 8C
ZONING DISTRICT: R10H
ZONING OVERLAY: N/A
LOT AREA: 13,229 SQ. FT.
BIN: 1040765
LPC STATUS: UPPER EAST SIDE HISTORIC DISTRICT, LP-1051
OCCUPANCY CLASS: R-2
SPECIAL DISTRICT: N/A
CONSTRUCTION CLASS: I FIREPROOF STRUCTURE
NUMBER OF STORIES: 18
BUILDING HEIGHT: 161 FT
NUMBER OF DWELLINGS: 65
C OF O: 122387390T001



SOURCE: DISCOVER NYC LANDMARKS MAP, GIS, ACCESSED 04 MARCH 2024.

1 UPPER EAST SIDE HISTORIC DISTRICT MAP
LPC-01 NOT TO SCALE

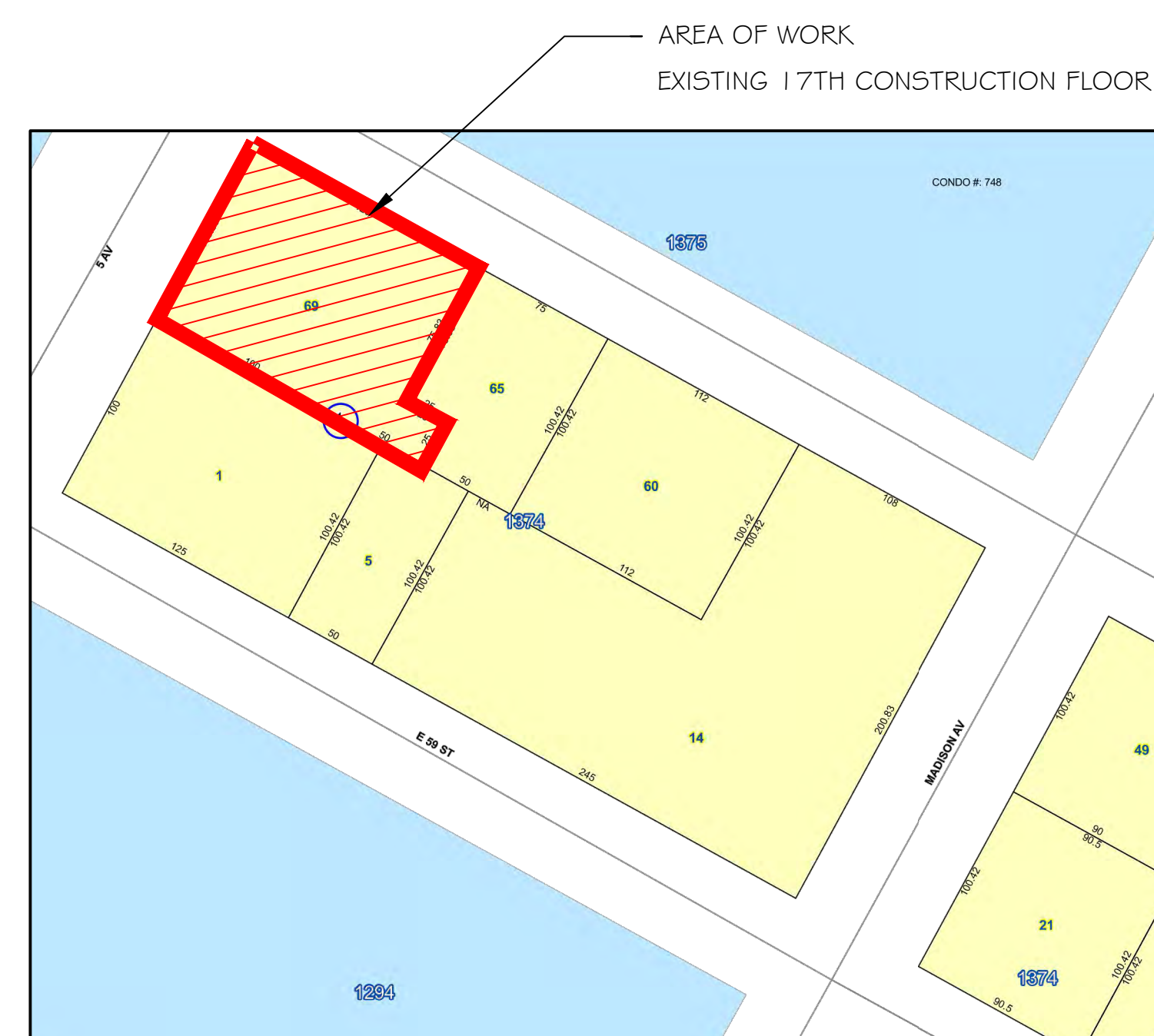


SOURCE: NYC DEPT. OF FINANCE PROPERTY INFORMATION PORTAL, ACCESSED 04 MARCH 2024.

2 UPPER EAST SIDE HISTORIC DISTRICT MAP
LPC-01 NOT TO SCALE

SCOPE OF WORK:

- REMOVAL OF EXISTING COPING CAP AND INNER PARAPET FACING AT ALL 17TH CONSTRUCTION/18TH MARKETING FLOOR TERRACES.
- PROPOSED REDUCTION OF PARAPET HEIGHT BY 4 BRICK COURSES TO INSTALL NEW TALLER GUARDRAIL STRUCTURE.
- PROPOSED INSTALLATION OF NEW GLASS AND STEEL GUARDRAILS AND PARAPET COPING CAP AT ALL 17TH CONSTRUCTION/18TH MARKETING FLOOR TERRACES; NEW GUARDRAIL DESIGN TO MATCH THAT PRIOR APPROVED (CNE-24-07670 & CNE-24-07671)



3 SITE LOCATION MAP
LPC-01 NOT TO SCALE



4 1980 TAX PHOTO - FIFTH AVENUE
LPC-01 NOT TO SCALE



5 STREET VIEW (2023) - FIFTH AVENUE
LPC-01 NOT TO SCALE

DRAWING LIST:

- LPC-01 COVER PAGE
 - LPC-02 SITE PLAN & EXISTING CONDITION PHOTOS
 - LPC-04 17TH CONSTRUCTION FLOOR EXISTING AND PROPOSED PLANS
 - LPC-05 EXISTING & PROPOSED WEST EXTERIOR ELEVATIONS
 - LPC-06 EXISTING & PROPOSED WEST EXTERIOR ELEVATION PHOTO-MONTAGES
 - LPC-07 ENLARGED EXISTING & PROPOSED WEST EXTERIOR ELEVATIONS AND PHOTO-MONTAGES
 - LPC-08 EXISTING & PROPOSED NORTH EXTERIOR ELEVATIONS
 - LPC-09 EXISTING & PROPOSED NORTH EXTERIOR ELEVATION PHOTO-MONTAGES
 - LPC-10 ENLARGED EXISTING & PROPOSED NORTH EXTERIOR ELEVATIONS AND PHOTO-MONTAGES
 - LPC-11 EXISTING & PROPOSED EAST EXTERIOR ELEVATIONS
 - LPC-12 EXISTING & PROPOSED EAST EXTERIOR ELEVATION PHOTO-MONTAGES
 - LPC-13 ENLARGED EXISTING & PROPOSED EAST EXTERIOR ELEVATIONS AND PHOTO-MONTAGES
 - LPC-14a DETAILED PARAPET AND GUARDRAIL COMPARISON
 - LPC-14b EXISTING & PROPOSED GUARDRAIL DETAILS
- APPENDIX:
- LPC-03 DESIGNATION REPORT EXCERPTS
 - LPC-14 EXISTING & PROPOSED TYPICAL TERRACE AND GUARDRAIL ELEVATIONS & SECTIONS
 - LPC-15 PROPOSED PARAPET & GUARDRAIL DETAILS

INDIRECTLY ASSOCIATED PENTHOUSE (18TH & 19TH CONSTRUCTION FLOORS) DOCKET NUMBERS:

NOC 19-41088 (LPC-19-41088), ISSUED 7/1/2020 FINAL SIGN OFF FOR INITIAL COA 15-8927 (LPC-15-8995), ISSUED 7/10/2014

ASSOCIATED 17TH CONSTRUCTION FLOOR DOCKET NUMBERS:

- LPC-22-11768 INTERIOR ALTERATION (SIGNED OFF); 1ST PAA UNDER NEW LPC-06656; 2ND PAA UNDER NEW LPC-06688
- LPC-22-11769 MECHANICAL & PLUMBING FOR INTERIOR ALTERATION (SIGNED OFF); 2ND PAA UNDER NEW LPC-24-06655
- LPC-23-08126 EXTERIOR SCOPE (SIGNED OFF); 1ST PAA UNDER NEW LPC-24-06657 (REPLACE WINDOWS & ADD DRYER VENT); PER MISC-24-06657, CNE-23-08126 AMENDED
- CNE-24-07671: EXTERIOR SCOPE (REPLACE GUARDRAILS AT NORTH AND WEST TERRACES)
- CNE-24-07670: EXTERIOR SCOPE (REMOVE EXISTING SOLARIUM ASSEMBLY AND RESTORE NORTHEAST TERRACE, RESTORE NORTH FACADE AT NORTHEAST TERRACE WITH NEW MASONRY OPENING AND NEW FENESTRATION UNIT, INSTALL NEW GUARDRAIL ON EXISTING PARAPET AT NORTHEAST TERRACE)

DATE	ISSUE	NO
06.26.2024	ISSUED FOR LPC PUBLIC HEARING	1

06.26.2024 ISSUED FOR LPC PUBLIC HEARING 1

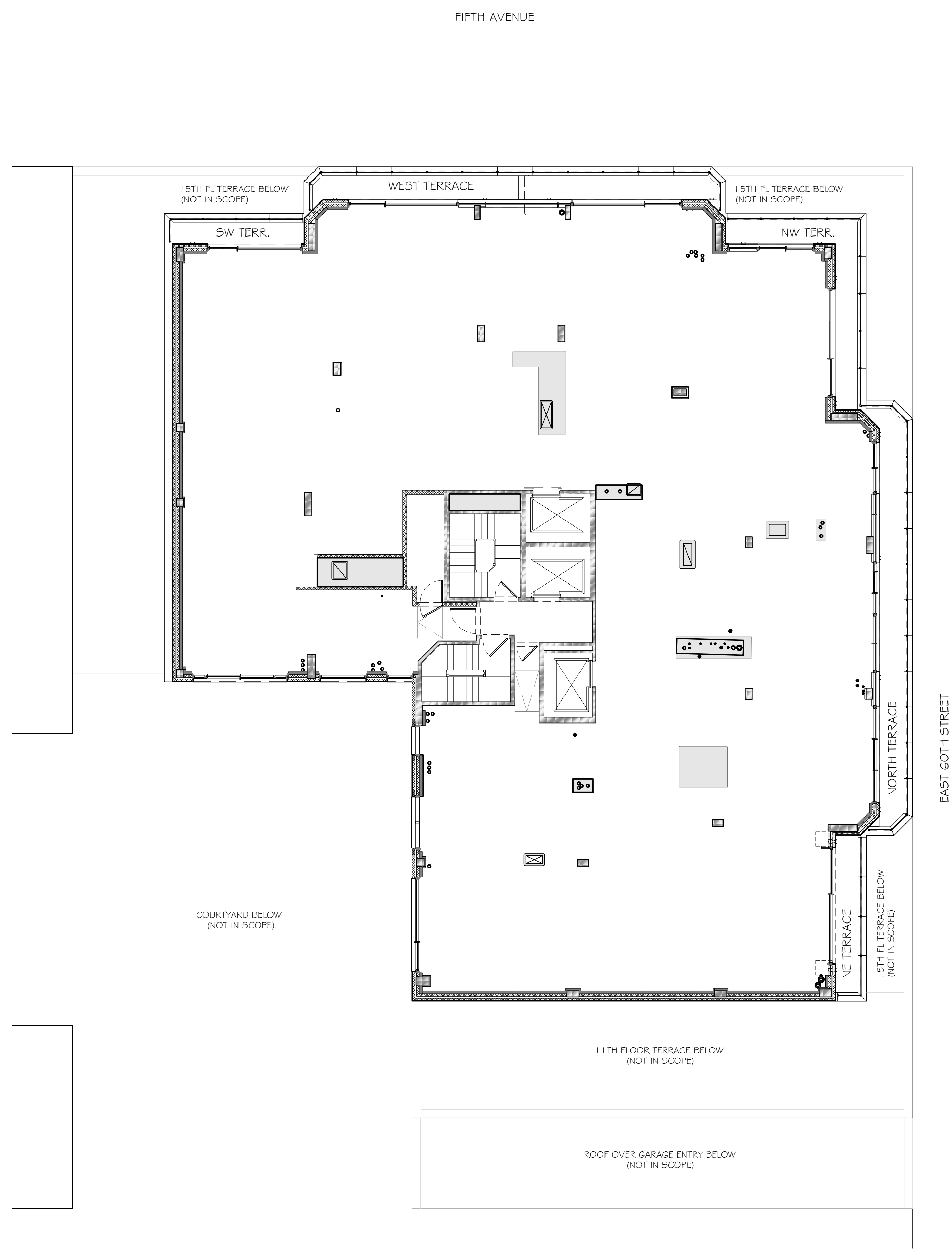
SAWYER | BERSON
ARCHITECTURE & LANDSCAPE
ARCHITECTURE, LLP
235 PARK AVENUE SOUTH, 11TH FLOOR
NEW YORK, NEW YORK 10003
TEL 212.244.3055
SAWYERBERSON.COM

18TH 'MARKETING' FLOOR
17TH 'CONSTRUCTION' FLOOR
785 FIFTH AVENUE
NEW YORK, NY 10022

**LPC PRESENTATION
COVER SHEET**

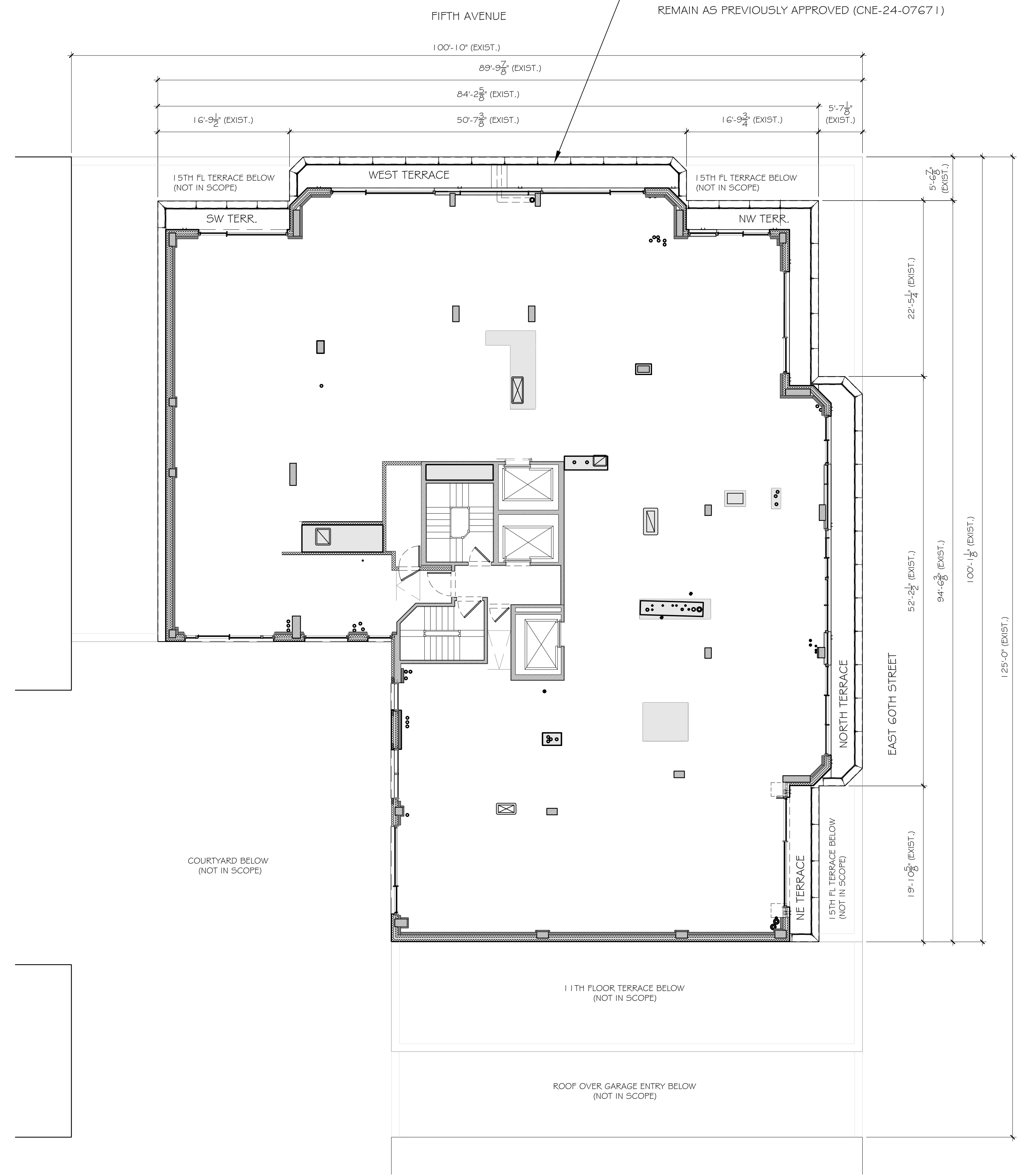
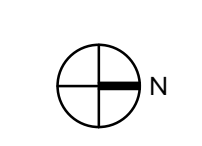
SEAL AND SIGNATURE: PROJECT NO: 2021.014
DRAWING BY: JI
CHECKED BY: KP
SCALE: AS NOTED
SHEET NO:
LPC-01

DATE	ISSUE	NO
06.26.2024	ISSUED FOR LPC PUBLIC HEARING	1



SHOWN WITH NEW APPROVED FENESTRATION UNITS (AMENDED CNE 23-0812G) ; NEW REPLACEMENT GUARDRAIL ON EXISTING HEIGHT PARAPETS (CNE-24-07671); AND RESTORED NORTHEAST TERRACE (CNE-24-07670)

1 PRIORITY-APPROVED PLAN - 17TH CONSTRUCTION FLOOR
LPC-04 SCALE: 1/8" = 1'-0"



2 PROPOSED PLAN - 17TH CONSTRUCTION FLOOR
LPC-04 SCALE: 1/8" = 1'-0"



SAWYER | BERSON
ARCHITECTURE & LANDSCAPE ARCHITECTURE, LLP
235 PARK AVENUE SOUTH, 11TH FLOOR
NEW YORK, NEW YORK 10003
TEL 212.244.3055
SAWYERBERSON.COM

18TH 'MARKETING' FLOOR
17TH 'CONSTRUCTION' FLOOR
785 FIFTH AVENUE
NEW YORK, NY 10022

LPC PRESENTATION
17TH CONSTRUCTION
FLOOR EXISTING AND
PROPOSED PLANS

SEAL AND SIGNATURE: PROJECT NO: 2021.014
DRAWING BY: JI
CHECKED BY: KP
SCALE: AS NOTED
SHEET NO:
LPC-04



1 NORTHWEST VIEW IN 2023
SCALE: NTS



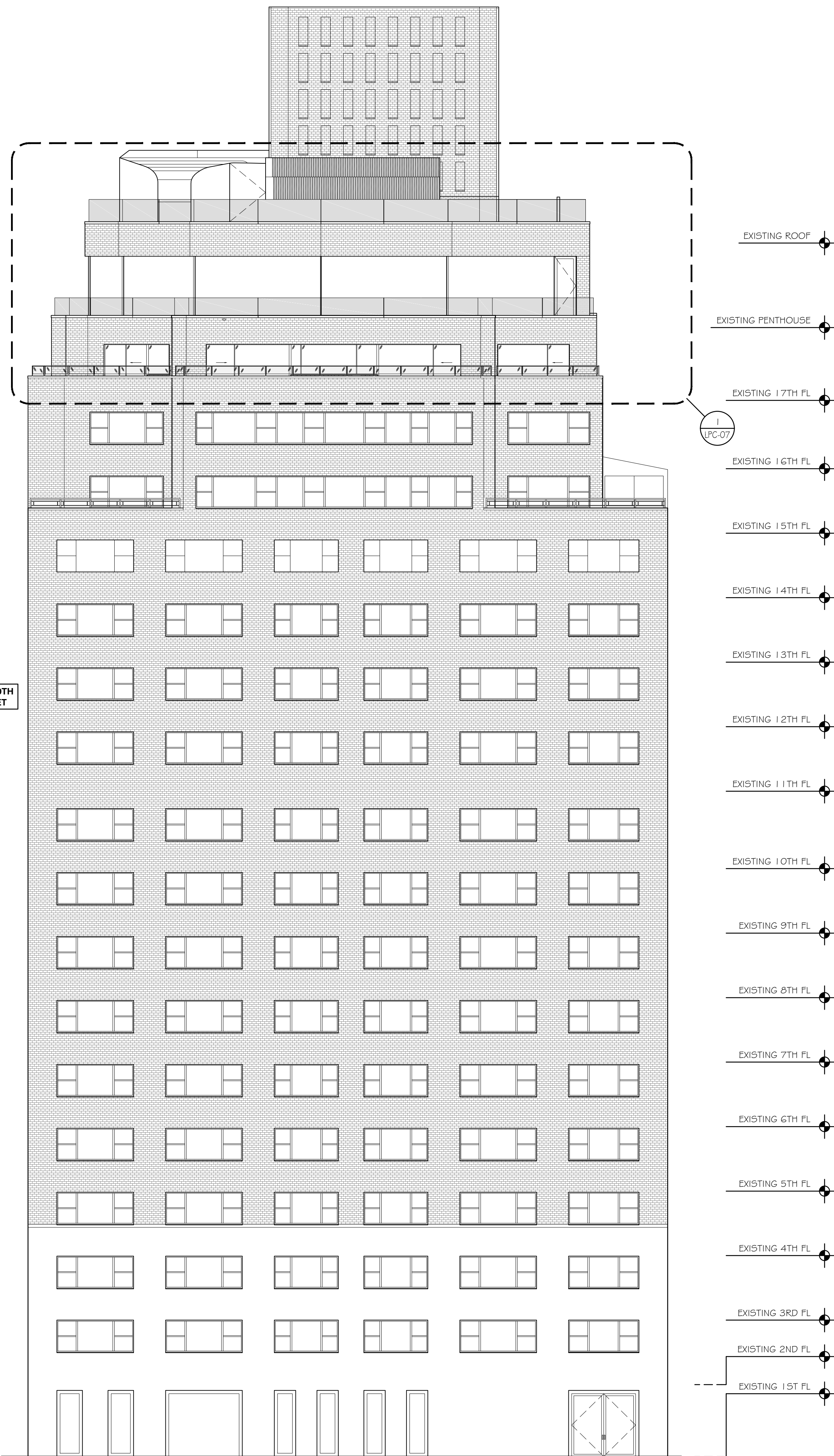
2 WEST VIEW IN 2023
SCALE: NTS



3 SOUTHWEST VIEW IN 2023
SCALE: NTS

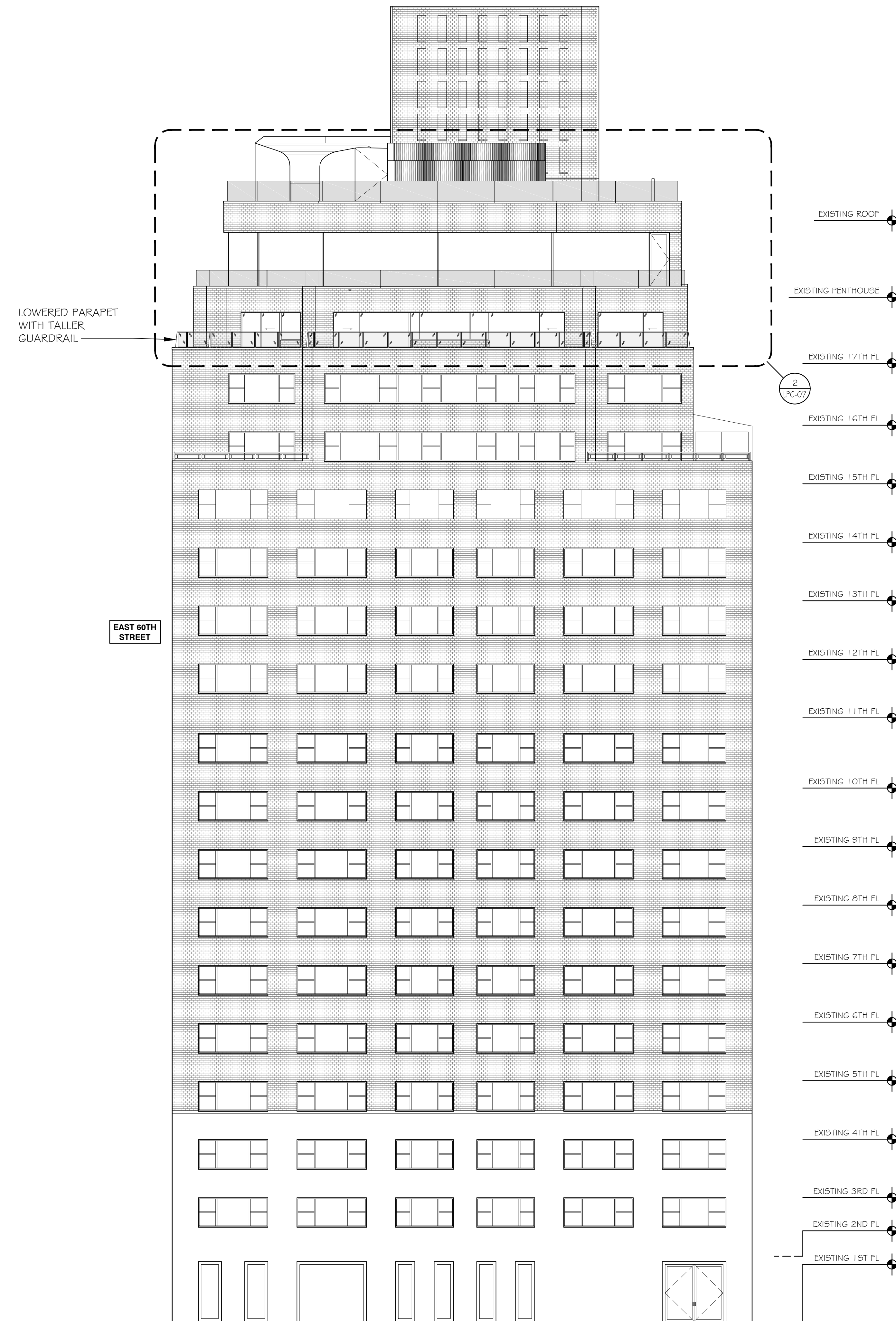


4 SOUTHWEST VIEW IN 2023
SCALE: NTS



SHOWN WITH NEW APPROVED FENESTRATION UNITS (AMENDED CNE 23-08126) AND NEW REPLACEMENT GUARDRAIL ON EXISTING HEIGHT PARAPETS (CNE-24-07671)

5 WEST - PRIOR-APPROVED 17TH CONSTRUCTION FLOOR EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



6 WEST - PROPOSED 17TH CONSTRUCTION FLOOR EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

DATE	ISSUE	NO
06.26.2024	ISSUED FOR LPC PUBLIC HEARING	1

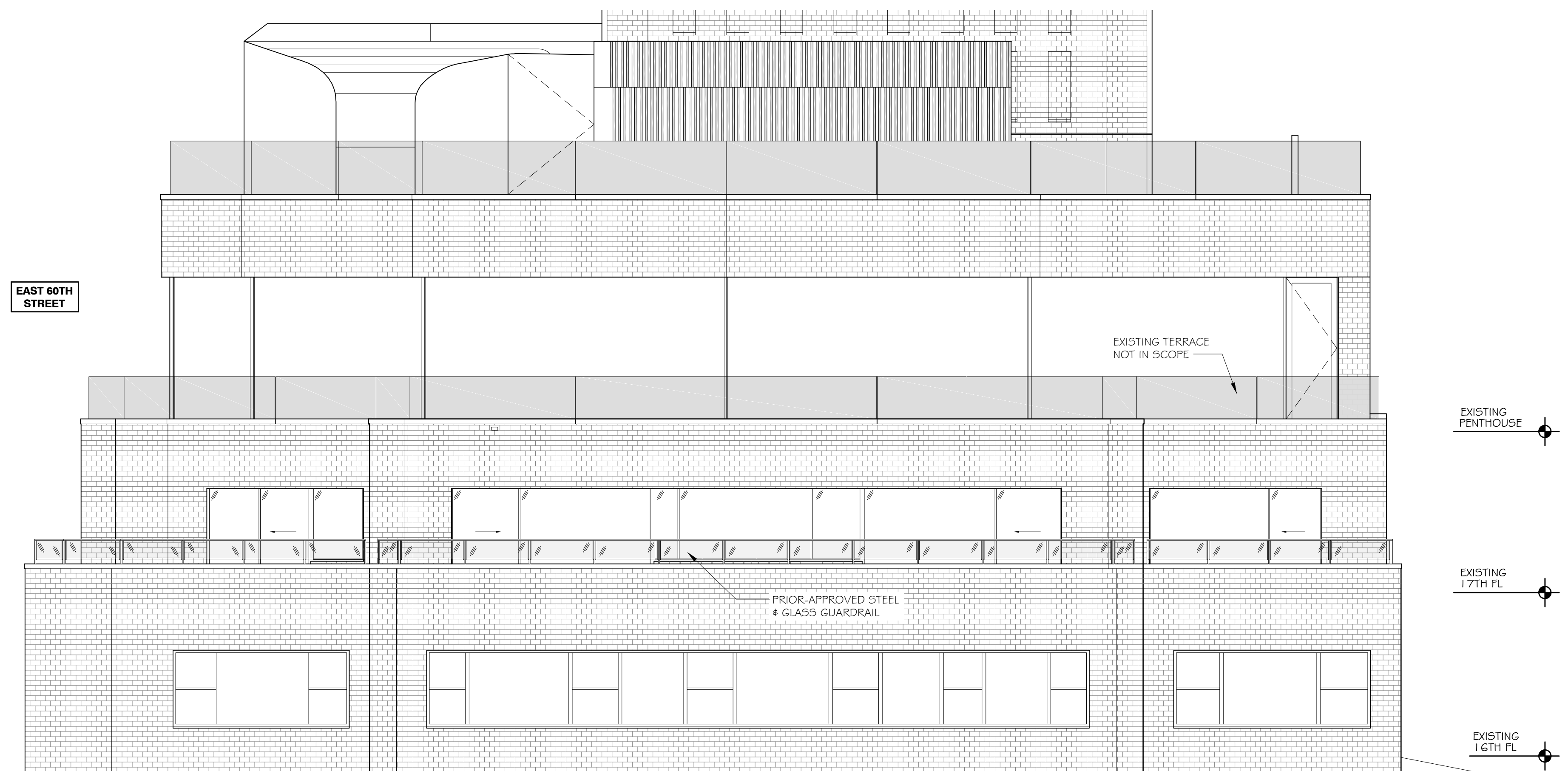
SAWYER | BERSON
ARCHITECTURE & LANDSCAPE ARCHITECTURE, LLP
235 PARK AVENUE SOUTH, 11TH FLOOR
NEW YORK, NEW YORK 10003
TEL 212.244.3055
SAWYERBERSON.COM

18TH 'MARKETING' FLOOR
17TH 'CONSTRUCTION' FLOOR
785 FIFTH AVENUE
NEW YORK, NY 10022

LPC PRESENTATION
EXISTING & PROPOSED
WEST EXTERIOR
ELEVATIONS

SEAL AND SIGNATURE: [Signature]
PROJECT NO: 2021.014
DRAWING BY: JI
CHECKED BY: KP
SCALE: AS NOTED
SHEET NO:
LPC-05

DATE	ISSUE	NO
06.26.2024	ISSUED FOR LPC PUBLIC HEARING	1



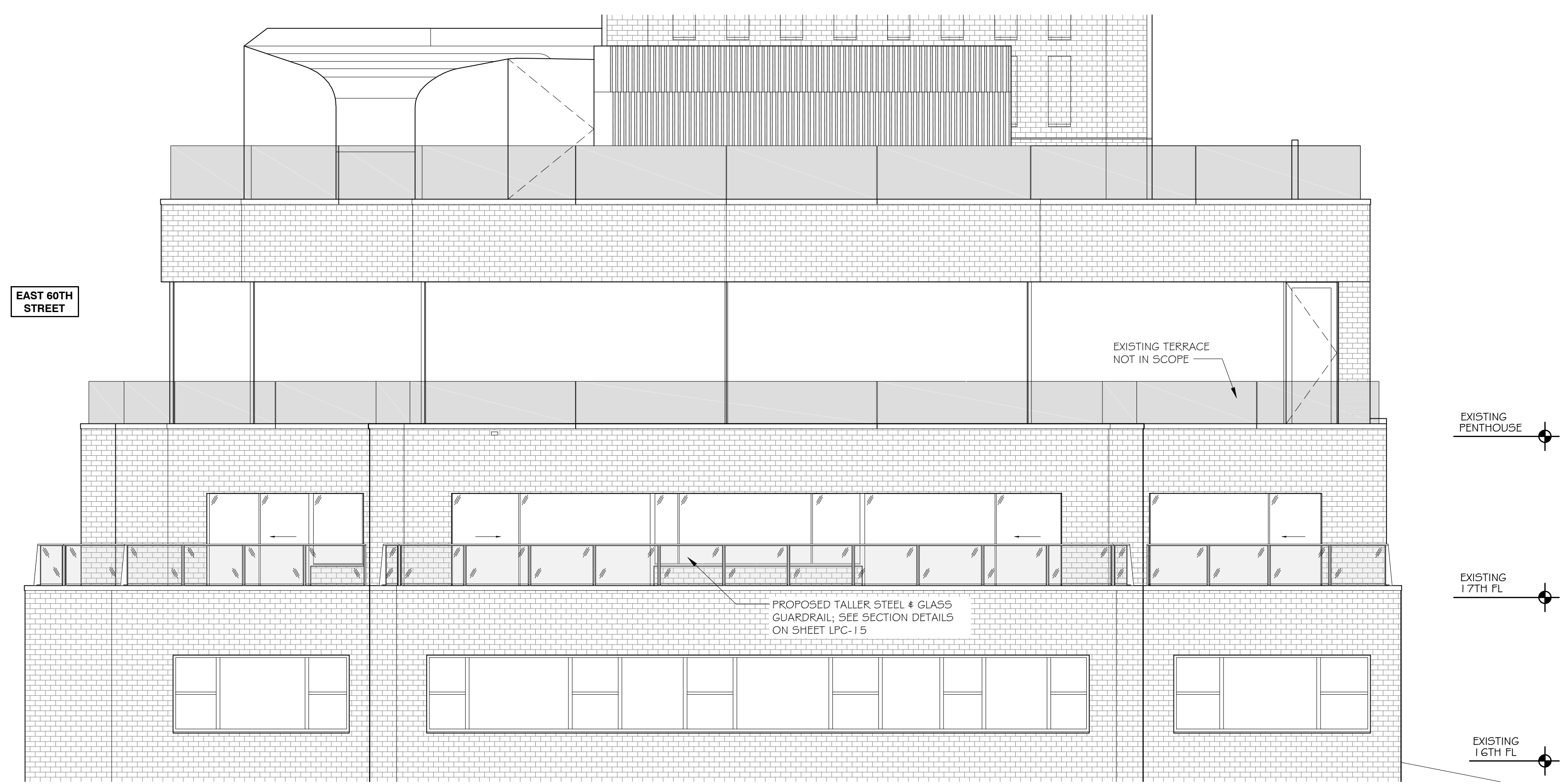
SHOWN WITH NEW APPROVED FENESTRATION UNITS (AMENDED CNE 23-08126) AND NEW REPLACEMENT GUARDRAIL ON EXISTING HEIGHT PARAPETS (CNE-24-07671)

1 WEST - ENLARGED PRIOR-APPROVED 17TH CONSTRUCTION FLOOR EXTERIOR ELEVATION
LPC-07 SCALE: 3/16" = 1'-0"



SHOWN WITH NEW APPROVED FENESTRATION UNITS (AMENDED CNE 23-08126) AND NEW REPLACEMENT GUARDRAIL ON EXISTING HEIGHT PARAPETS (CNE-24-07671)

3 WEST - ENLARGED PRIOR-APPROVED 17TH CONSTRUCTION FLOOR ELEVATION PHOTO MONTAGE
LPC-07 SCALE: NTS



2 WEST - ENLARGED PROPOSED 17TH CONSTRUCTION FLOOR ELEVATION
LPC-07 SCALE: 3/16" = 1'-0"



4 WEST - ENLARGED PROPOSED 17TH CONSTRUCTION FLOOR ELEVATION PHOTO MONTAGE
LPC-07 SCALE: NTS

SAWYER | BERSON
ARCHITECTURE & LANDSCAPE ARCHITECTURE, LLP
235 PARK AVENUE SOUTH, 11TH FLOOR
NEW YORK, NEW YORK 10003
TEL 212.244.3055
SAWYERBERSON.COM

18TH 'MARKETING' FLOOR
17TH 'CONSTRUCTION' FLOOR
785 FIFTH AVENUE
NEW YORK, NY 10022

LPC PRESENTATION
ENLARGED EXISTING &
PROPOSED WEST
ELEVATIONS & MONTAGES

SEAL AND SIGNATURE: [Signature]
PROJECT NO: 2021.014
DRAWING BY: JI & GK
CHECKED BY: KP
SCALE: AS NOTED
SHEET NO:
LPC-07



1 **NORTHEAST VIEW IN 2023**
SCALE: NTS



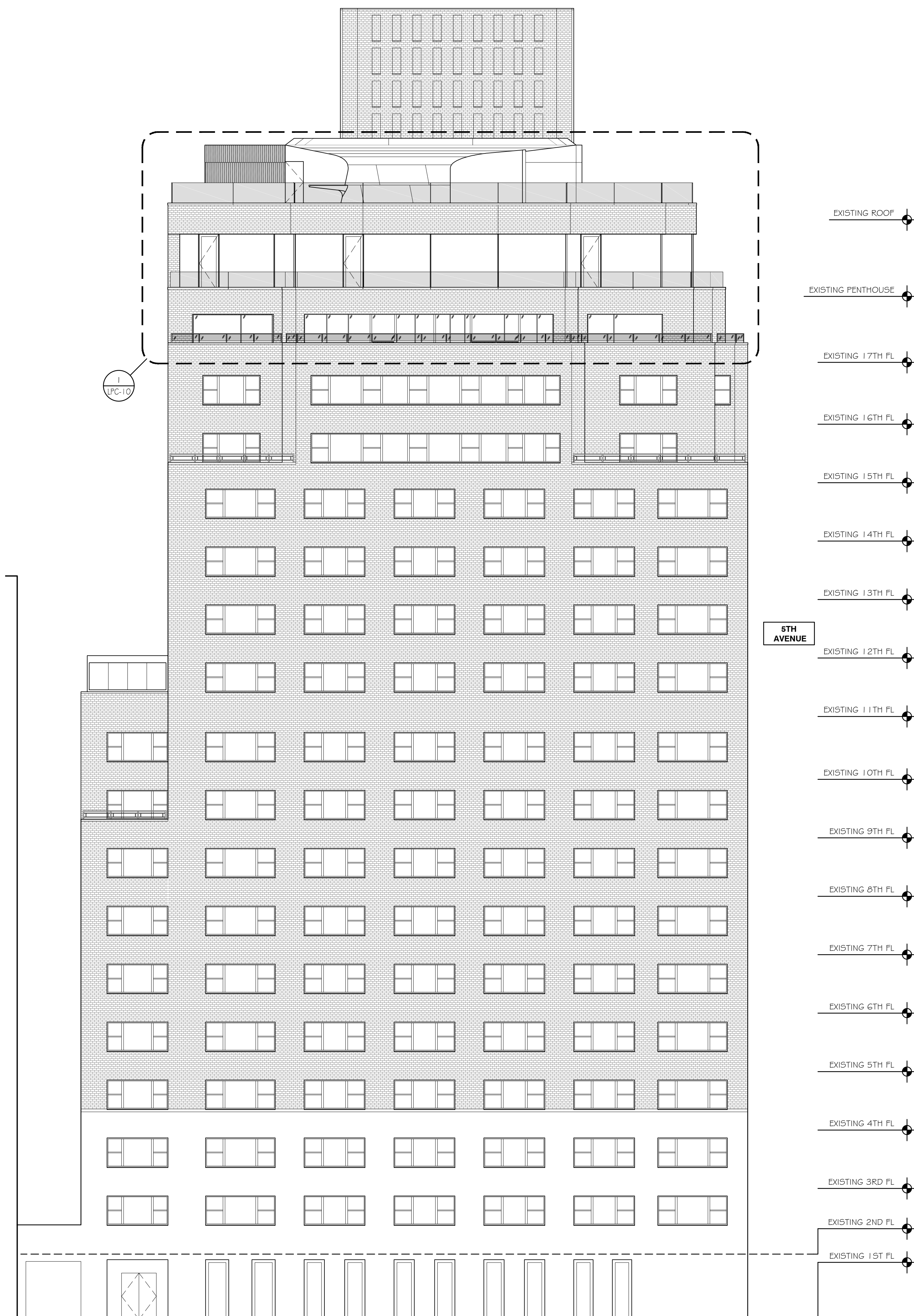
2 **NORTH VIEW IN 2023**
SCALE: NTS



3 **NORTHWEST VIEW IN 2023**
SCALE: NTS

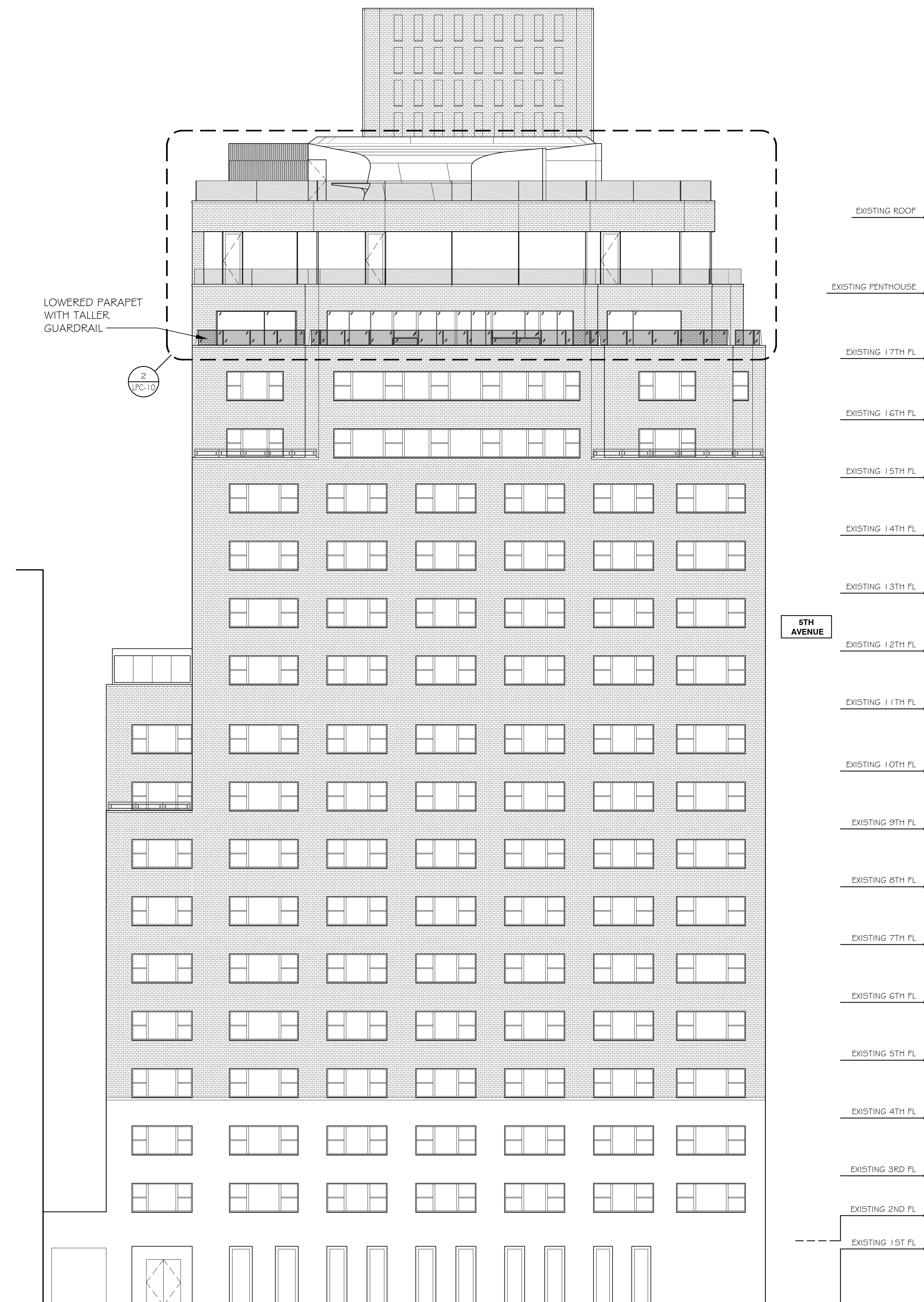


4 **NORTHWEST VIEW IN 2023**
SCALE: NTS



SHOWN WITH NEW APPROVED FENESTRATION UNITS (AMENDED CNE 23-0812G); NEW REPLACEMENT GUARDRAIL ON EXISTING HEIGHT PARAPETS (CNE-24-07671); AND RESTORED NORTHEAST TERRACE (CNE-24-07670)

5 **NORTH - PRIOR-APPROVED 17TH CONSTRUCTION FLOOR EXTERIOR ELEVATION**
SCALE: 3/32" = 1'-0"



6 **NORTH - PROPOSED 17TH CONSTRUCTION FLOOR EXTERIOR ELEVATION**
SCALE: 3/32" = 1'-0"

DATE	ISSUE	NO
06.26.2024	ISSUED FOR LPC PUBLIC HEARING	1



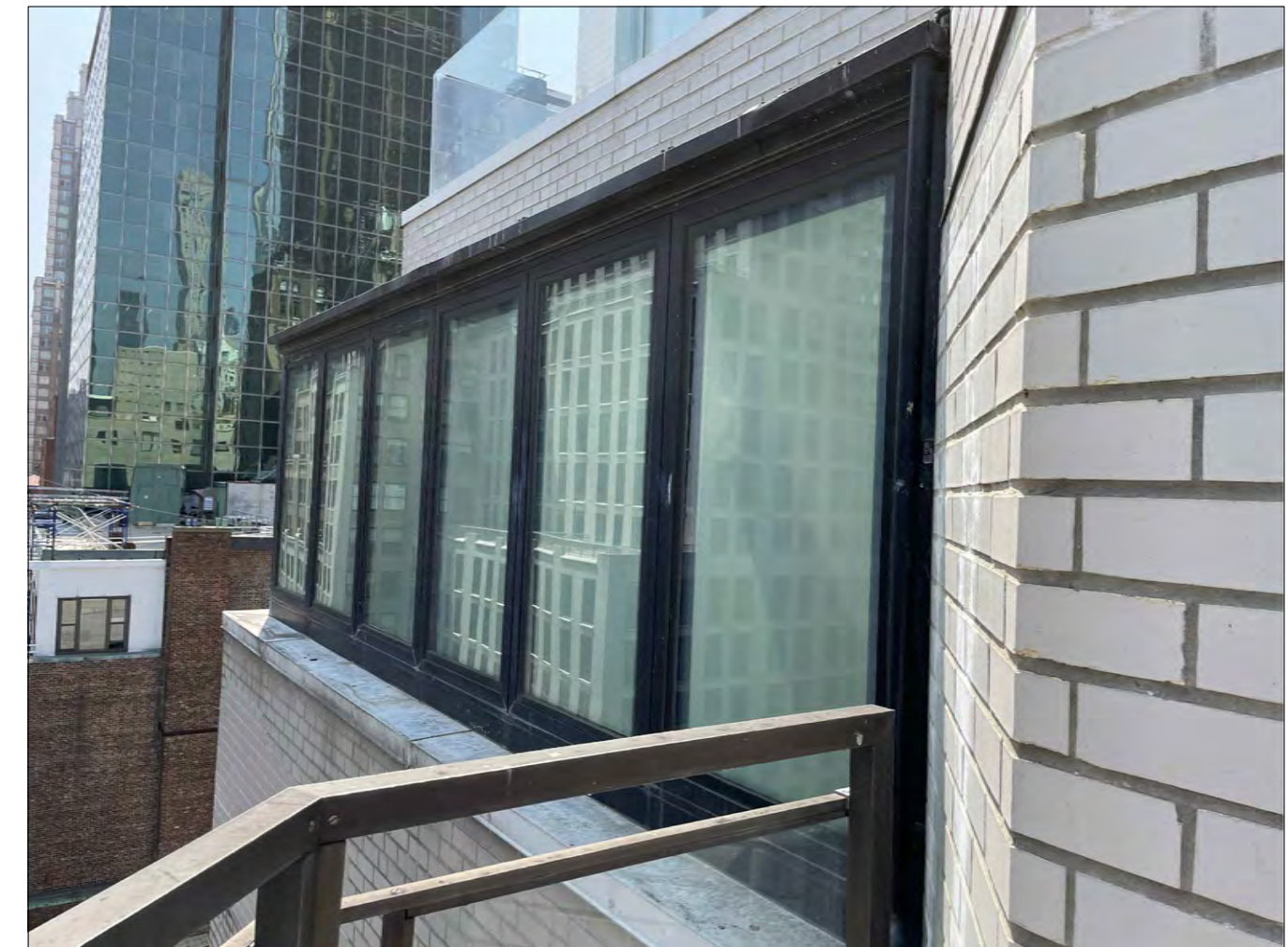
SAWYER | BERSON
ARCHITECTURE & LANDSCAPE ARCHITECTURE, LLP
235 PARK AVENUE SOUTH, 11TH FLOOR
NEW YORK, NEW YORK 10003
TEL 212.244.3055
SAWYERBERSON.COM

18TH 'MARKETING' FLOOR
17TH 'CONSTRUCTION' FLOOR
785 FIFTH AVENUE
NEW YORK, NY 10022

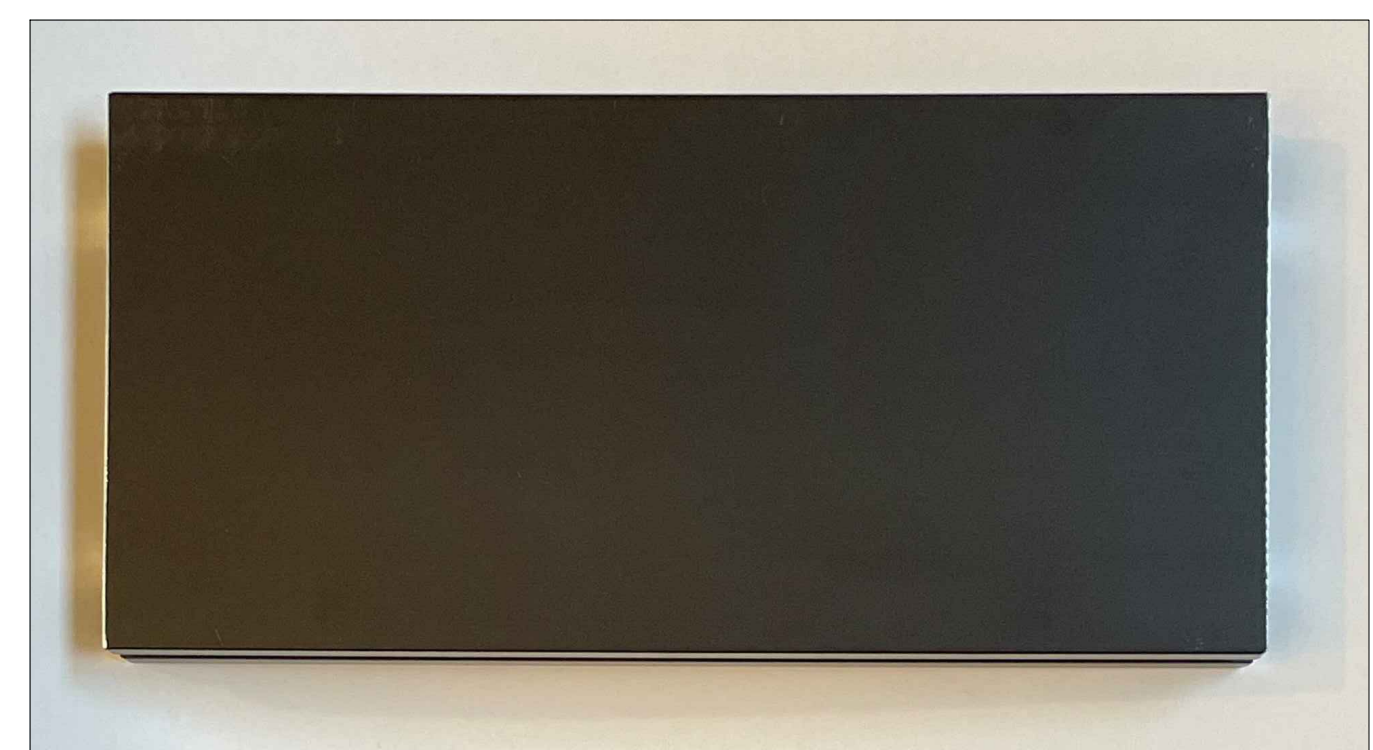
LPC PRESENTATION
EXISTING & PROPOSED
NORTH EXTERIOR
ELEVATIONS

SEAL AND SIGNATURE: [Signature]
PROJECT NO: 2021014
DRAWING BY: JI & GK
CHECKED BY: KP
SCALE: AS NOTED
SHEET NO:
LPC-08

DATE	ISSUE	NO
06.26.2024	ISSUED FOR LPC PUBLIC HEARING	1



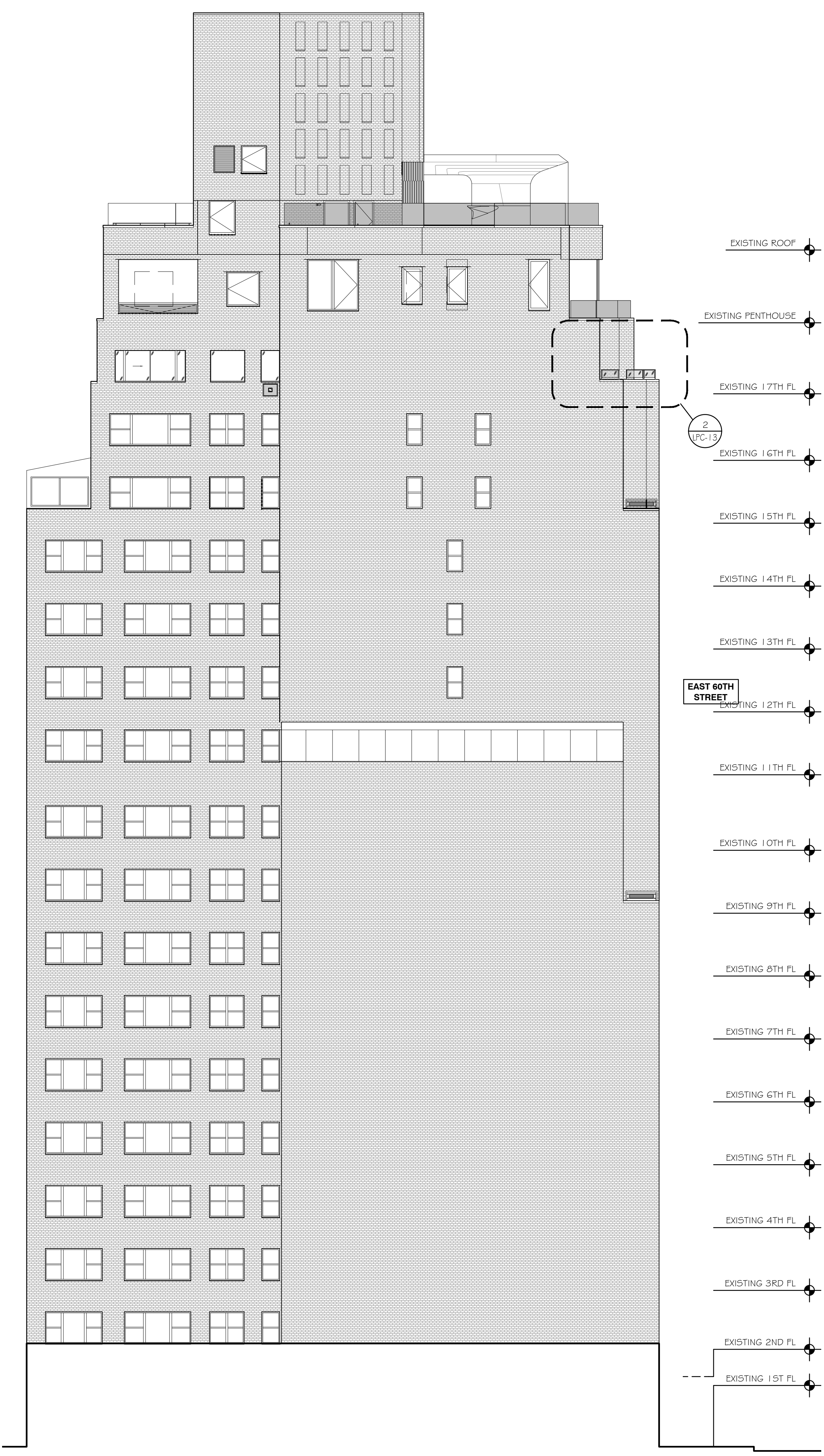
1 DETAIL VIEW OF "SOLARIUM" TAKEN FROM NORTH TERRACE
SCALE: NTS



2 PROPOSED FENESTRATION & GUARDRAIL FINISH SAMPLE (ANODIZED ALUMINUM)
SCALE: NTS

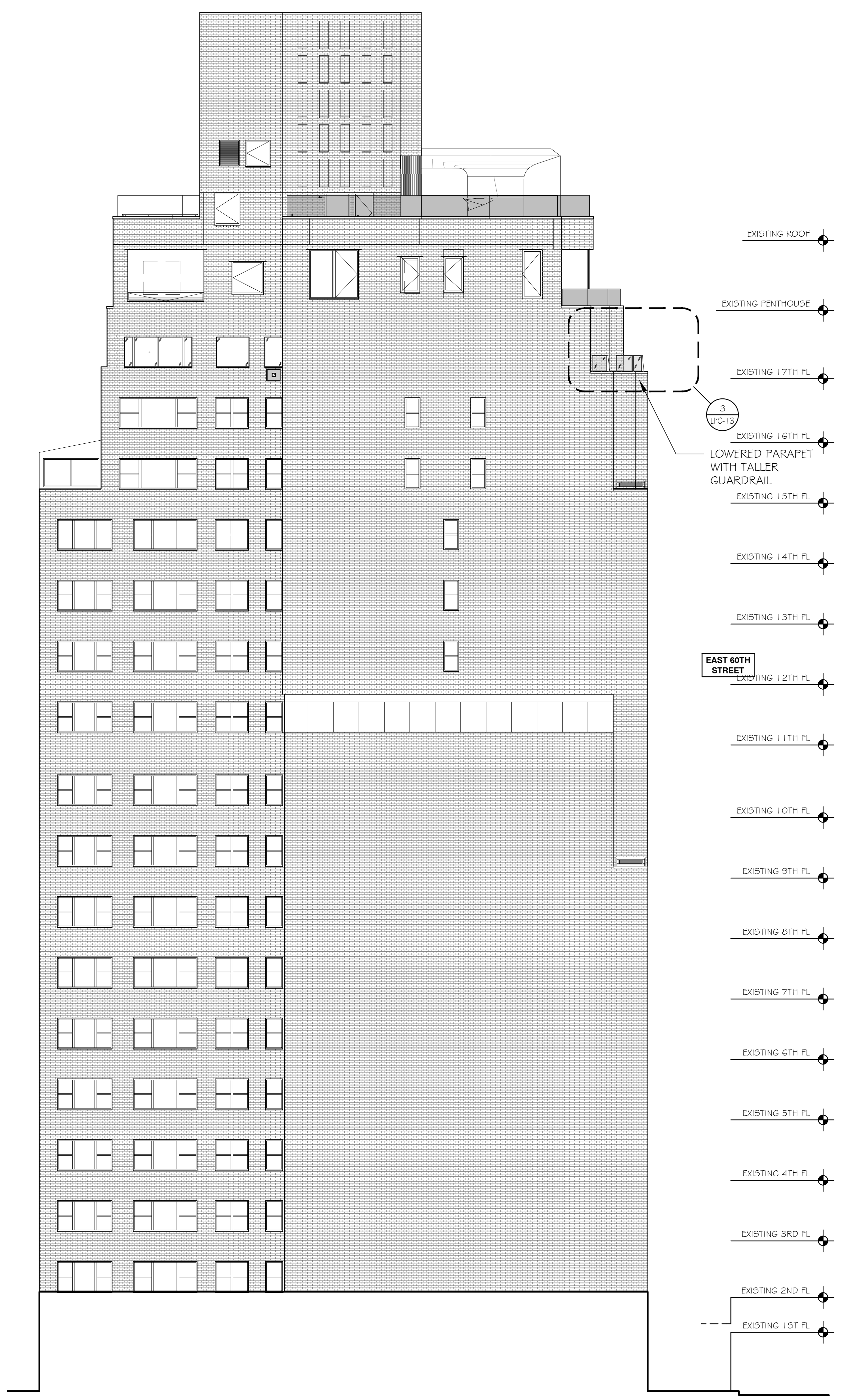


3 PROPOSED FENESTRATION & GUARDRAIL FINISH SAMPLE (ANODIZED ALUMINUM)
SCALE: NTS



SHOWN WITH NEW APPROVED FENESTRATION UNITS (AMENDED CNE 23-08 I 2G) ; NEW REPLACEMENT GUARDRAIL ON EXISTING HEIGHT PARAPETS (CNE-24-0767 I); AND RESTORED NORTHEAST TERRACE (CNE-24-0767O)

4 EAST - PRIOR-APPROVED 17TH CONSTRUCTION FLOOR EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"



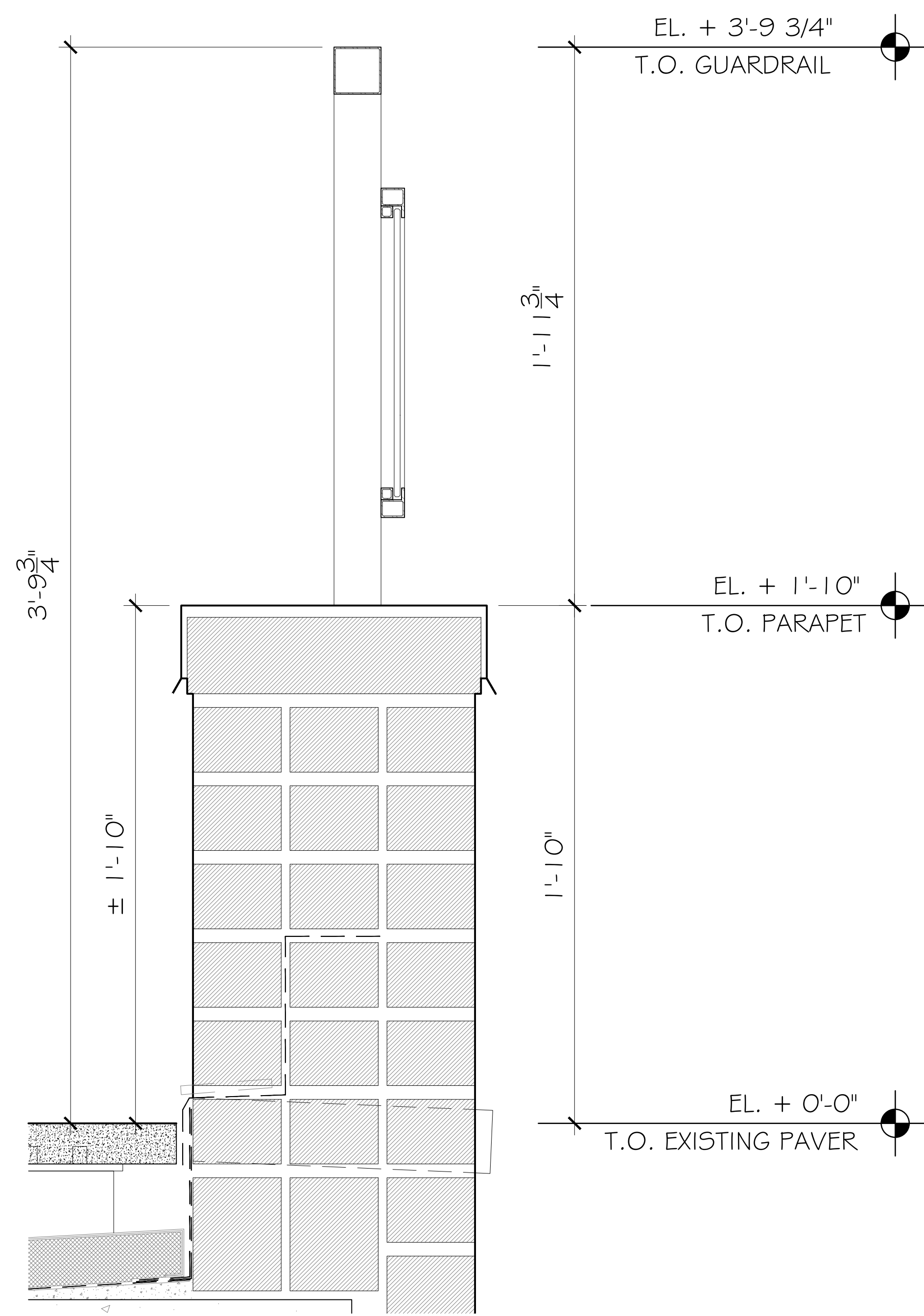
5 EAST - PROPOSED 17TH CONSTRUCTION FLOOR EXTERIOR ELEVATION
SCALE: 3/32" = 1'-0"

SAWYER | BERSON
ARCHITECTURE & LANDSCAPE ARCHITECTURE, LLP
235 PARK AVENUE SOUTH, 11TH FLOOR
NEW YORK, NEW YORK 10003
TEL 212.244.3055
SAWYERBERSON.COM

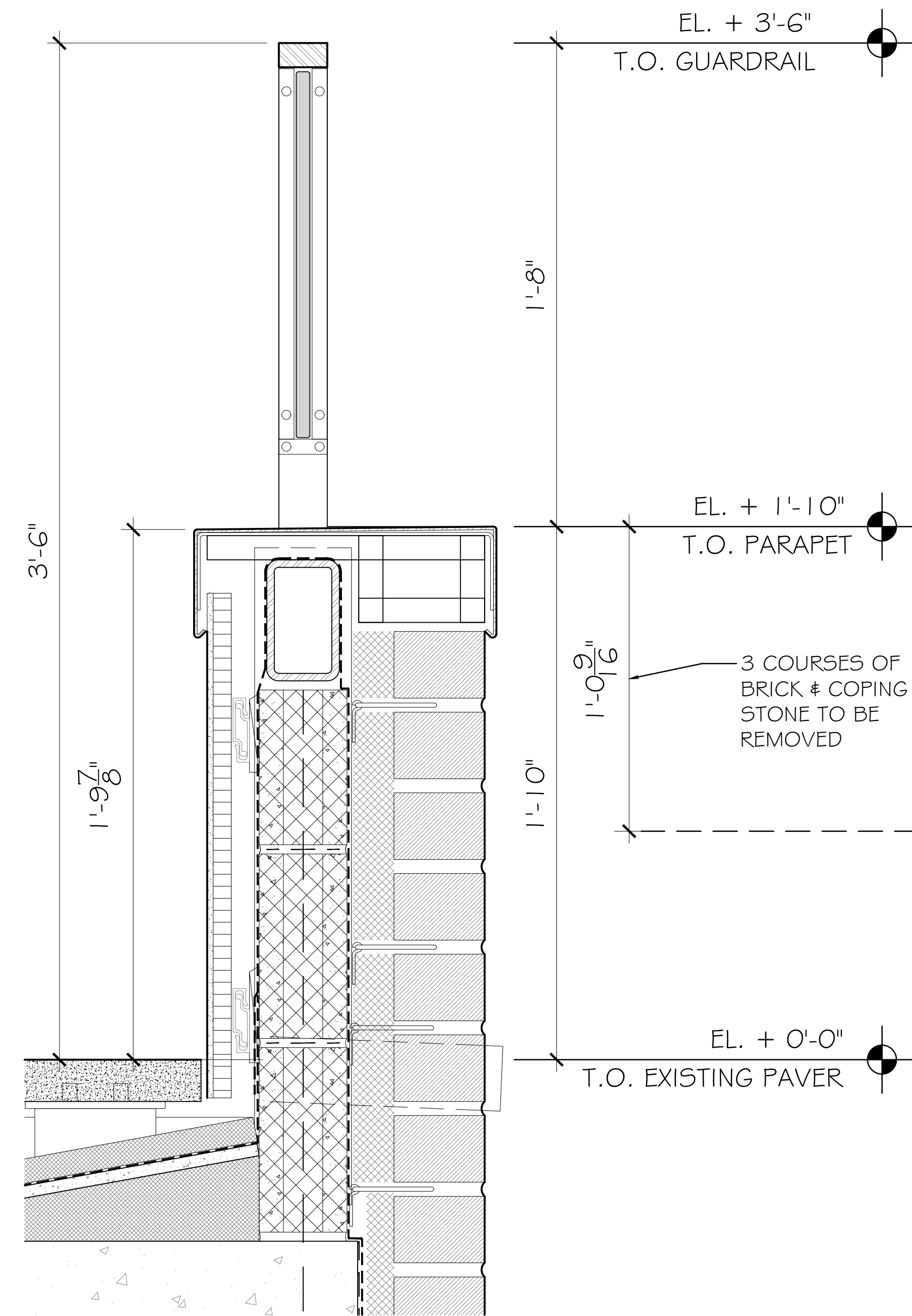
18TH 'MARKETING' FLOOR
17TH 'CONSTRUCTION' FLOOR
785 FIFTH AVENUE
NEW YORK, NY 10022

LPC PRESENTATION
EXISTING & PROPOSED
EAST EXTERIOR
ELEVATIONS

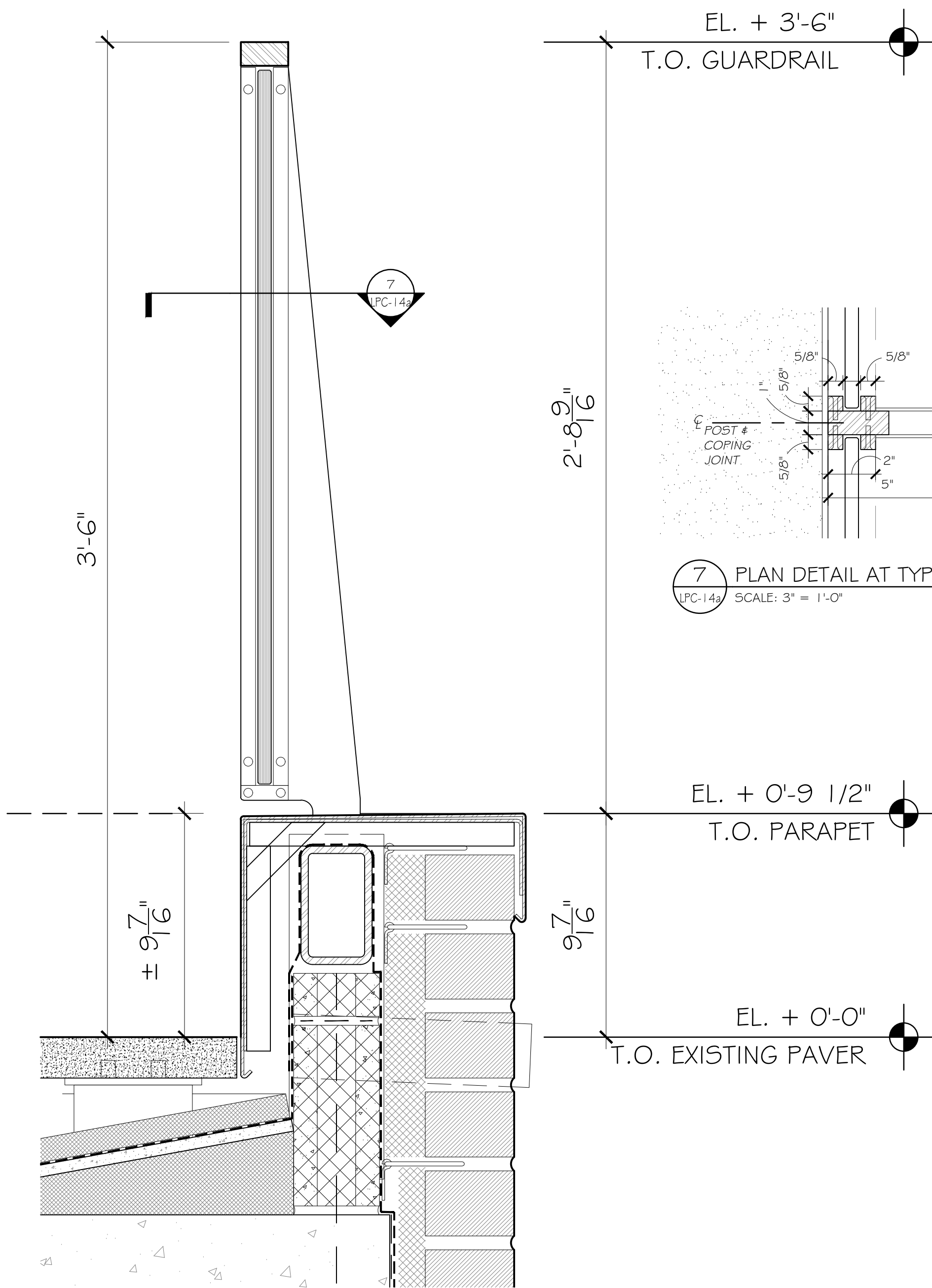
SEAL AND SIGNATURE: [Signature]
PROJECT NO: 2021014
DRAWING BY: JI & GK
CHECKED BY: KP
SCALE: AS NOTED
SHEET NO:
LPC-11



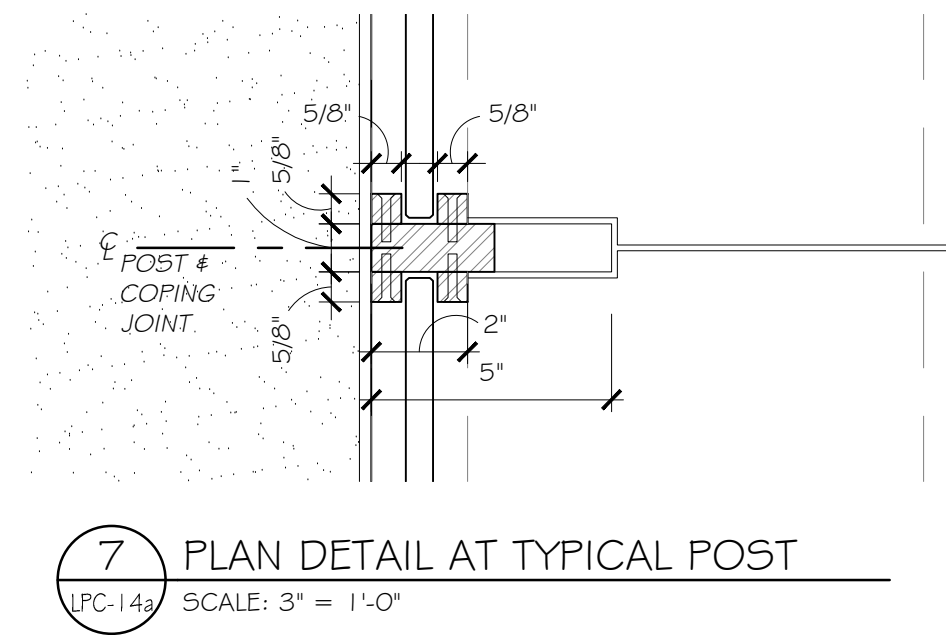
1 EXISTING 17TH CONSTRUCTION FLOOR PARAPET SECTION
SCALE: 3" = 1'-0"



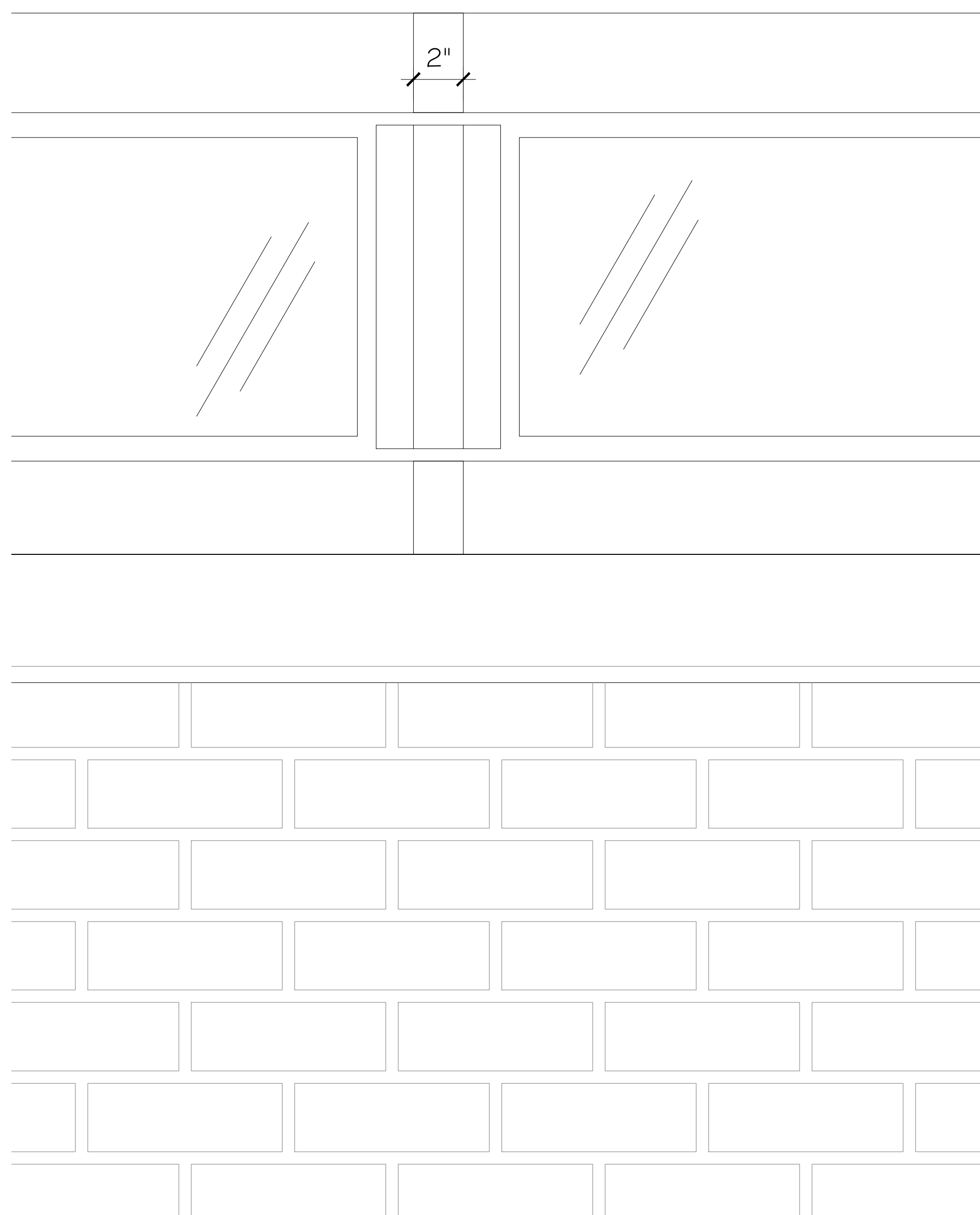
3 PRIOR-APPROVED 17TH CONSTRUCTION FLOOR PARAPET SECTION
SCALE: 3" = 1'-0"



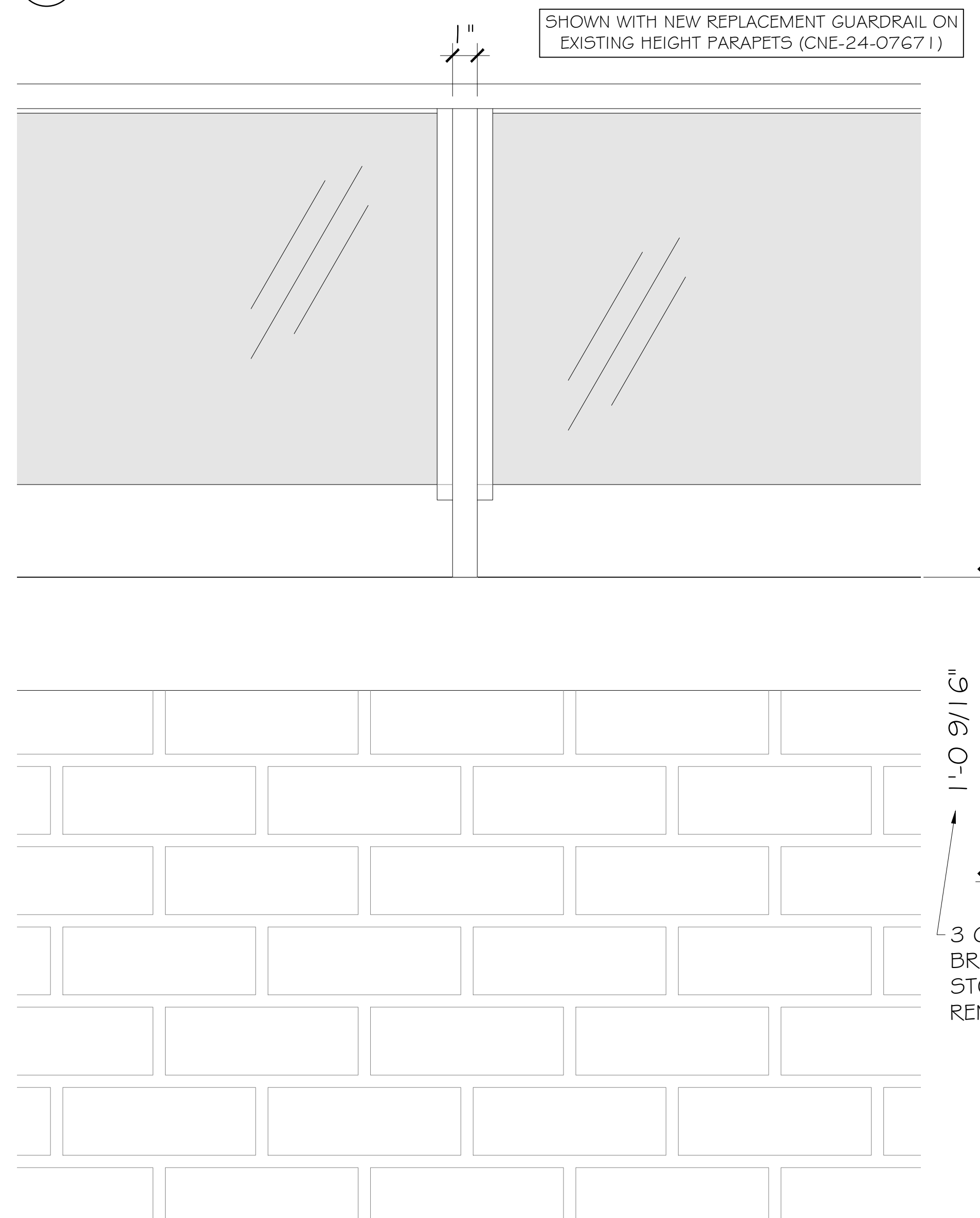
5 PROPOSED 17TH CONSTRUCTION FLOOR PARAPET SECTION
SCALE: 3" = 1'-0"



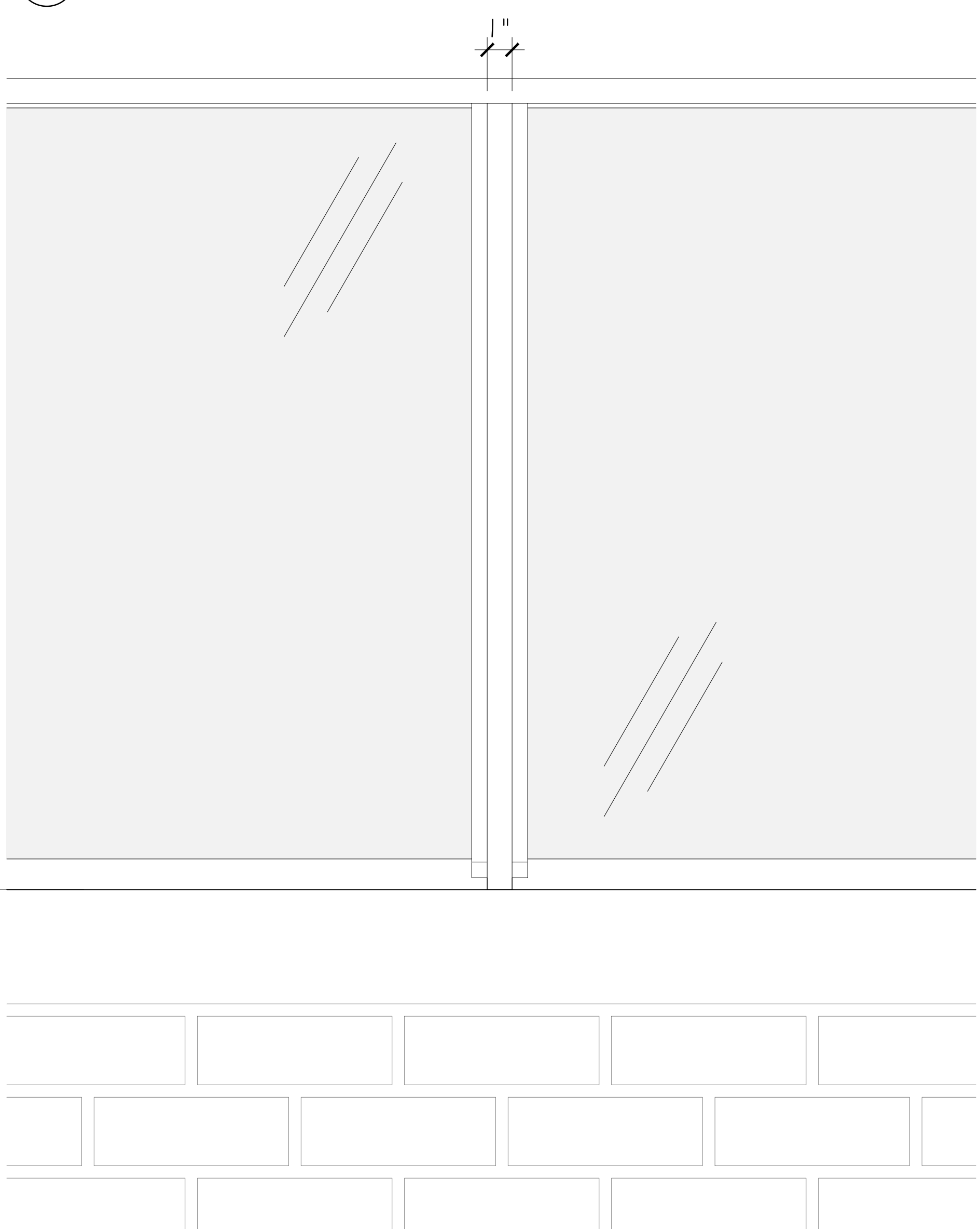
7 PLAN DETAIL AT TYPICAL POST
SCALE: 3" = 1'-0"



2 EXISTING 17TH CONSTRUCTION FLOOR PARAPET - PARTIAL ELEVATION
SCALE: 3" = 1'-0"



4 PRIOR-APPROVED 17TH CONSTRUCTION FLOOR PARAPET - PARTIAL ELEVATION
SCALE: 3" = 1'-0"



6 PROPOSED 17TH CONSTRUCTION FLOOR PARAPET - PARTIAL ELEVATION
SCALE: 3" = 1'-0"

DATE	ISSUE	NO
06.26.2024	ISSUED FOR LPC PUBLIC HEARING	1

- NOTES:
1. 1/2" TEMPERED & LAMINATED STARFIRE GLASS PANEL W/ 5GP INTERLAYER & POLISHED EDGES & BIRD-FRIENDLY FRIT PATTERN
 2. 48" TO 60" STANDARD PANEL WIDTH - CONTRACTOR TO EQUALLY SPACE
 3. CONTRACTOR TO VIF ALL DIMENSIONS

SAWYER | BERSON
ARCHITECTURE & LANDSCAPE
ARCHITECTURE, LLP
235 PARK AVENUE SOUTH, 11TH FLOOR
NEW YORK, NEW YORK 10003
TEL 212.244.3055
SAWYERBERSON.COM

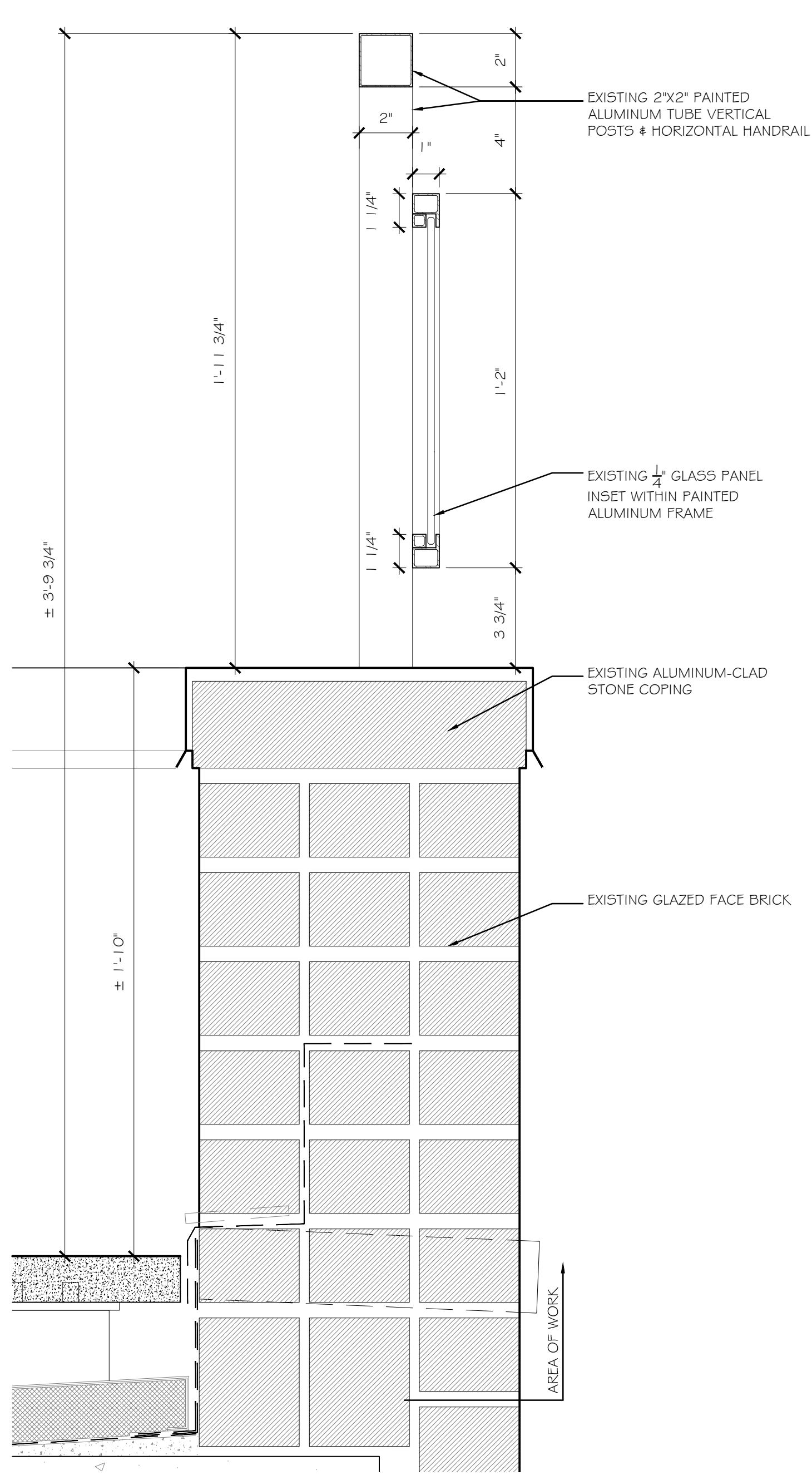
18TH 'MARKETING' FLOOR
17TH 'CONSTRUCTION' FLOOR
785 FIFTH AVENUE
NEW YORK, NY 10022

LPC PRESENTATION
DETAILED PARAPET AND
GUARDRAIL
COMPARISON

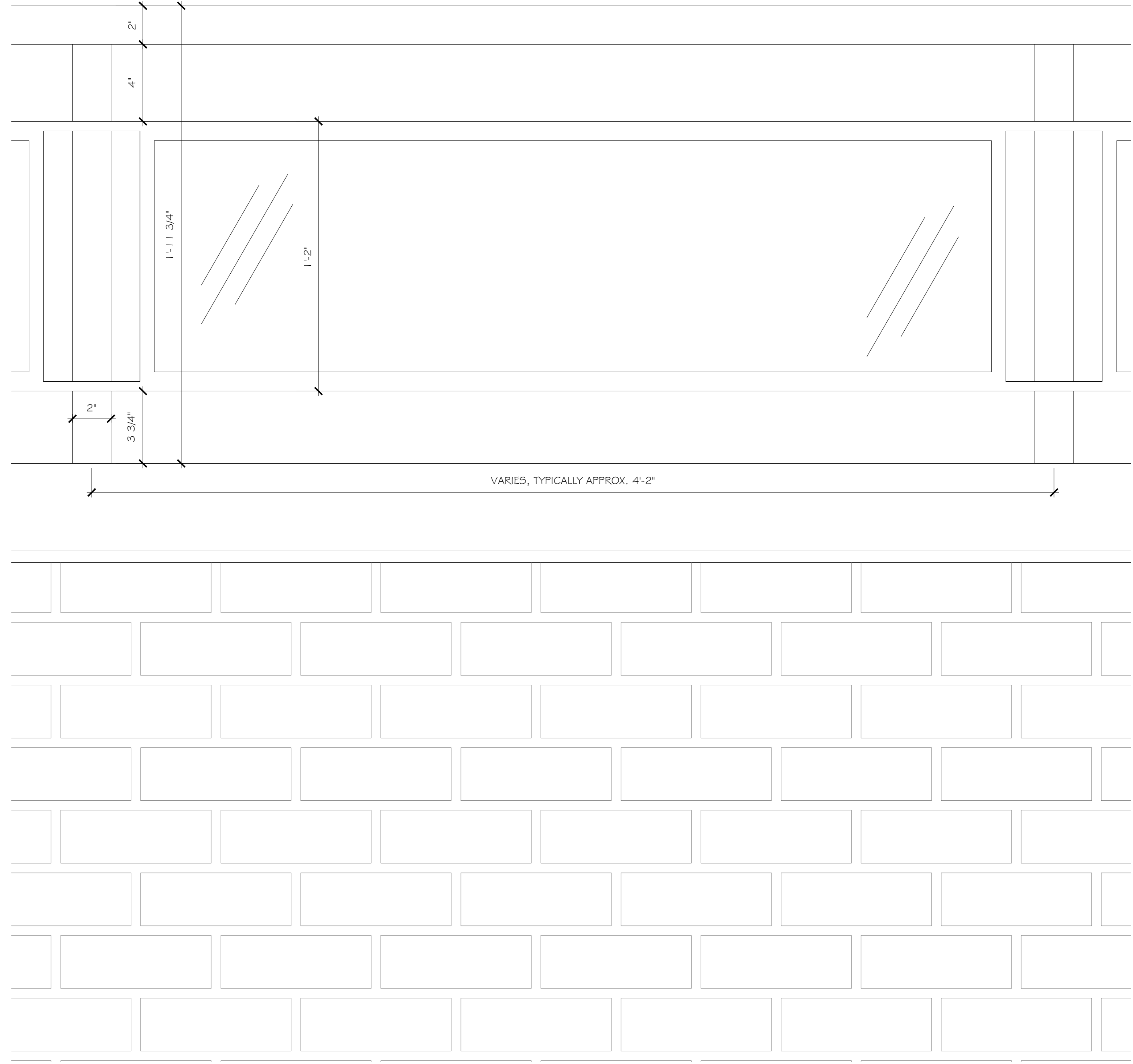
SEAL AND SIGNATURE: PROJECT NO: 2021014
DRAWING BY: JI & GK
CHECKED BY: KP
SCALE: AS NOTED
SHEET NO:
LPC-14a

DATE	ISSUE	NO
06.26.2024	ISSUED FOR LPC PUBLIC HEARING	1

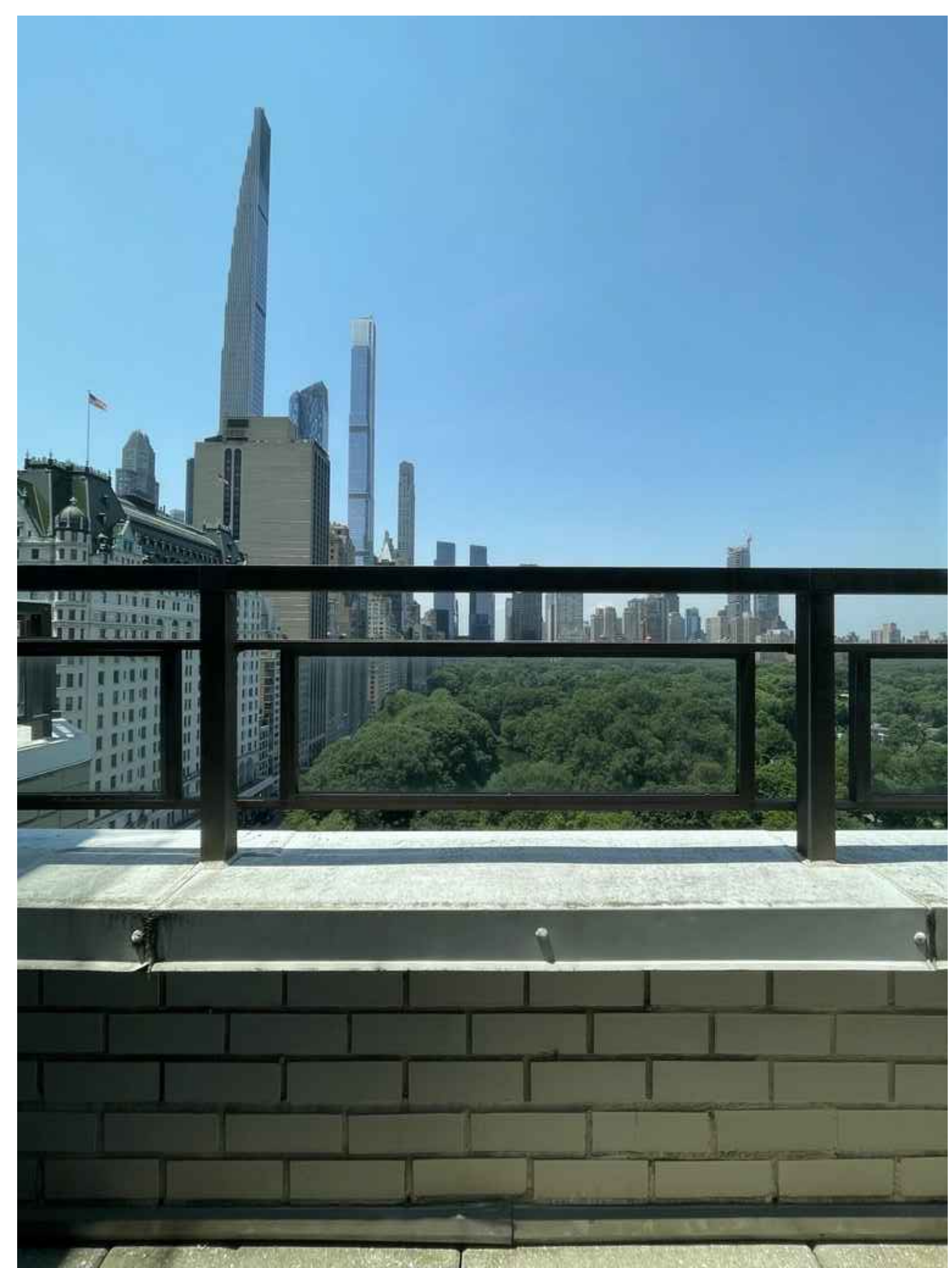
- NOTES:
1. 5/16" TEMPERED & LAMINATED STARFIRE GLASS PANEL W/ 5GP INTERLAYER & POLISHED EDGES & BIRD-FRIENDLY FRIT PATTERN
 2. 48" TO 60" STANDARD PANEL WIDTH - CONTRACTOR TO EQUALLY SPACE
 3. CONTRACTOR TO VIF ALL DIMENSIONS



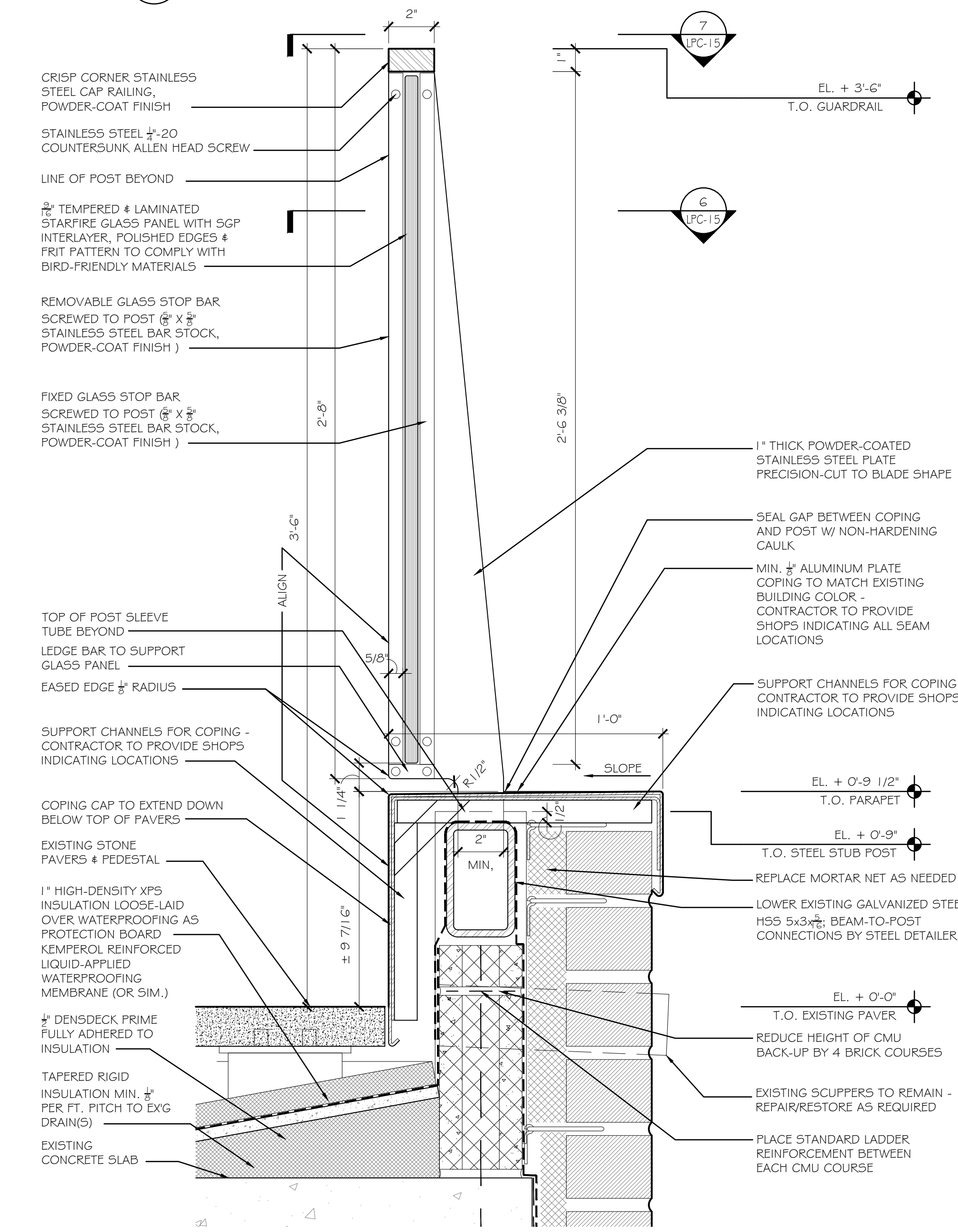
1 EXISTING 17TH CONSTRUCTION FLOOR PARAPET SECTION
LPC-14b SCALE: 3" = 1'-0"



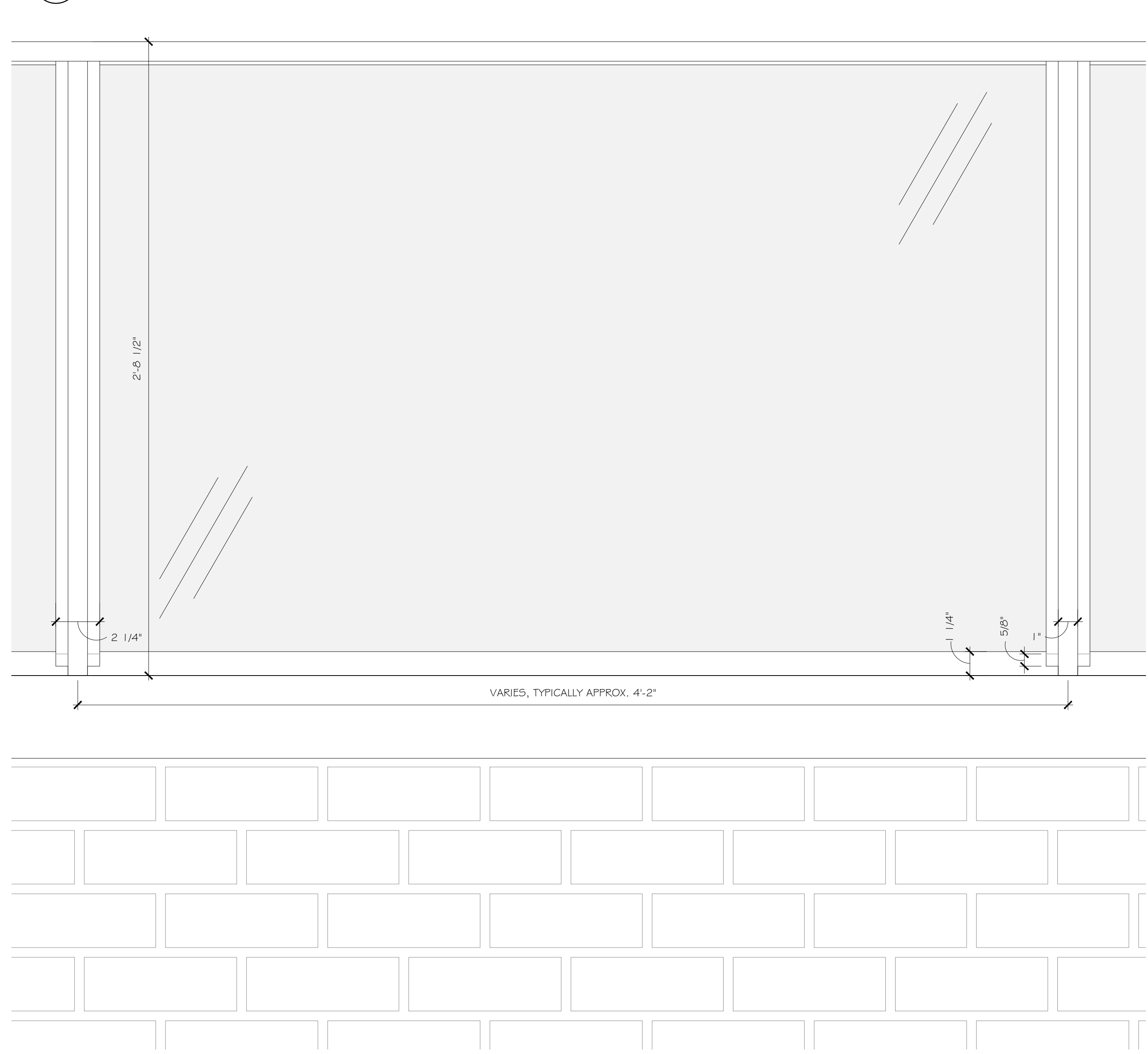
2 EXISTING 17TH CONSTRUCTION FLOOR PARAPET ELEVATION - TYPICAL BAY
LPC-14b SCALE: 3" = 1'-0"



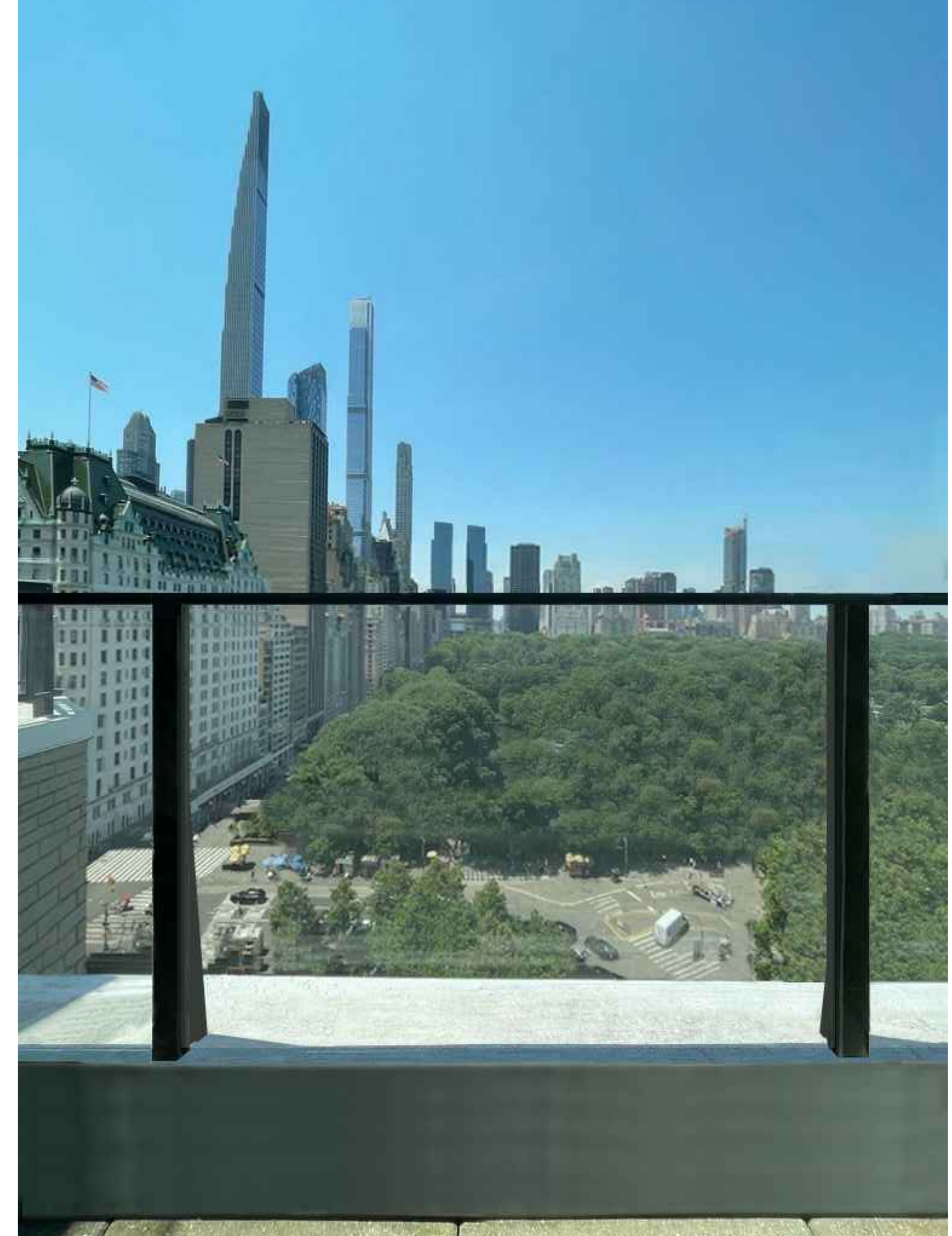
3 EXISTING 17TH CONSTRUCTION FLOOR PARAPET PHOTO - TYPICAL BAY
LPC-14b SCALE: NOT TO SCALE



4 PROPOSED 17TH CONSTRUCTION FLOOR PARAPET SECTION
LPC-14b SCALE: 3" = 1'-0"



5 PROPOSED 17TH CONSTRUCTION FLOOR PARAPET ELEVATION - TYPICAL BAY
LPC-14b SCALE: 3" = 1'-0"



6 PROPOSED 17TH CONSTRUCTION FLOOR PARAPET RENDERING - TYPICAL BAY
LPC-14b SCALE: NOT TO SCALE

SAWYER | BERSON
ARCHITECTURE & LANDSCAPE ARCHITECTURE, LLP
235 PARK AVENUE SOUTH, 11TH FLOOR
NEW YORK, NEW YORK 10003
TEL 212.244.3055
SAWYERBERSON.COM

18TH 'MARKETING' FLOOR
17TH 'CONSTRUCTION' FLOOR
785 FIFTH AVENUE
NEW YORK, NY 10022

LPC PRESENTATION
EXISTING & PROPOSED
GUARDRAIL DETAILS

SEAL AND SIGNATURE: PROJECT NO: 2021014
DRAWING BY: JI & GK
CHECKED BY: KP
SCALE: AS NOTED
SHEET NO:
LPC-14b

FIFTH AVENUE between East 59th Street and East 60th Street

This block has only two buildings along it: the Sherry Netherland Hotel and the apartment building at 785 Fifth Avenue. The current Sherry Netherland (1926-27) was designed by Schultze & Weaver, Buchman & Kahn. Schultze & Weaver were noted for their hotel designs which include: the Waldorf-Astoria, the Breakers in Palm Beach, the Cliff in San Francisco and the Pierre one block further north on Fifth Avenue. The hotel stands on the site of an earlier Hotel Netherland (1890-93) by W.H. Hume & Son which was demolished in 1926. No. 785, with the pretentious sobriquet, "Park V", is an undistinguished building by Emery Roth & Sons (1962). In 1904, part of the site of No. 785 was occupied by a handsome apartment house by H.J. Hardenbergh, the architect of the Plaza Hotel diagonally across Grand Army Plaza and the Dakota on Central Park West and West 72nd Street.

-907-

FIFTH AVENUE between 59th Street and 60th Street

No. 785 (1374/69)

Erected 1962-63 by Richard Roth of Emery Roth & Sons for 787 Fifth Avenue Corp.

ARCHITECTURE

Style none
Elements Seventeen-story apartment building; first three floors are faced with stone; white brick above; bands of triple windows; set backs begin at the fourteenth floor.

HISTORY

Replaced an apartment house (1904) by Henry J. Hardenbergh

References:

Alexandra Cushing Howard, Fifth Avenue and Central Park, Buildings-Structures Inventory (Albany: Division for Historic Preservation, 1975).
New York City, Department of Buildings, Manhattan, Plans, Permits and Dockets.

-600-

BUILDING-STRUCTURE INVENTORY FORM FOR OFFICE USE ONLY. DIVISION FOR HISTORIC PRESERVATION. NEW YORK STATE PARKS AND RECREATION. ALBANY, NEW YORK (518) 474-0479. YOUR NAME: ALEXANDRA CUSHING HOWARD. YOUR ADDRESS: 1 GRAMERCY PARK, N. Y. 03. DATE: FEB 9 1975. ORGANIZATION (if any):. IDENTIFICATION: 1. BUILDING NAME(S): (Park V). 2. COUNTY: ALBANY. TOWN/CITY: New York. VILLAGE: . 3. STREET LOCATION: 785 5th Ave. 4. OWNERSHIP: a. public [] b. private [X] Principal: Pease & Elliman, Inc. 5. PRESENT OWNER: Fifth Ave. & 60th St. address: 60 E. 56th St. NY 10022 6. USE: Original: [] Present: [X] Corp. (Co-op) 7. ACCESSIBILITY TO PUBLIC: Exterior visible from public road: Yes [X] No [] Interior accessible: Explain [] [] DESCRIPTION: 8. BUILDING MATERIAL: a. clapboard [] b. stone [X] c. brick [X] d. board and batten [] e. cobblestone [] f. shingles [] g. stucco [] other: [] 9. STRUCTURAL SYSTEM: (if known) a. wood frame with interlocking joints [] b. wood frame with light members [] c. masonry load bearing walls [] d. metal (explain) Steel frame e. other: [] 10. CONDITION: a. excellent [X] b. good [] c. fair [] d. deteriorated [] 11. INTEGRITY: a. original site [X] b. moved [] if so, when? [] c. list major alterations and dates (if known): [] 12. PHOTO: [Image of building] 13. MAP: [Map showing building location]

5 HISTORIC PRESERVATION BUILDING INVENTORY FORM NOT TO SCALE

1 UPPER EAST SIDE HISTORIC DISTRICT DESIGNATION REPORT NOT TO SCALE

2 UPPER EAST SIDE HISTORIC DISTRICT DESIGNATION REPORT NOT TO SCALE

ROSE & STONE

Charles Frederick Rose (dates undetermined) Howard Colton Stone (dates undetermined)

14-20 East 72nd Street 1893 new buildings (4)
22 East 72nd Street 1893 new building
49 East 79th Street 1893-94 new building

Charles Frederick Rose and Howard Colton Stone established their firm in 1887. Their most famous work was the neo-French Renaissance mansion built in 1887-88 for Isaac V. Brokaw at the northeast corner of Fifth Avenue and 79th Street. In 1905, Rose designed two Francois I style town houses at 984 and 985 Fifth Avenue for Brokaw's sons. All are now demolished. Within the district Rose & Stone designed a row of five neo-Renaissance houses, although as two commissions, on East 72nd Street in 1893. These are among the few residences which survive on this street. No. 49 East 79th Street is a Romanesque Revival carriage house which has been converted to use as a garage. The partners separated and set up individual offices in 1895.

Francis

EMERY ROTH & SONS

Emery Roth (1871-1948) Julian Roth (dates undetermined) Richard Roth (b.1904)

2 East 60th Street 1959 new building
28 East 70th Street 1926 new building
875 Fifth Avenue 1939-40 new building
880 Fifth Avenue 1946-48 new building
930 Fifth Avenue 1940 new building
945 Fifth Avenue 1947-48 new building

570 Park Avenue 1915-16 new building
715 Park Avenue 1948-49 new building

785 Fifth Avenue (Richard Roth) 1959-62 new building
10 East 70th Street (Richard Roth) 1960 new building

Orphaned at the age of 13 in Czechoslovakia, Emery Roth immigrated first to Chicago and then to Bloomington, Illinois, where he found employment as an office boy with an architect's firm. In 1889-90, he was an apprentice draftsman in an architect's office in Kansas City. For three years, 1890 to 1893, Roth was associated with the famous firm of Burnham & Root and later, after the death of Root, with D.H. Burnham & Co. In 1890, the World's Columbian Exposition was incorporated in Chicago with John Root as Consulting Engineer and Daniel H. Burnham as Chief of Construction. The Exposition, held in 1893, had a profound

-1331-

3 UPPER EAST SIDE HISTORIC DISTRICT DESIGNATION REPORT NOT TO SCALE

effect upon American architecture. While Roth was working for D.H. Burnham & Co., the firm was responsible, not only for the completion of the Exposition, but also for a number of important buildings such as the Monadnock Building (first section, 1891), the Woman's Temple for the Women's Christian Temperance Union (1891), and the Old Annex of the Marshall Field Store (1892), all in Chicago. Roth left Burnham and came to New York in 1893 and joined the firm of Richard Morris Hunt. Roth may have met Hunt during the Columbia Exposition for which Hunt had designed the Administration Building. During the period Roth was with Hunt, the last two years of Hunt's life, Roth worked on the interiors of a number of residences. At the time, Hunt was involved with "The Breakers" for Cornelius Vanderbilt, "Biltmore" for George W. Vanderbilt, and the Metropolitan Museum of Art.

In 1895, Roth opened his own office at 248 West 16th Street which he continued for only three years; he then formed a company with Theodore C. Stein and E. Yancey Cohen. The one known building which this firm produced is the Irving Place Theater (1899-1900). Soon after the turn of the century, Roth began an independent practice. In 1932 his sons Richard, and later Julian, joined him and the firm became Emery Roth & Sons.

During his long career, Roth specialized in apartment house design and produced a number of notable examples in Manhattan including: the San Remo (1930), 145-146 Central Park West; the Beresford (1929), 211 Central Park West; the Ardsley (1931), 320 Central Park West; the Normandy (1939), 140 Riverside Drive; and No. 434 East 52nd Street for which he was given an award by the First Avenue Association. The apartment houses within the district by Roth, all on Fifth Avenue, were done between 1939 and 1949, some in a simplified Art Deco style and others in a classicizing Modern style, yet they all maintain the "tone" of the Avenue. After the death of Emery Roth in 1948, his sons continued the firm and have enjoyed a prolific practice. No. 785 Fifth Avenue is an example of the type of apartment design the firm has produced in Manhattan. However, they have also been involved in a number of prominent office buildings including the World Trade Center.

American Architects Directory, 1956, 1962, 1970
New York Times, Aug. 21, 1948

SAMUEL ROTH (dates undetermined)

120-122 East 62nd Street 1954 new facades
12 East 64th Street 1951 alterations to facade and interior
52 East 76th Street 1952 new facade

Nothing has been discovered about Samuel Roth. His facade changes to the buildings listed above are not at all sympathetic to their original character, but at least the scale has been retained.

Manhattan telephone directory, 1953

-1332-

4 UPPER EAST SIDE HISTORIC DISTRICT DESIGNATION REPORT NOT TO SCALE

14. THREATS TO BUILDING: a. none known [X] b. zoning [] c. roads [] d. developers [] e. deterioration [] f. other: []
15. RELATED OUTBUILDINGS AND PROPERTY: a. barn [] b. carriage house [] c. garage [] d. privy [] e. shed [] f. greenhouse [] g. shop [] h. gardens [] i. landscape features: [] j. other: []
16. SURROUNDINGS OF THE BUILDING (check more than one if necessary): a. open land [] b. woodland [] c. scattered buildings [] d. densely built-up [] e. commercial [] f. industrial [] g. residential [] h. other: Grand Army Plaza
17. INTERRELATIONSHIP OF BUILDING AND SURROUNDINGS: When it was begun in 1962 The Park V was the first new building to be constructed on Grand Army Plaza since the late 20's. Its scale and its white, unornamented facade do not blend with the older buildings, and the building's position on the Grand Army Plaza exposes its lack of character.
18. OTHER NOTABLE FEATURES OF BUILDING AND SITE (including interior features if known): Further: []
SIGNIFICANCE
19. DATE OF INITIAL CONSTRUCTION: 1962 (plans filed 1/9/60; building loan 2/16/62)
ARCHITECT: Emery Roth & Sons
BUILDER: Fisher Brothers
20. HISTORICAL AND ARCHITECTURAL IMPORTANCE:
The Park V was the first "modern" building to be built on the Grand Army Plaza before Edward Durrell Stone's GM Building.
21. SOURCES: The Real Estate Directory of Manhattan. Records of the Real Estate Board.
22. THEME:

6 HISTORIC PRESERVATION BUILDING INVENTORY FORM NOT TO SCALE

Table with columns: DATE, ISSUE, NO. Row 1: 06.26.2024, ISSUED FOR LPC PUBLIC HEARING, 1

06.26.2024 ISSUED FOR LPC PUBLIC HEARING 1

SAWYER | BERSON ARCHITECTURE & LANDSCAPE ARCHITECTURE, LLP. 235 PARK AVENUE SOUTH, 11TH FLOOR NEW YORK, NEW YORK 10003 TEL 212.244.3055 SAWYERBERSON.COM
18TH 'MARKETING' FLOOR 17TH 'CONSTRUCTION' FLOOR 785 FIFTH AVENUE NEW YORK, NY 10022

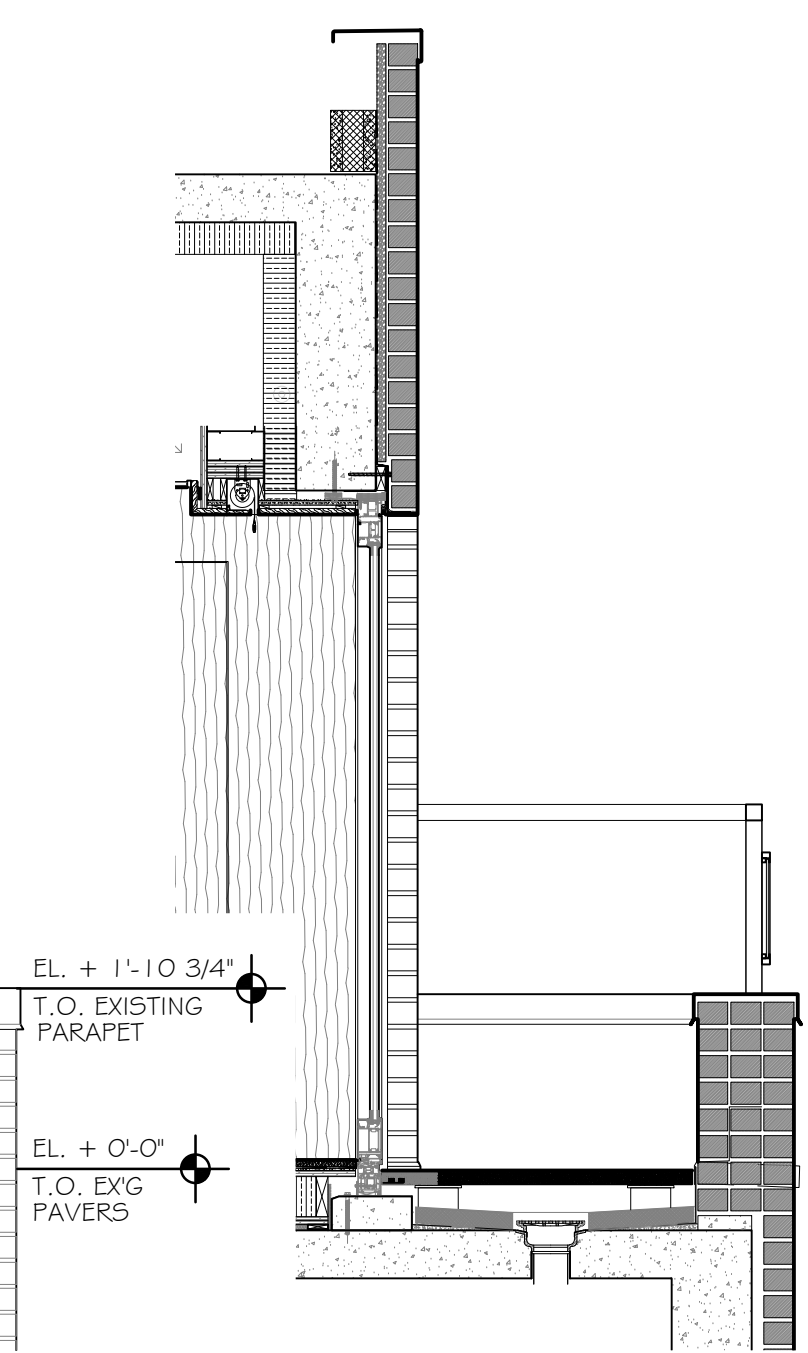
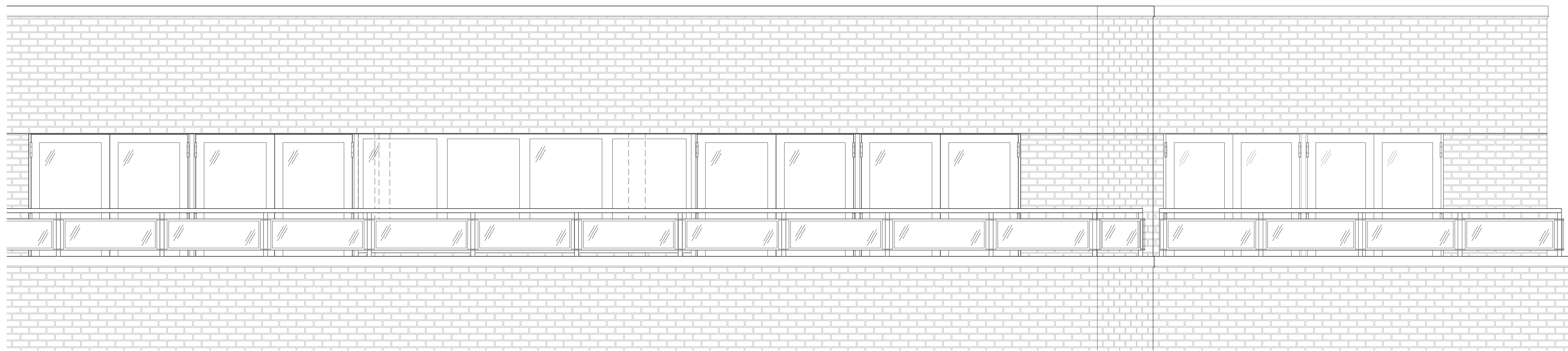
SAWYER | BERSON ARCHITECTURE & LANDSCAPE ARCHITECTURE, LLP. 235 PARK AVENUE SOUTH, 11TH FLOOR NEW YORK, NEW YORK 10003 TEL 212.244.3055 SAWYERBERSON.COM

18TH 'MARKETING' FLOOR 17TH 'CONSTRUCTION' FLOOR 785 FIFTH AVENUE NEW YORK, NY 10022

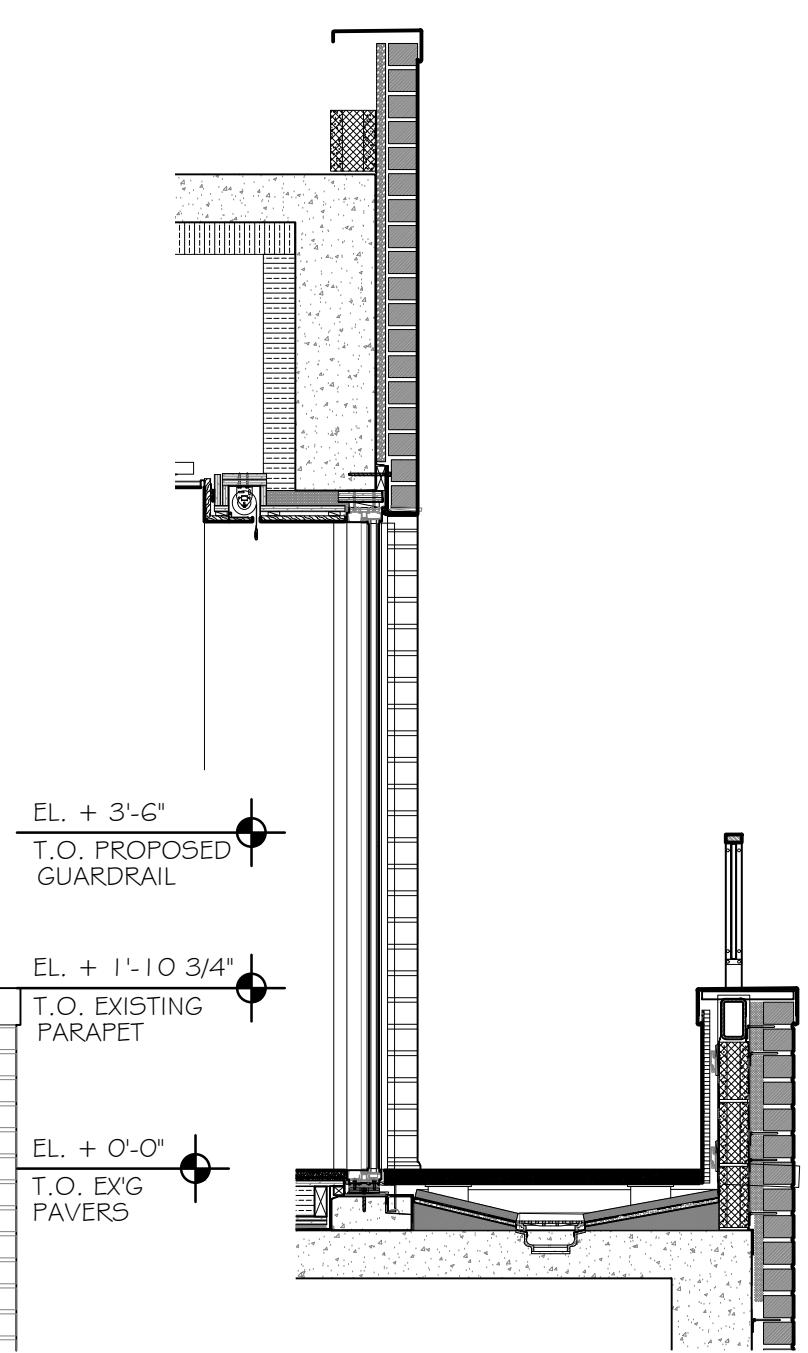
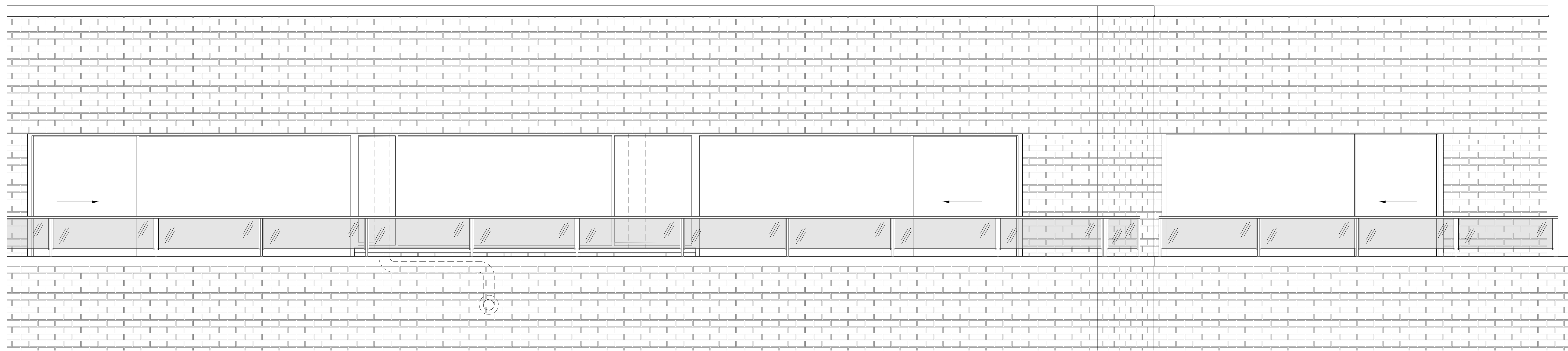
LPC PRESENTATION DESIGNATION REPORT EXCERPTS

SEAL AND SIGNATURE: [Signature] PROJECT NO: 2021.014 DRAWING BY: [Name] CHECKED BY: KP SCALE: AS NOTED SHEET NO: LPC-03

DATE	ISSUE	NO
06.26.2024	ISSUE FOR LPC PUBLIC HEARING	1

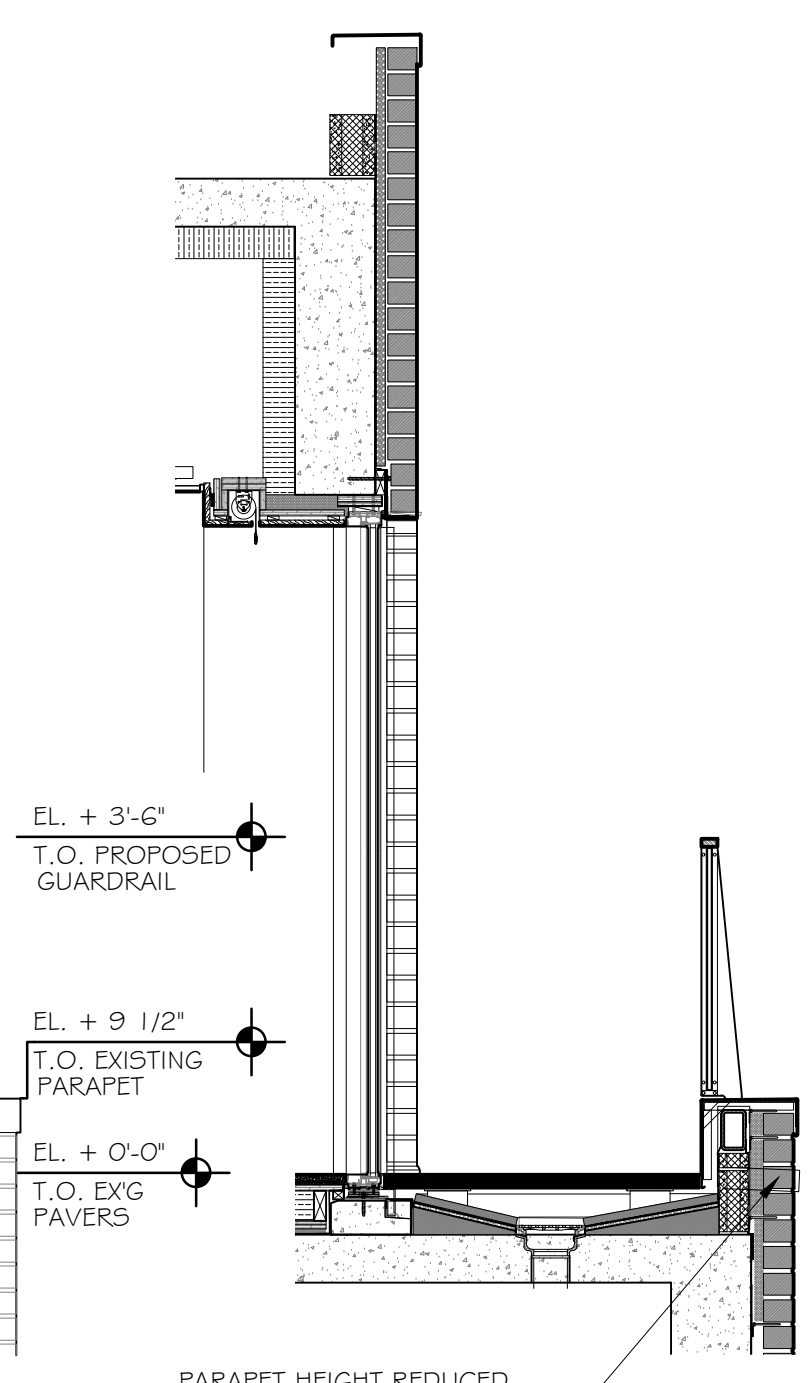
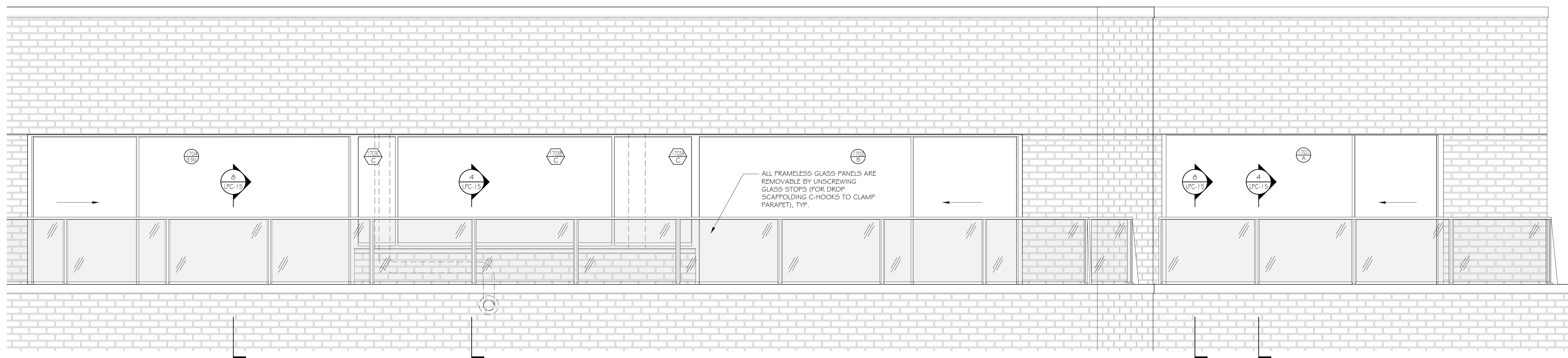


1 ACTUALLY EXISTING/CURRENT | 7TH CONSTRUCTION FLOOR ELEVATION & SECTION - TYPICAL TERRACE
LPC-14 SCALE: 1/2" = 1'-0"



2 PRIOR-APPROVED | 7TH CONSTRUCTION FLOOR ELEVATION & SECTION - TYPICAL TERRACE
LPC-14 SCALE: 1/2" = 1'-0"

SHOWN WITH NEW APPROVED FENESTRATION UNITS (AMENDED CNE 23-08126) AND NEW REPLACEMENT GUARDRAIL ON EXISTING HEIGHT PARAPETS (CNE-24-07671)



4 PROPOSED | 7TH CONSTRUCTION FLOOR ELEVATION & SECTION - TYPICAL TERRACE
LPC-14 SCALE: 1/2" = 1'-0"

ALL FRAMELESS GLASS PANELS ARE REMOVABLE BY UNSCREWING GLASS STOPS (FOR DROP SCAFFOLDING C-HOOKS TO CLAMP PARAPET), TYP.

- NOTES:
1. 1/2" TEMPERED & LAMINATED STARFIRE GLASS PANEL W/ 5GP INTERLAYER & POLISHED EDGES & BIRD-FRIENDLY FRIT PATTERN
 2. 48" TO 60" STANDARD PANEL WIDTH - CONTRACTOR TO EQUALLY SPACE
 3. CONTRACTOR TO VIF ALL DIMENSIONS

SAWYER | BERSON
ARCHITECTURE & LANDSCAPE ARCHITECTURE, LLP
235 PARK AVENUE SOUTH, 11TH FLOOR
NEW YORK, NEW YORK 10003
TEL 212.244.3055
SAWYERBERSON.COM

18TH 'MARKETING' FLOOR
17TH 'CONSTRUCTION' FLOOR
785 FIFTH AVENUE
NEW YORK, NY 10022

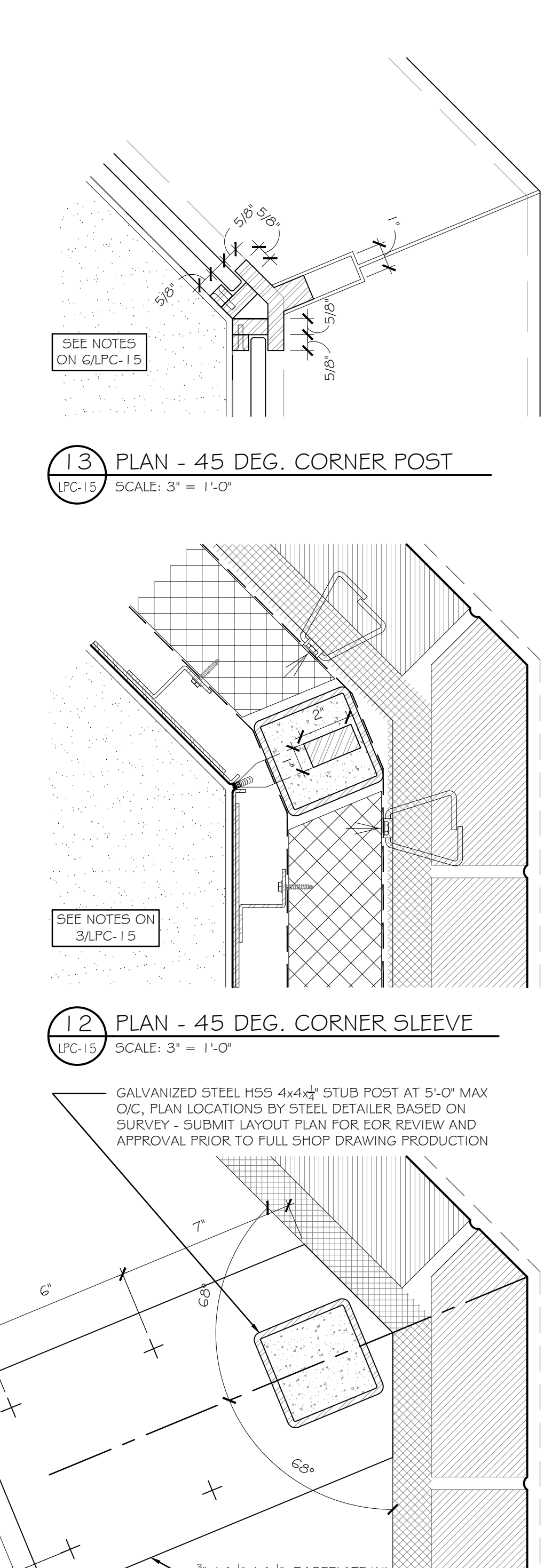
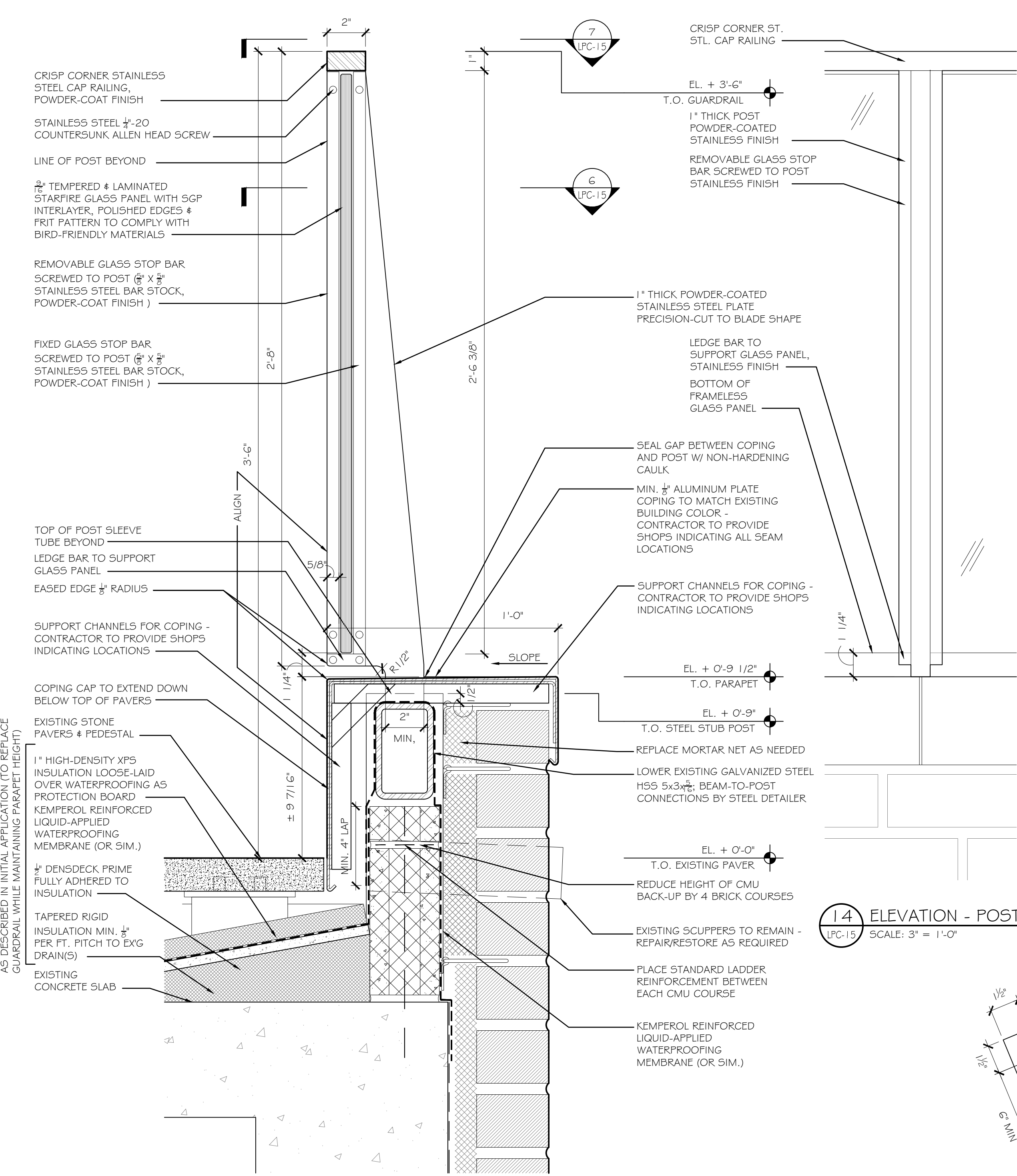
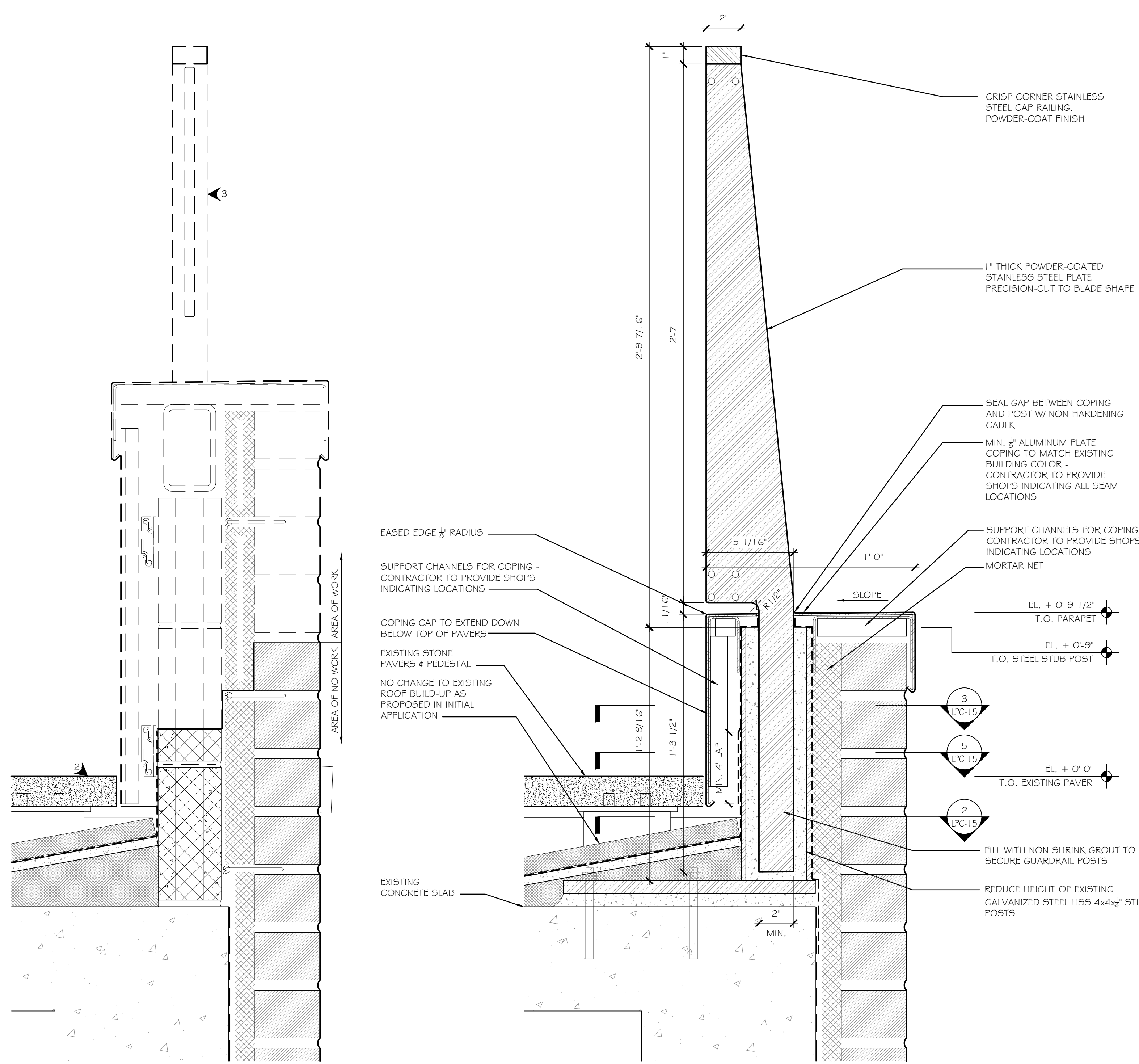
LPC PRESENTATION
EXISTING & PROPOSED
TYPICAL TERRACE
GUARDRAIL ELEVATIONS
AND SECTIONS

SEAL AND SIGNATURE: [Signature]
PROJECT NO: 2021.014
DRAWING BY: JI
CHECKED BY: KP
SCALE: AS NOTED
SHEET NO:
LPC-14

DATE	ISSUE	NO
06.26.2024	ISSUED FOR LPC PUBLIC HEARING	1

NOTES:

1. ALL EXTERIOR MATERIALS AND GLAZING HAVE BEEN EVALUATED FOR COMPLIANCE WITH BC 1403.8, WHERE EXTERIOR WALL ENVELOPE, BIRD HAZARD INSTALLATIONS, FLY-THROUGH CONDITIONS, OR ADJACENCIES TO GREEN ROOFS ARE PRESENT IN THE DESIGN, BIRD-FRIENDLY MATERIALS WITH A THREAT FACTOR RATING OF 25 OR LESS HAVE BEEN SPECIFIED AS INDICATED IN THE MATERIAL LOCATION THREAT FACTOR TABLE.
2. CONTRACTOR TO CONFIRM FEASIBILITY TO MAINTAIN TERRACE BUILD-UP BELOW PAVERS.
3. CONTRACTOR TO CONFIRM FACADE MAINTENANCE COMPANY HAS BEEN CONSULTED TO REVIEW GUARDRAIL DETAILS AS THEY RELATE TO ACCESS FOR WINDOW CLEANING/FACADE MAINTENANCE.



1 SECTION - DEMOLITION
LPC-15 SCALE: 3" = 1'-0"

4 SECTION - POST & SLEEVE
LPC-15 SCALE: 3" = 1'-0"

8 SECTION - PARAPET & REMOVABLE GUARDRAIL
LPC-15 SCALE: 3" = 1'-0"

11 PLAN - 45 DEG. CORNER BASE PLATE
LPC-15 SCALE: 3" = 1'-0"

REMOVALS NOTES:

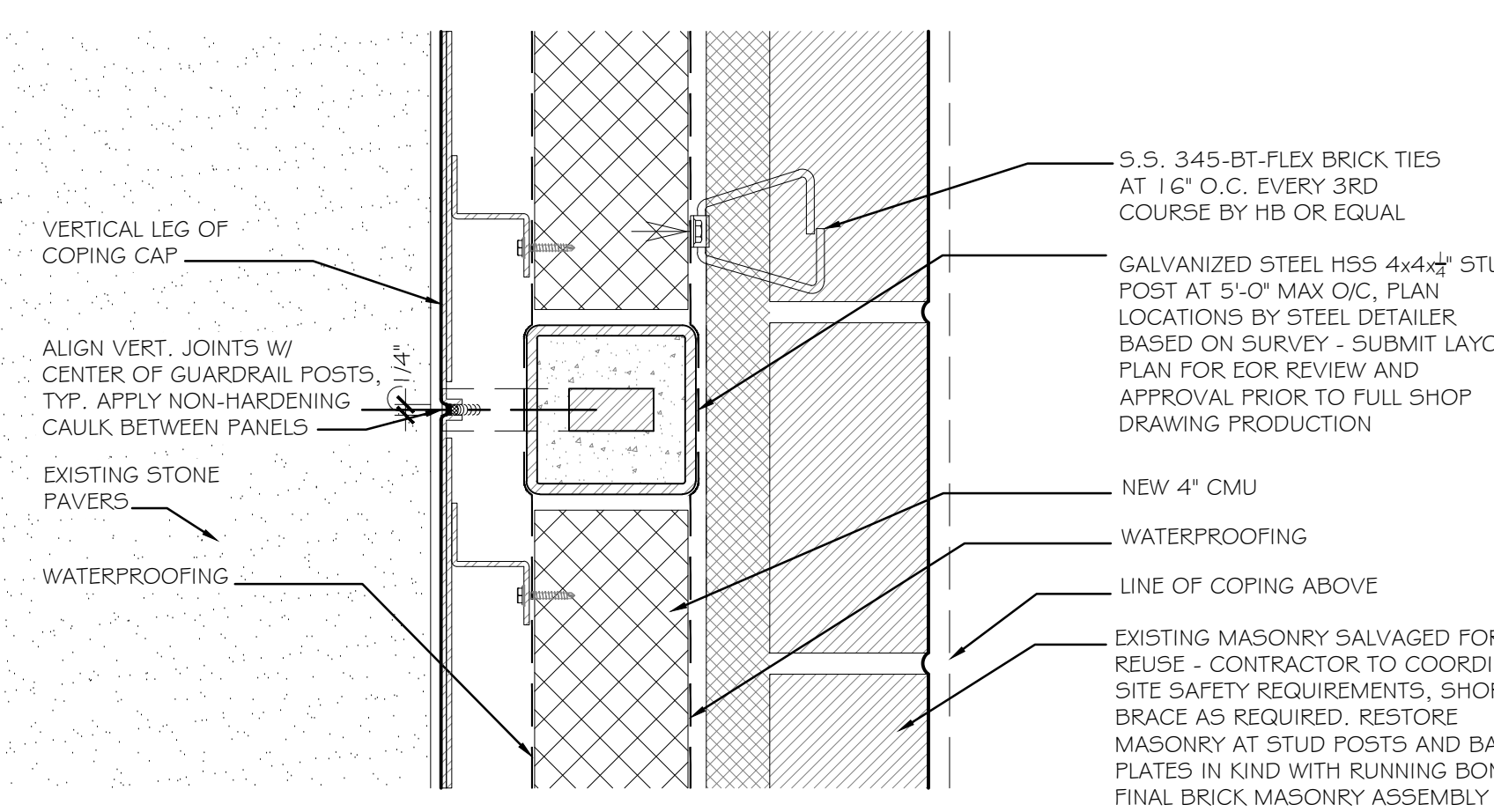
1. CONTRACTOR TO SALVAGE EXISTING MASONRY FOR FUTURE REUSE & COORDINATE SITE SAFETY REQUIREMENTS, SHORE & BRACE AS REQUIRED.
2. CONTRACTOR TO PROTECT PAVERS DURING WORK.
3. CONTRACTOR TO REMOVE EXISTING RAILING & COPING TO PREP FOR NEW.

GENERAL NOTES:

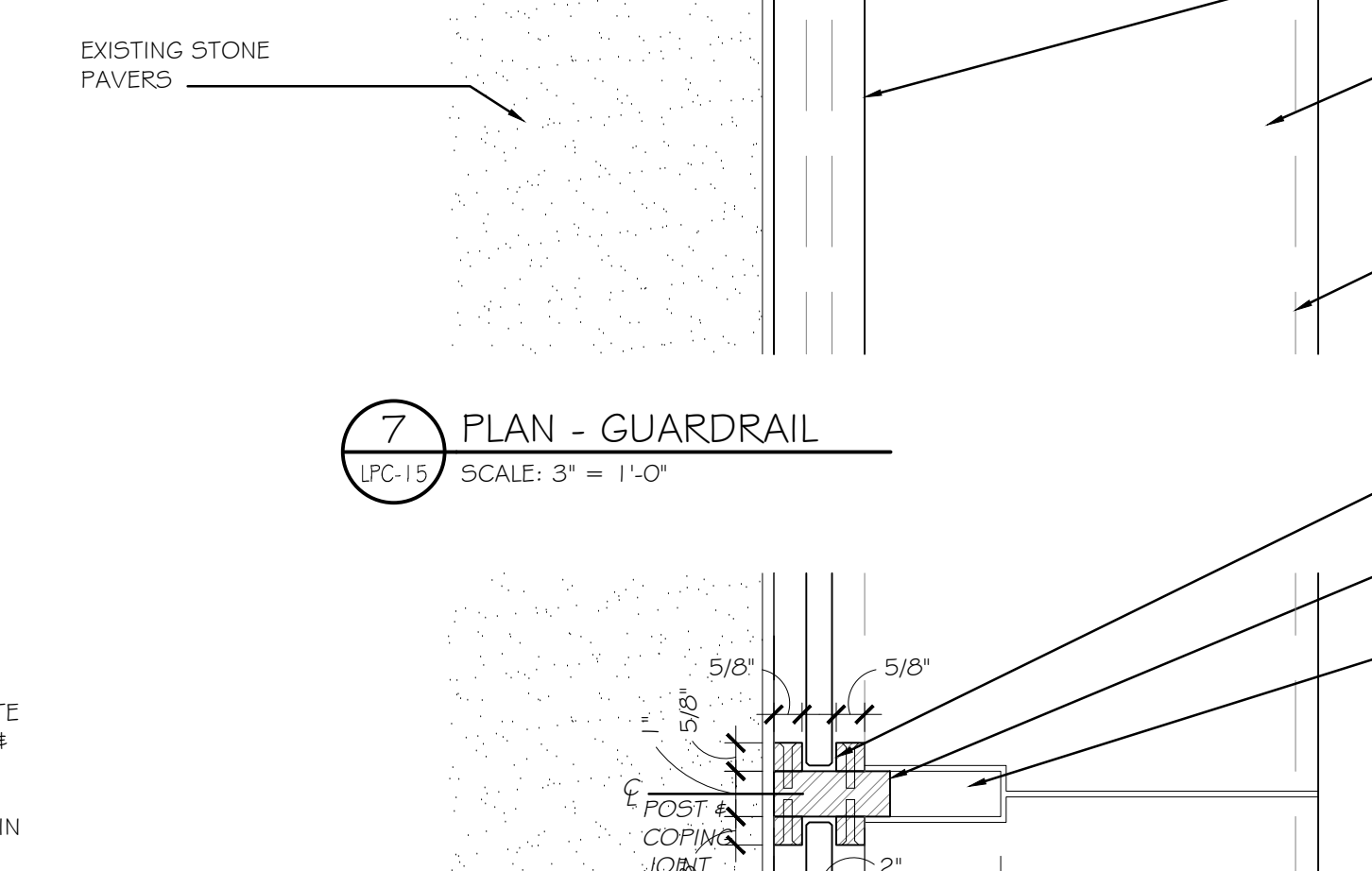
1. CONTRACTOR SHALL VISIT THE SITE AND BE RESPONSIBLE FOR HAVING RECORDED ALL CONDITIONS WITHIN THE SCOPE OF THE PROJECT. NO CLAIM FOR EXTRA COMPENSATION, BASED ON IGNORANCE OF VISIBLE CONDITIONS, WILL BE CONSIDERED.
2. ALL WORK IS TO CONFORM TO LOCAL BUILDING DEPARTMENT REQUIREMENTS, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, OSHA OR THE BEST TRADE PRACTICES, WHICHEVER IS HIGHER.
3. CONTRACTOR TO VERIFY ALL INDICATED CONDITIONS BEFORE STARTING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHT & EOR. THE DRAWINGS REFLECT CONDITIONS REASONABLY INTERPRETED FROM THE EXISTING VISIBLE CONDITIONS, OR FROM DRAWINGS AND INFORMATION FURNISHED BY THE OWNER, BUT CANNOT BE GUARANTEED BY THE ARCHITECT.
4. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR THE PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE ARCHITECT SHALL BE INCLUDED IN THE WORK AS IF IT WERE SPECIFIED OR INDICATED IN THE DRAWINGS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNION AND EQUAL OPPORTUNITY STANDARDS OR REQUIREMENTS WHERE APPLICABLE.
6. CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF BUILDING MANAGEMENT, LOCAL AUTHORITIES AND/OR NEIGHBORHOOD ASSOCIATIONS.
7. ALL INDICATED SURVEY MATERIAL IS FOR GENERAL INFORMATION. THE ARCHITECT CANNOT BE RESPONSIBLE FOR ITS CONTENT OR CORRECTNESS.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING OR NEW CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. ANY DAMAGE CAUSED BY, OR DURING THE EXECUTION OF, THE WORK, IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED TO THE OWNER'S SATISFACTION.
9. CONTRACTOR SHALL KEEP THE CONSTRUCTION SITE FREE AND CLEAR OF ALL DEBRIS AND ALL UNAUTHORIZED PERSONS.
10. DRAWINGS MAY BE ROUGH SCALED FOR ESTIMATING AND GENERAL REFERENCE ONLY.
11. CONTRACTOR SHALL LAY OUT HIS WORK, BE RESPONSIBLE FOR ALL DIMENSIONS AND PROVIDE ALL DIMENSIONS AS REQUIRED FOR OTHER TRADES (ELECTRICAL, PLUMBING, ETC.).
12. ALL PATCHING OF EXISTING CONDITIONS SHALL START AT THE NEAREST BREAK IN PLANE OR DIRECTION.
13. CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING AS REQUIRED FOR ALL STRUCTURAL & SAFETY REMOVAL & CONSTRUCTION TASKS. HE SHALL HAVE SOLE RESPONSIBILITY FOR ALL DAMAGE OR INJURIES CAUSED BY THIS WORK AND SHALL REPAIR ALL DEFECTS AT HIS SOLE EXPENSE.
14. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR AFTER SUBSTANTIAL COMPLETION. THIS GUARANTEE SHALL COVER ALL OF THE GENERAL AND SUBCONTRACTOR WORK. ALL DEFECTS DISCOVERED DURING THE GUARANTEE PERIOD SHALL BE REPAIRED TO THE OWNER'S SATISFACTION AT NO COST TO THE OWNER.
15. EVERY OPEN AREA OF TERRACE SHALL COMPLY WITH UNIFORM AND LOCAL BUILDING CODES.

STRUCTURE NOTES:

1. ALL EXPOSED STEEL TO BE FIELD PRIMED WITH TNEPEC SERIES V530 OMNITHANE, PER MANUFACTURER'S SPECS, OR APPROVED EQUAL TYP.
2. ALL STRUCTURAL COMPONENTS ARE AS SPECIFIED BY EOR - CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR FINAL APPROVAL.
3. NEW GUARDRAIL POST STRUCTURE DESIGNED BY EOR TO WITHSTAND LATERAL AND VERTICAL LOADS AS WELL AS LOADS IMPOSED BY FACADE MAINTENANCE SWING STAGES, WHICH INVOLVE TWO INSTANCES OF SIMULTANEOUS 5,000 LB. FACTORED VERTICAL LOAD (DOWN) AND A 550 LB. FACTORED HORIZONTAL LOAD ON THE PARAPET. THE TWO INSTANCES OF THIS LOADING WOULD BE APPROX. 6" APART AND COULD BE ANYWHERE ALONG THE LENGTH OF THE HORIZONTAL H55, WHICH OCCURS BETWEEN GUARDRAIL POST SLEEVE TUBES. THIS LOADING CONFIGURATION IS BASED ON THE FACADE MAINTENANCE DRAWINGS BY ENTEK DATED 6/23/2016."

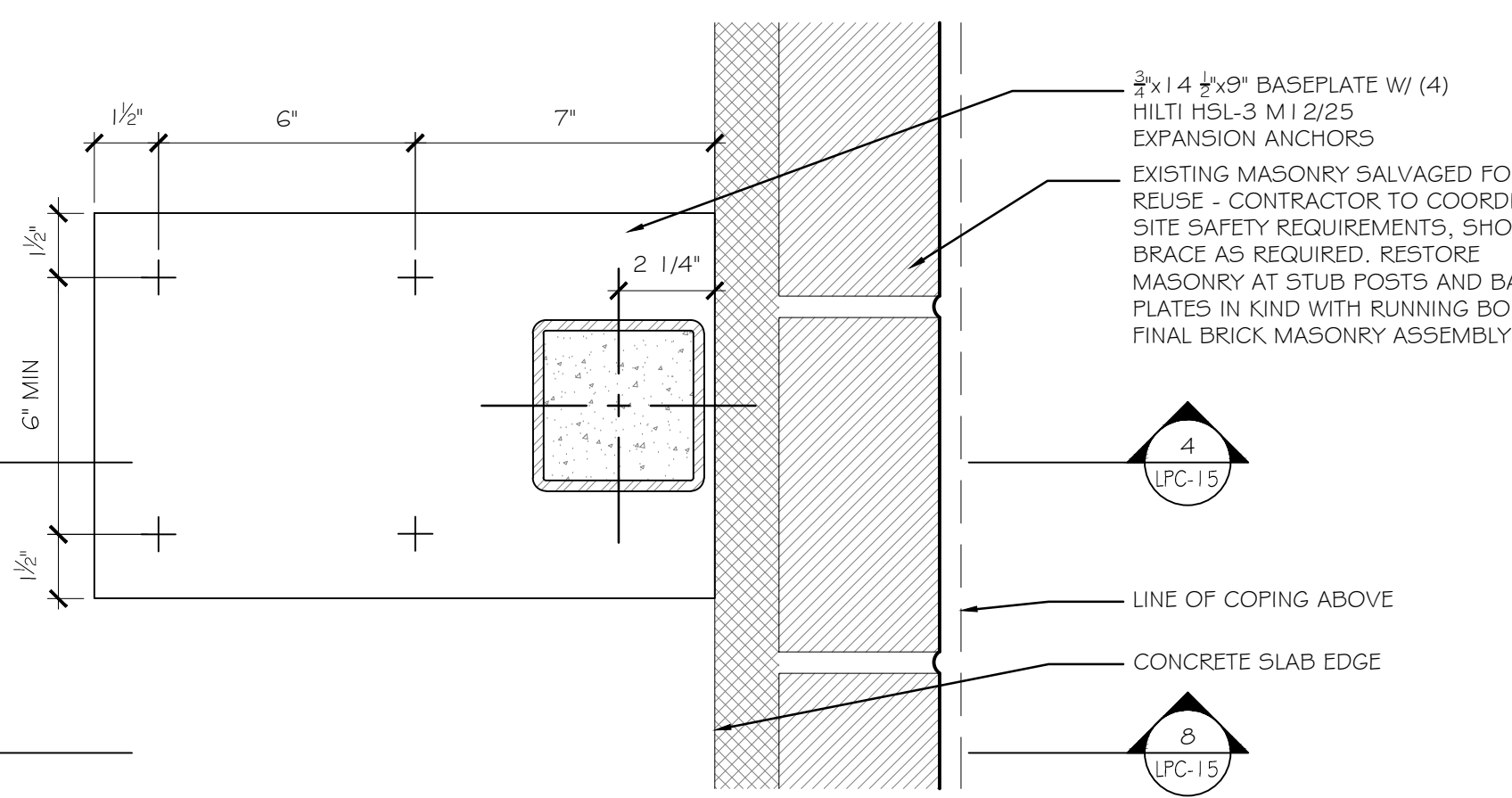


3 PLAN - STRUCTURAL POST
LPC-15 SCALE: 3" = 1'-0"

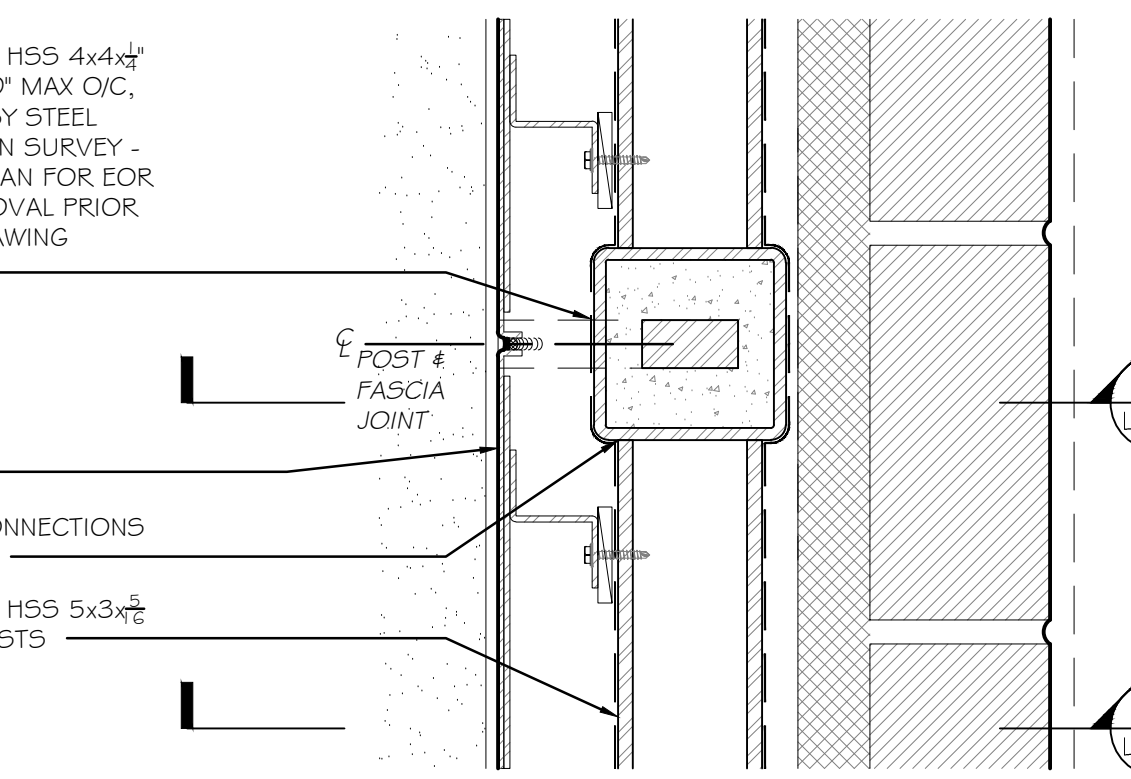


6 PLAN - GUARDRAIL POST
LPC-15 SCALE: 3" = 1'-0"

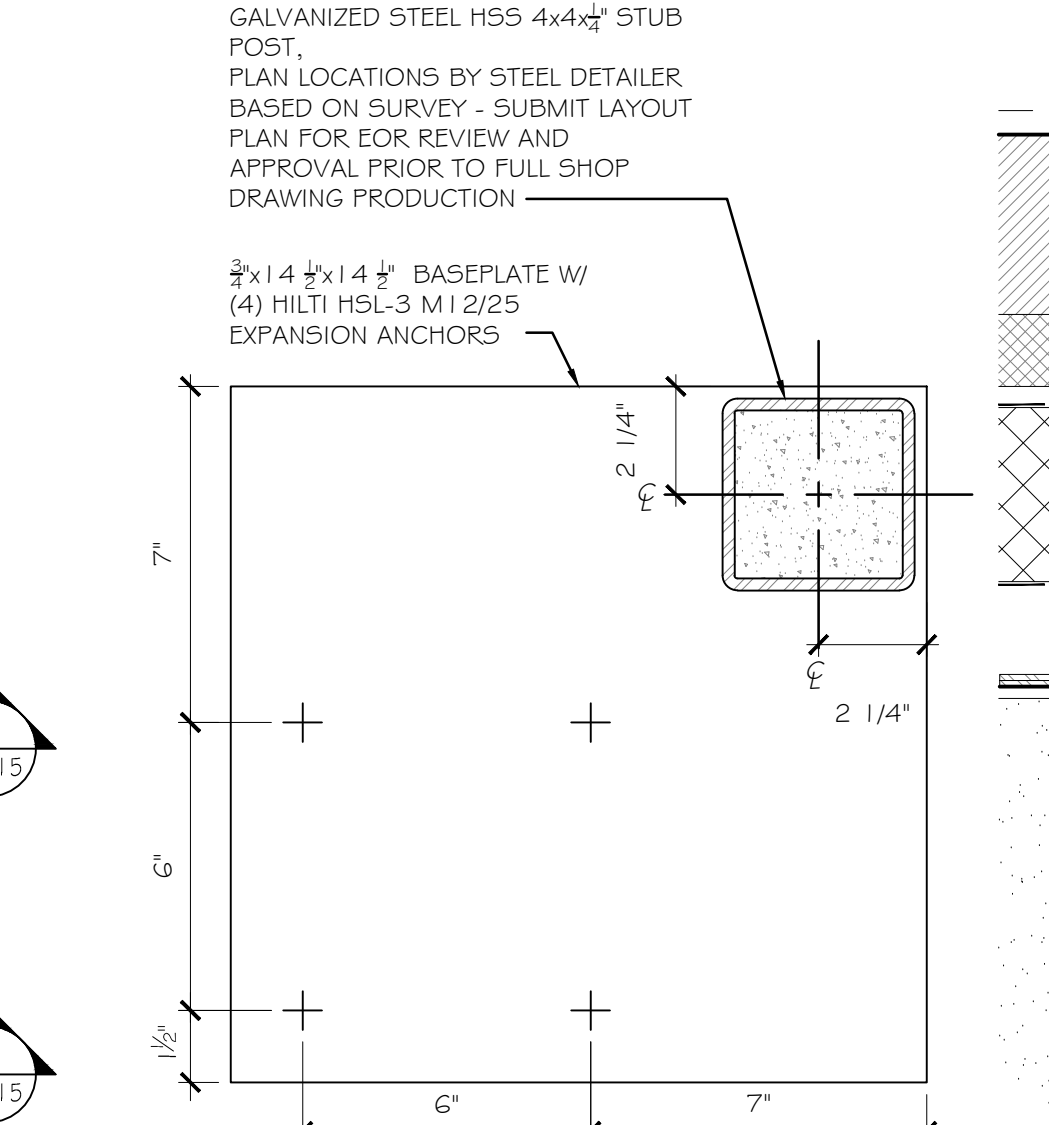
7 PLAN - GUARDRAIL
LPC-15 SCALE: 3" = 1'-0"



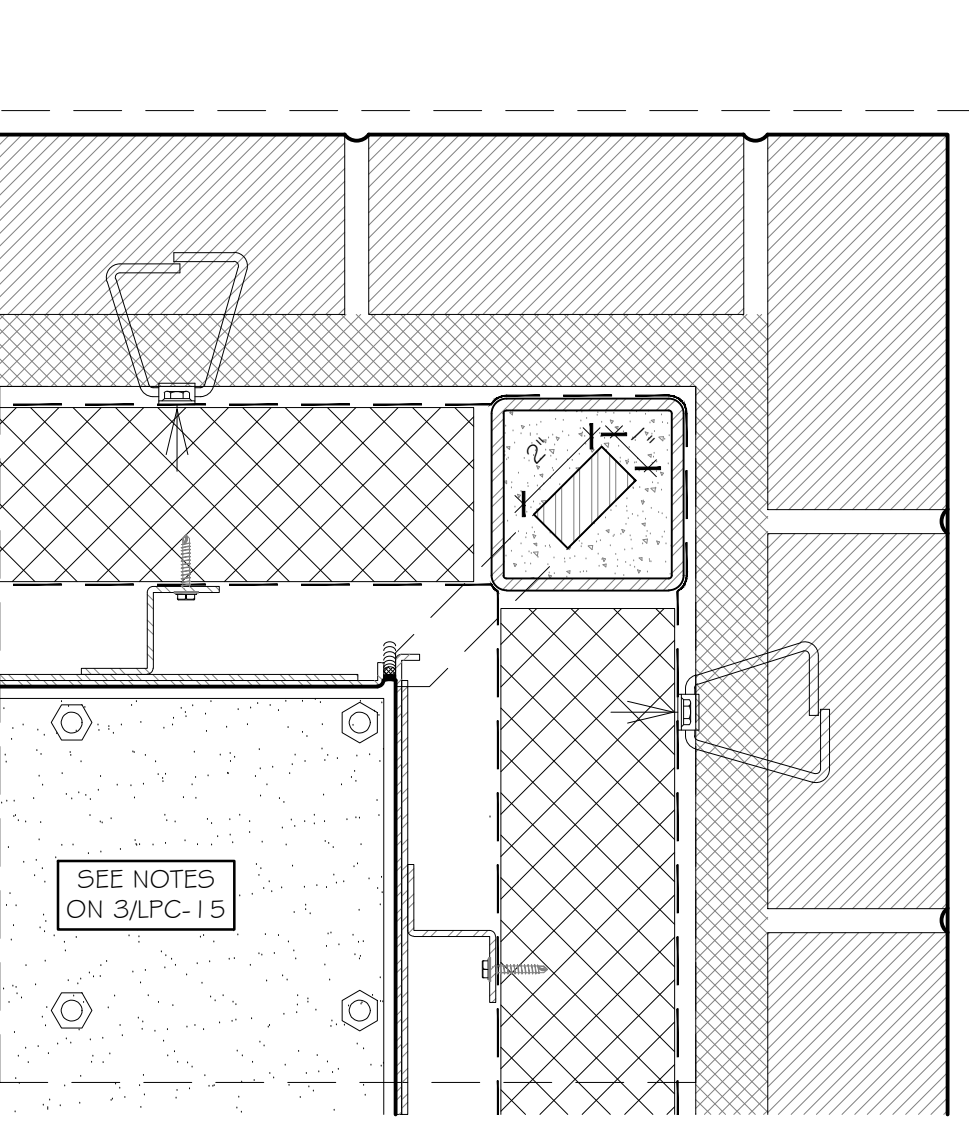
2 PLAN - BASE PLATE
LPC-15 SCALE: 3" = 1'-0"



5 PLAN - STRUCTURAL TUBE & SLEEVE POST
LPC-15 SCALE: 3" = 1'-0"



9A PLAN - CORNER BASE PLATE
LPC-15 SCALE: 3" = 1'-0"



9 PLAN - CORNER STRUCTURAL POST
LPC-15 SCALE: 3" = 1'-0"

SAWYER | BERSON
ARCHITECTURE & LANDSCAPE ARCHITECTURE, LLP
235 PARK AVENUE SOUTH, 11TH FLOOR
NEW YORK, NEW YORK 10003
TEL 212.244.3055
SAWYERBERSON.COM

18TH 'MARKETING' FLOOR
17TH 'CONSTRUCTION' FLOOR
785 FIFTH AVENUE
NEW YORK, NY 10022

LPC PRESENTATION
PROPOSED PARAPET &
GUARDRAIL DETAILS

SEAL AND SIGNATURE: [Signature]
PROJECT NO: 2021.014
DRAWING BY: JI
CHECKED BY: KP
SCALE: AS NOTED
SHEET NO:
LPC-15

August 13, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 6, LPC-24-12001

**785 Fifth Avenue – Upper East Side Historic District
Borough of Manhattan**

To testify virtually, please join Zoom

Webinar ID: 854 0834 7928

Passcode: 643937

By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

888-475-4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.