

September 17, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 2, LPC-24-09981

51 Barrow Street – Greenwich Village Historic District Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 860 1689 5962

Passcode: 322206

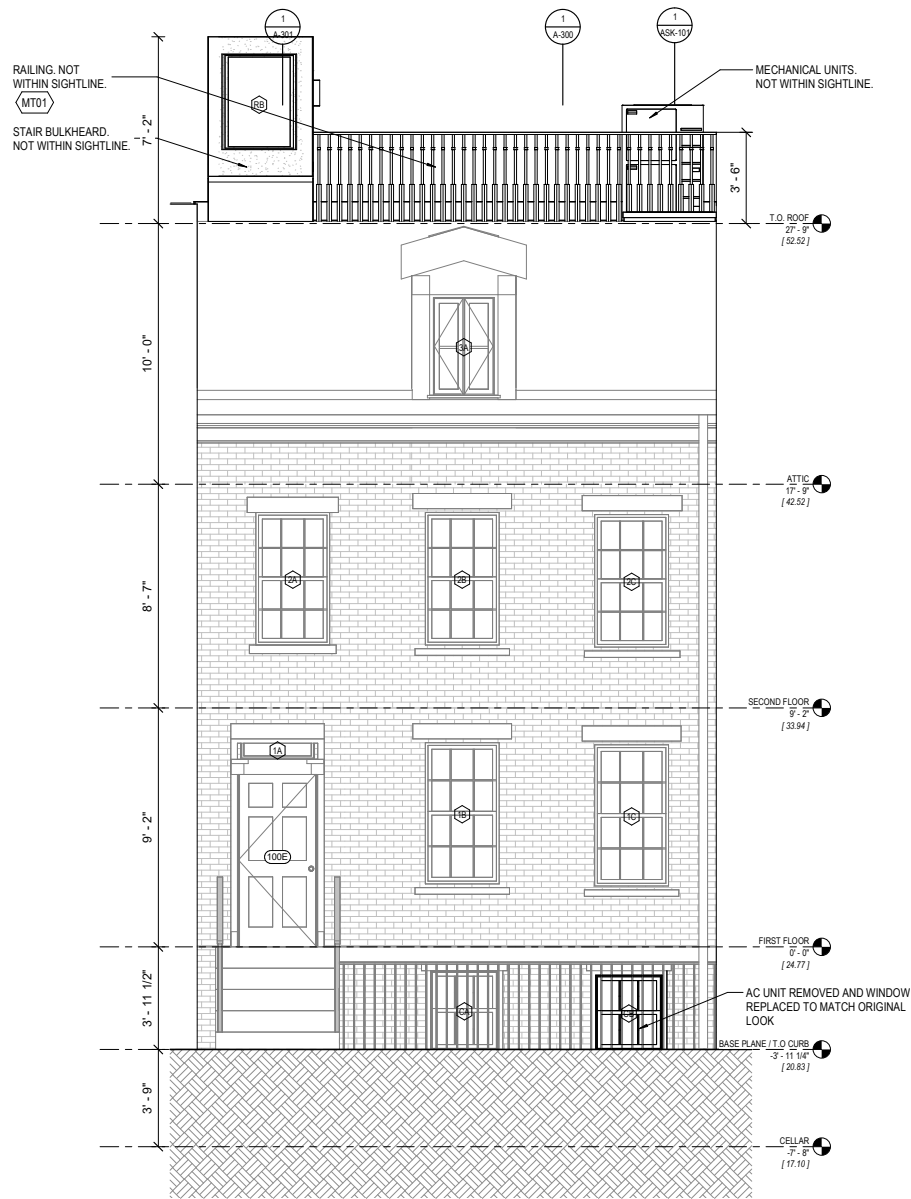
By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

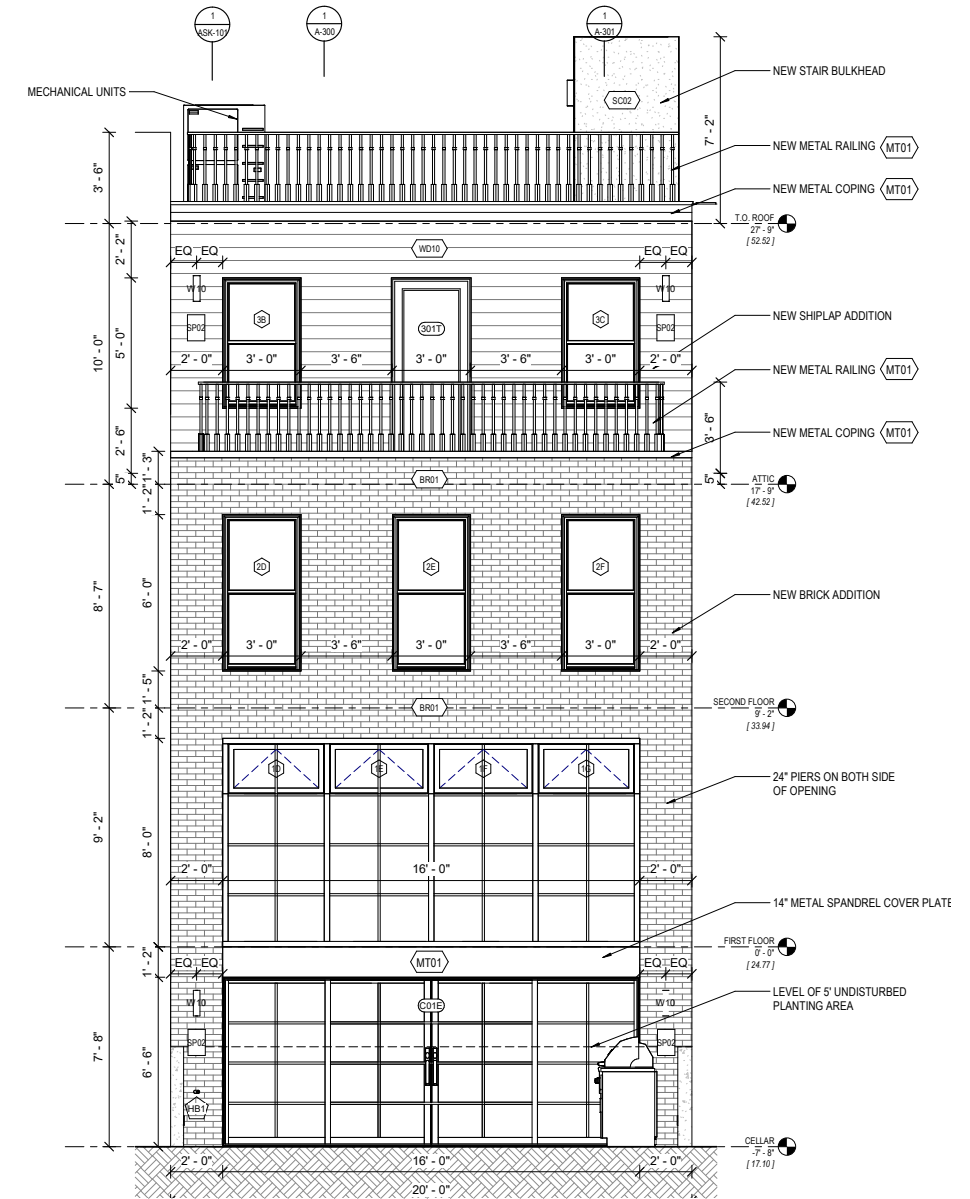
888-475-4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

51 Barrow Street



Proposed Front Elevation



Proposed Rear Elevation

Subject: LPC Presentation
Date: September 17, 2024

Location



Historic District Designation Map



Block Map (ZOLA)



51 Barrow Street

Location



Existing Conditions



Existing Roof



Rear Facade



Rear Facade looking East

Existing Conditions



Existing Cellar Window



Partial Rear Facade



Partial View of the Existing Rear Addition

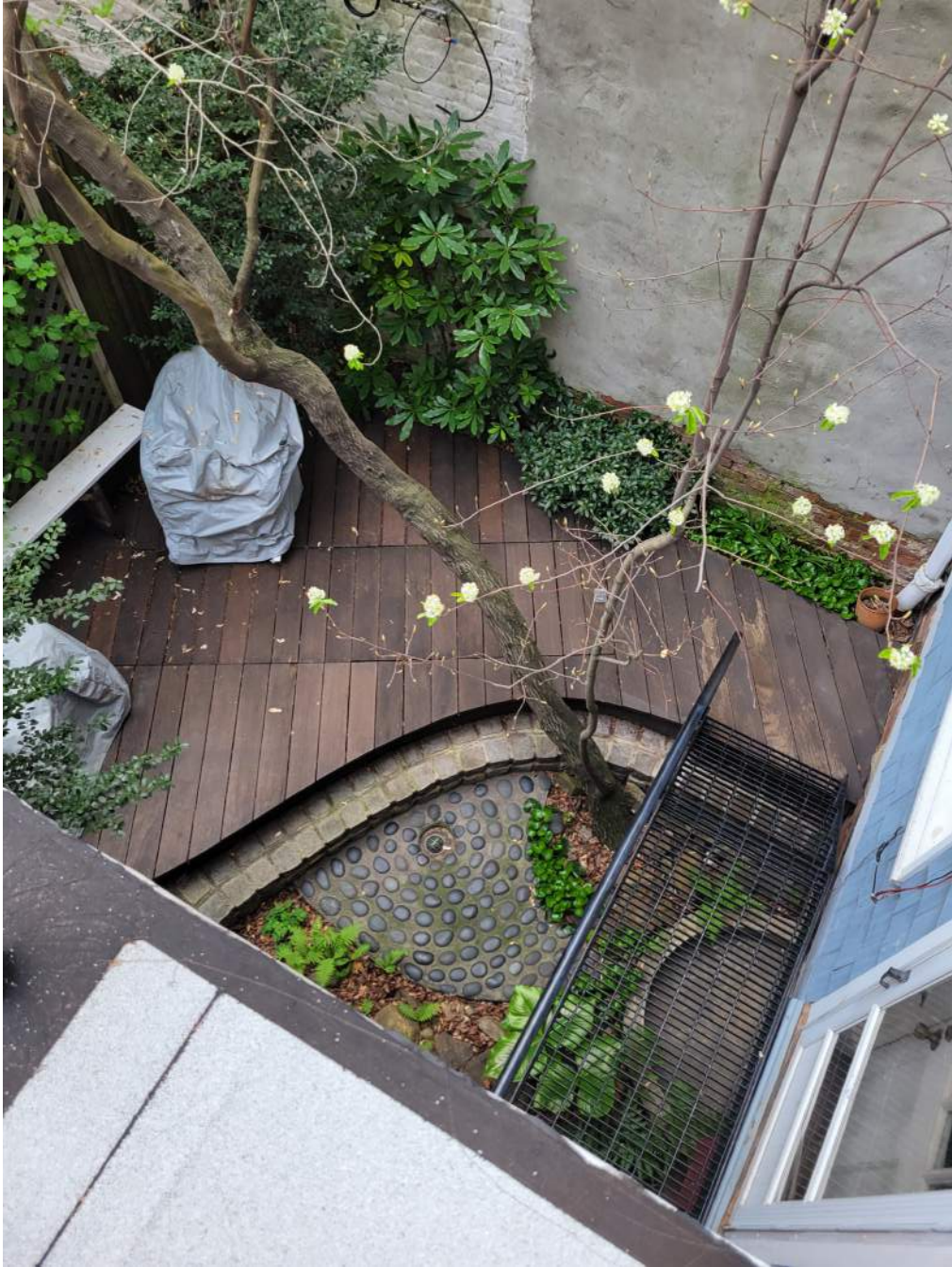
Existing Conditions



Rear Yard looking East



Rear Yard looking Southeast



Rear Yard viewed from Roof of Addition

Structural Condition Report

ISSUE 01



“The brick infill of the back wall was in very poor condition due its lack of, and severely deteriorated, mortar bonding the brick together.

This poses a risk to life safety and means of egress in the event of a fire.”

“Due to the existing fenestration on the back wall, there are limited direct vertical load paths down to the rubble wall foundation.

The current design of the back wall required wood lintels to carry floor and roof loads from above to transfer them down in a circuitous and indirect path.

The combination of the non-linear alignment of fenestration and severely deteriorated condition of the brick infill poses an even greater risk to life safety in the event of a fire. Therefore, full reconstruction of the rear wall will be necessary”



Left: Photo of fire brick infill
Right: Photo of rear facade

ISSUE 02



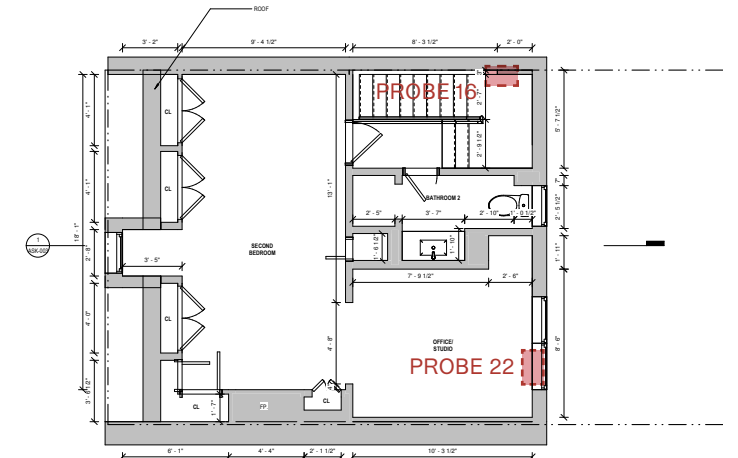
Probe Photos



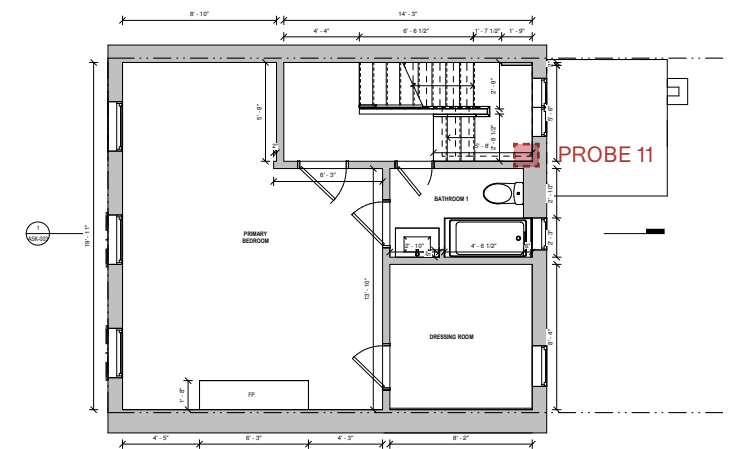
Probe 5 at first floor rear wall and ceiling



Probe 16 at party wall showing original wood frame and newer wood frame towards the rear wall



Attic



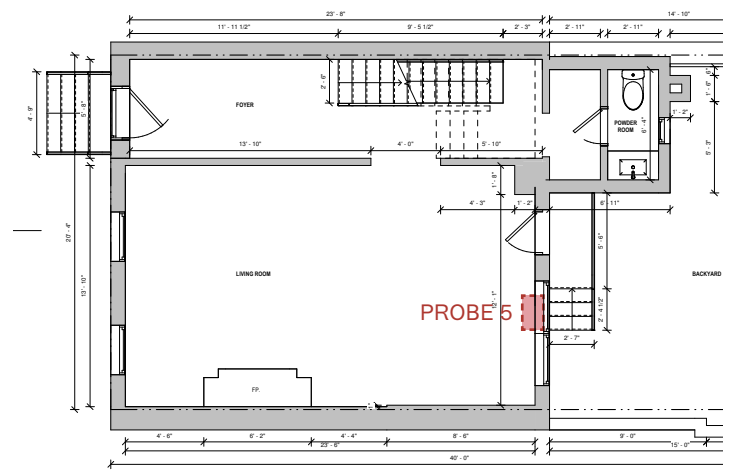
Second Floor



Probe 11 at rear facade showing loose fire brick infill

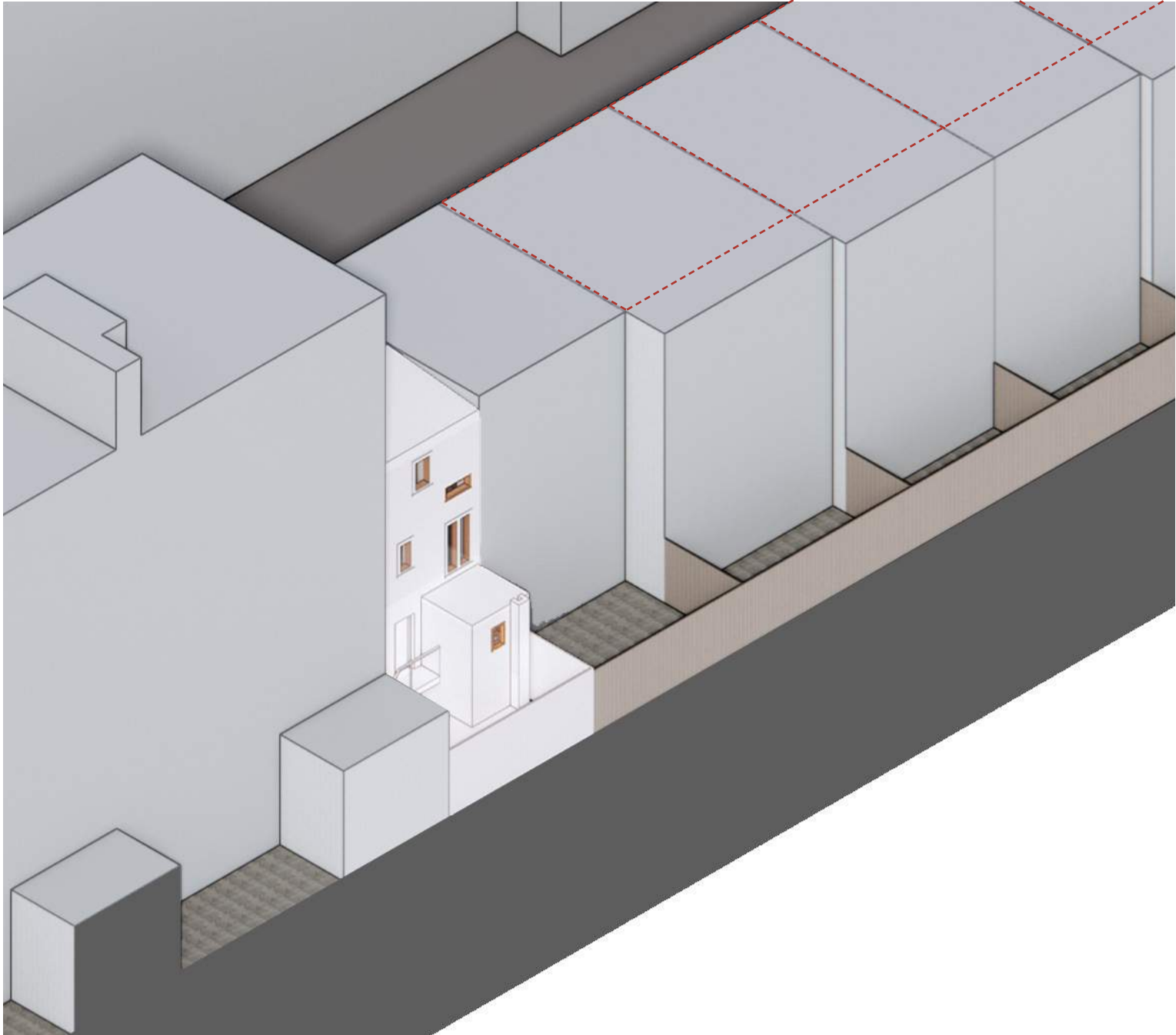


Probe 22 at roof and attic rear wall showing newer framing at existing roof

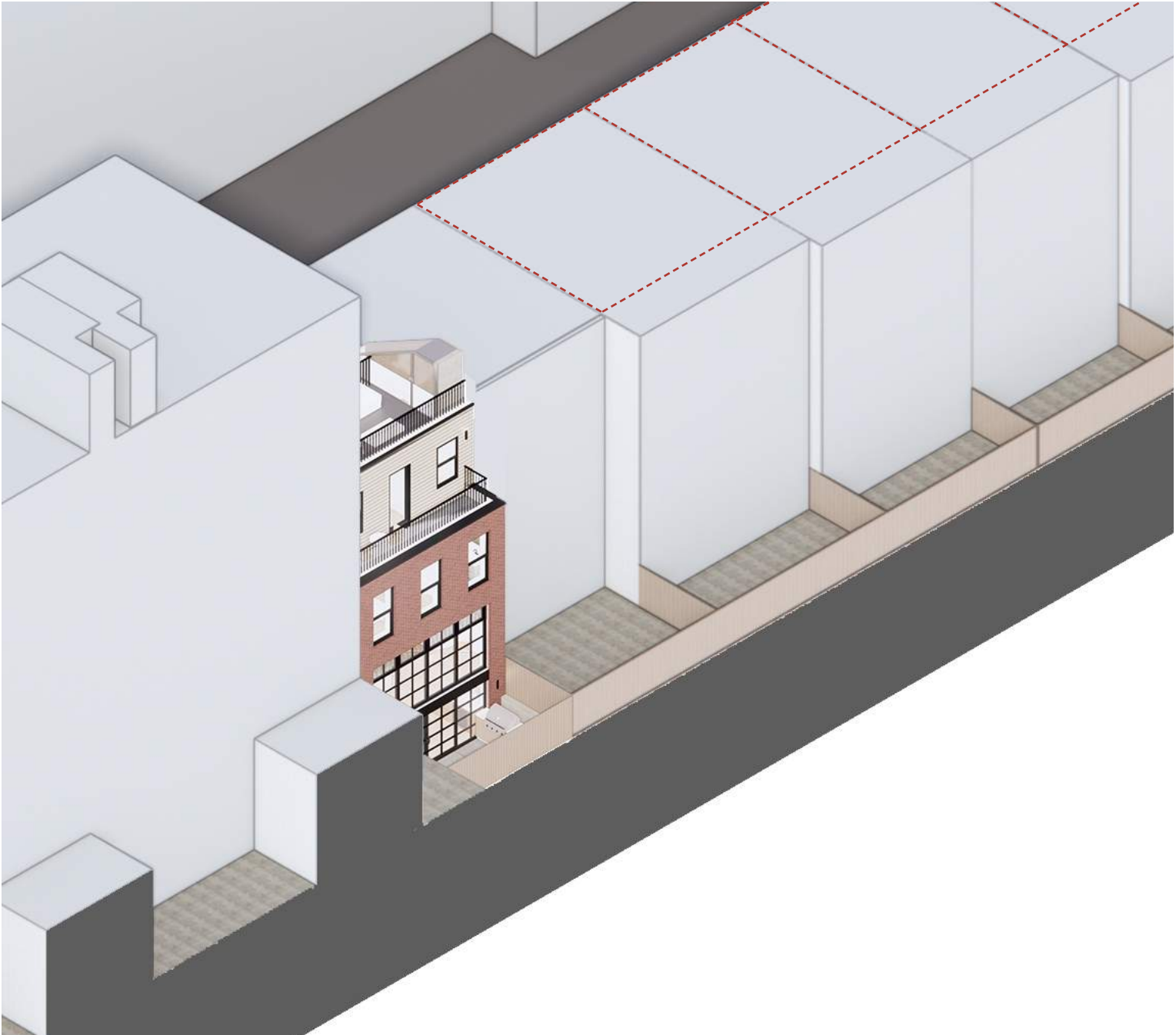


First Floor

Existing & Proposed Conditions

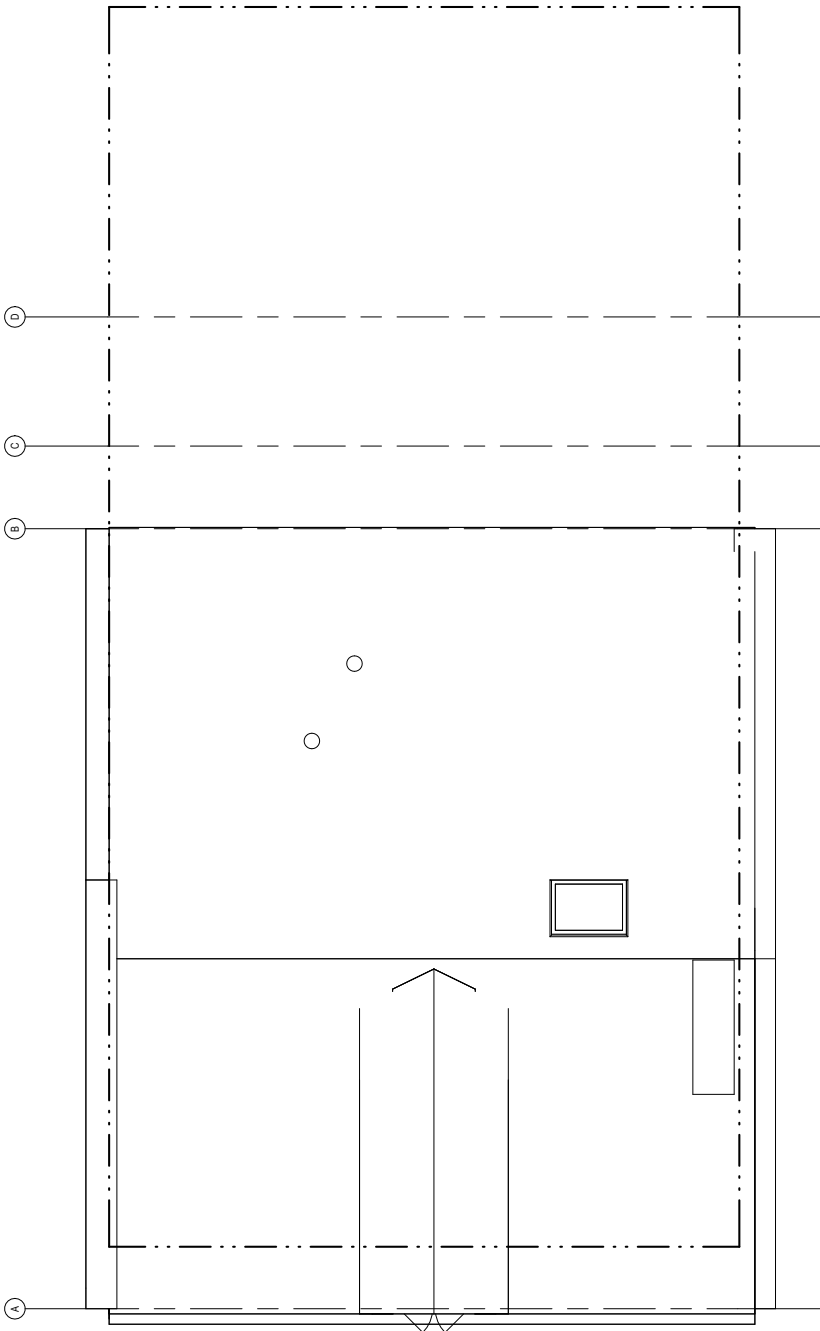


Existing Conditions - Aerial View

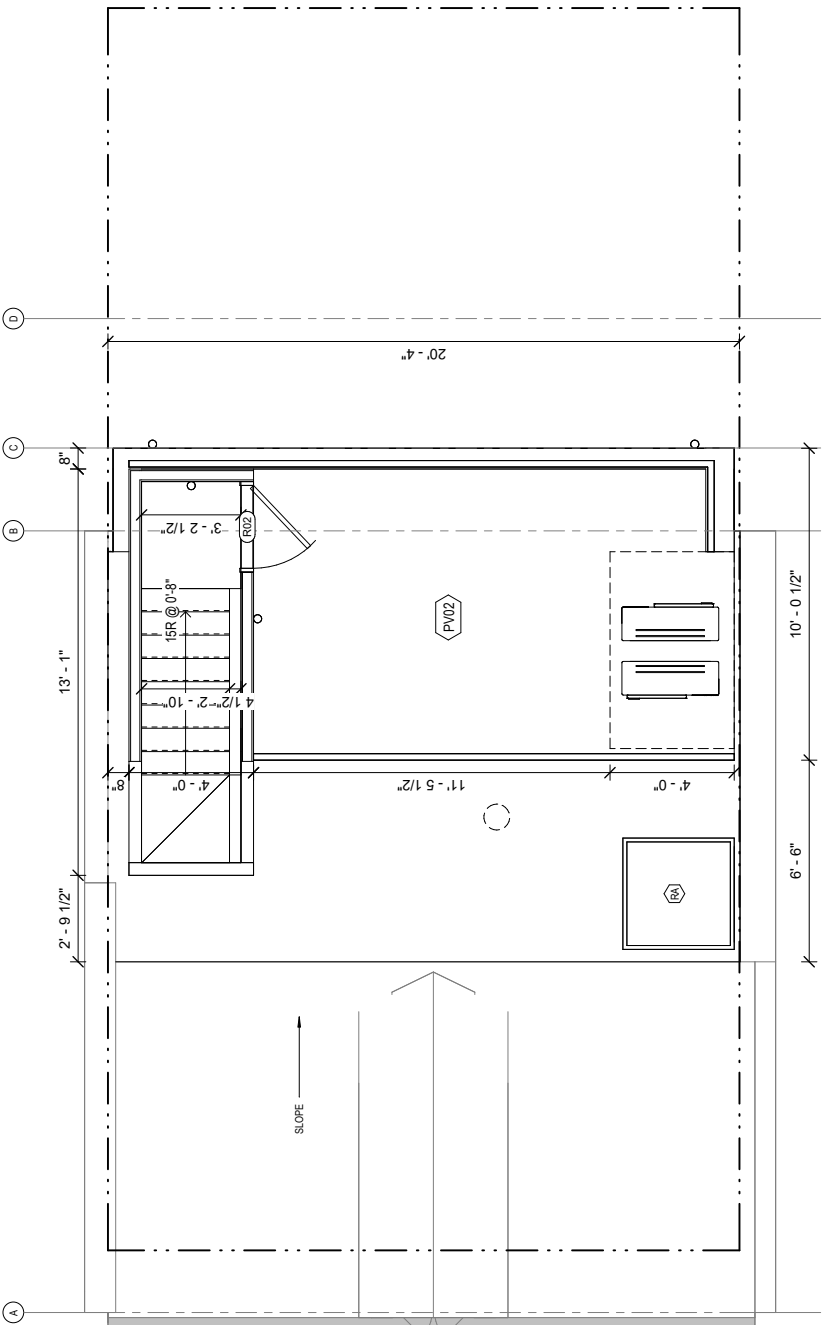


Proposed Conditions - Aerial View

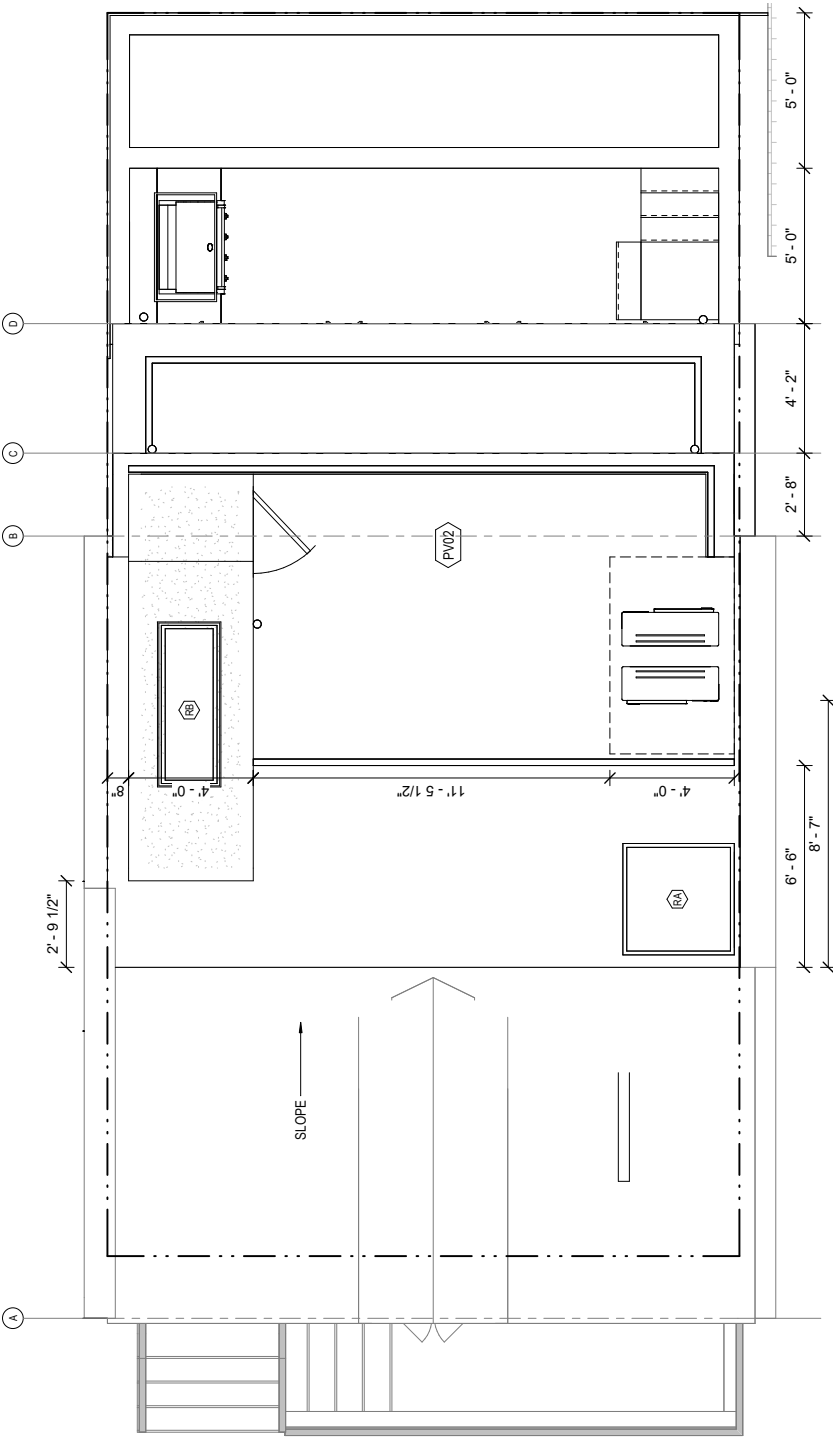
Existing & Proposed Roof Plans



Existing Conditions

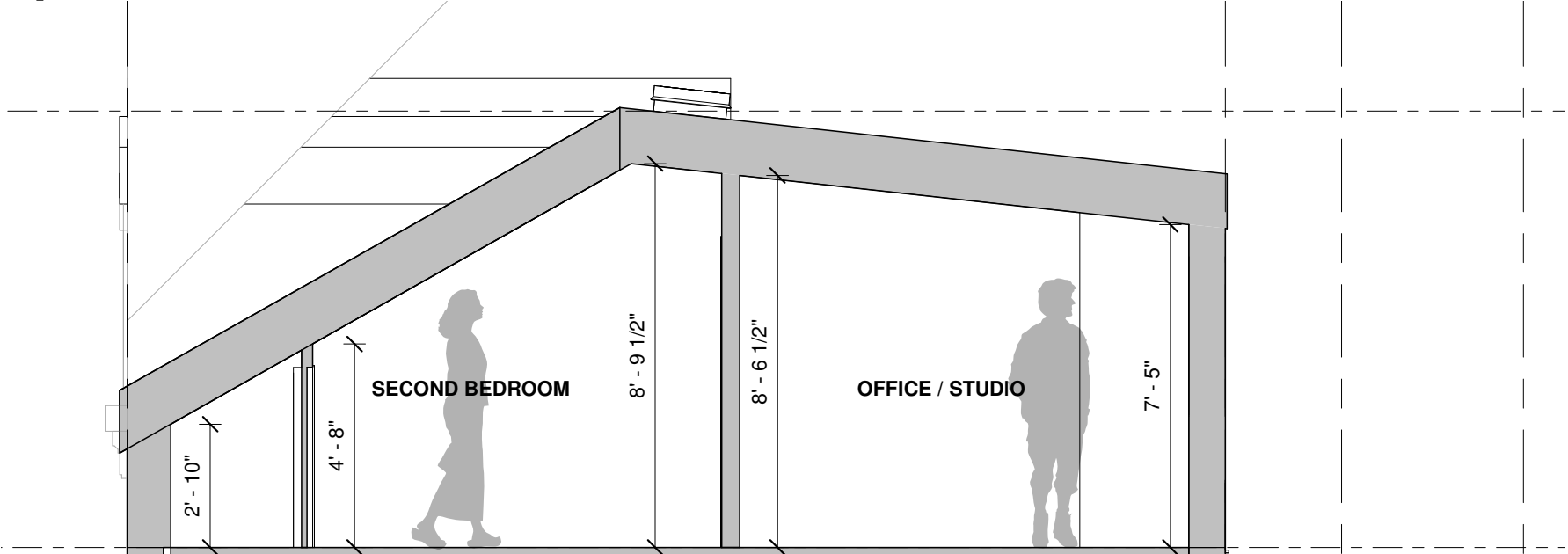


Proposed Roof Level

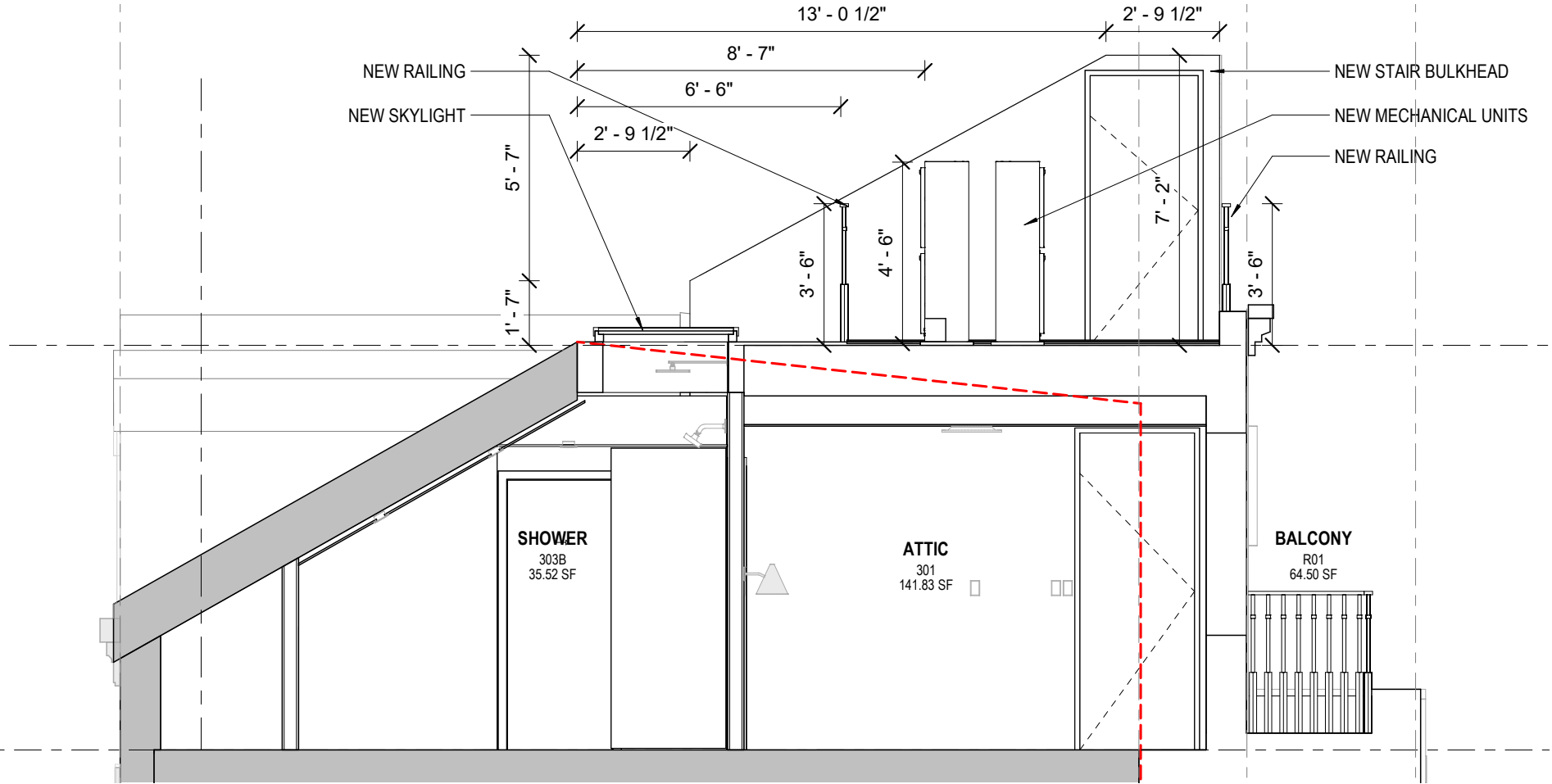


Proposed Rooftop

Existing & Proposed Roof Sections

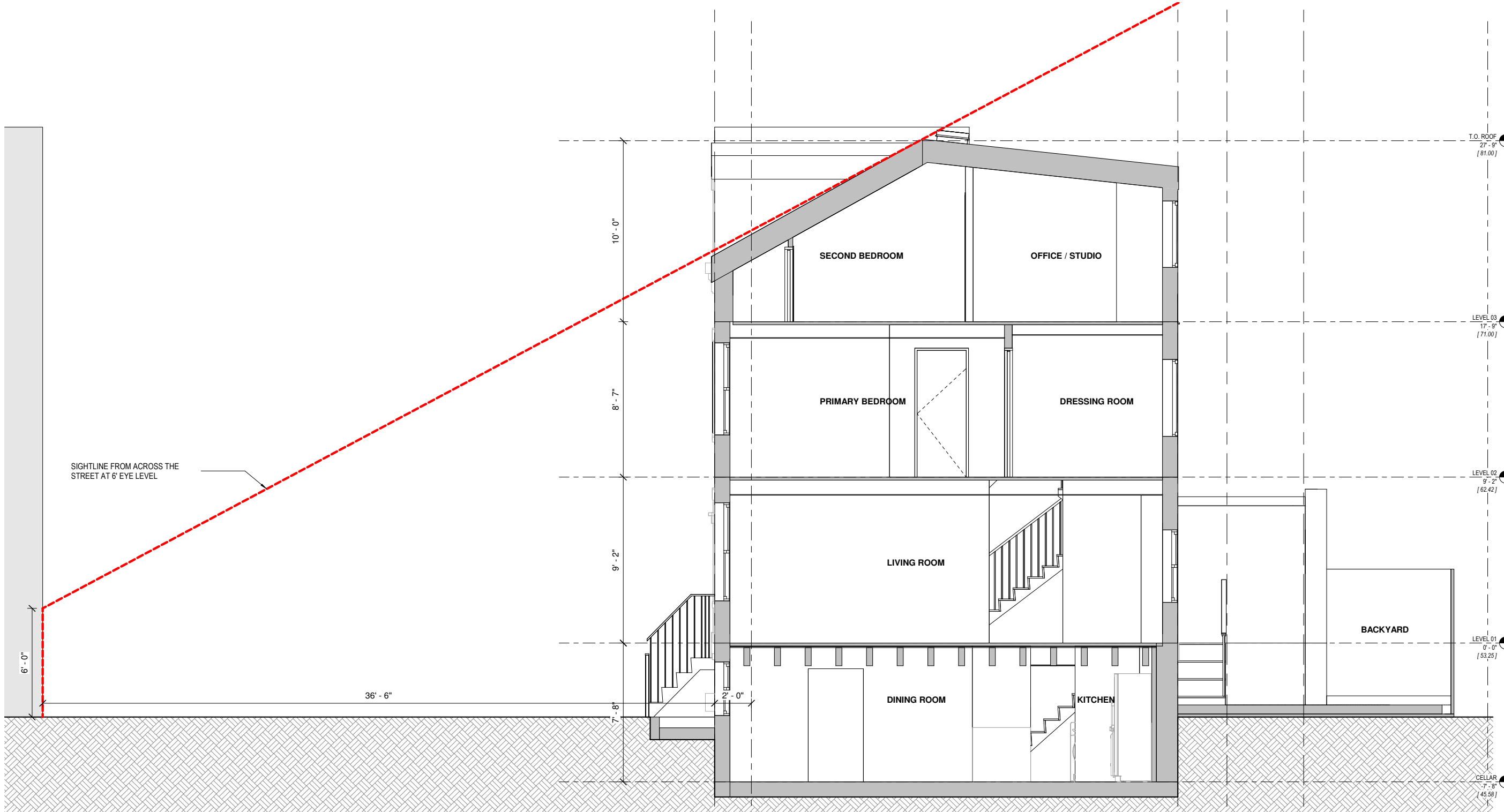


Existing Roof Section



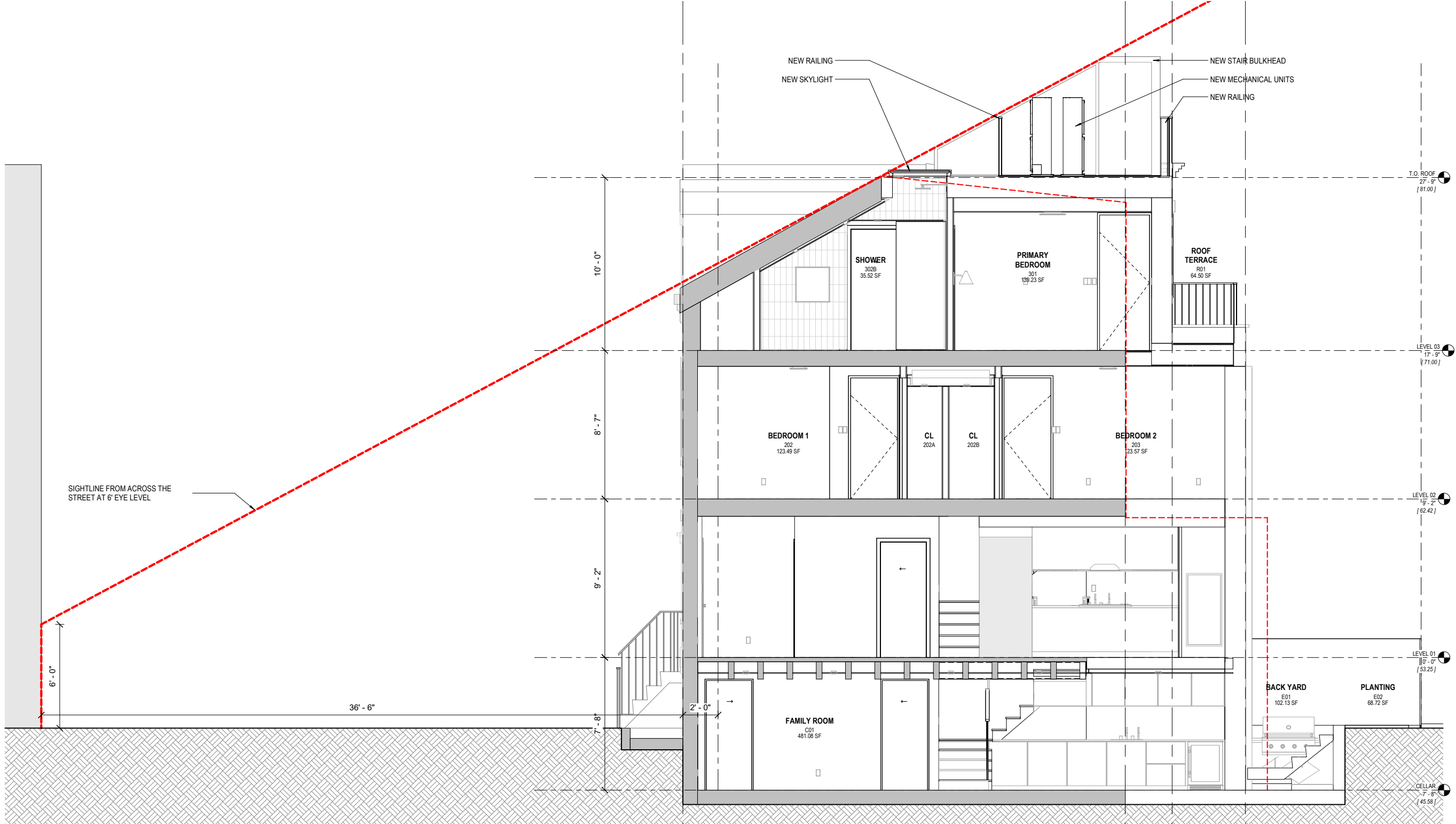
Proposed Roof Section

Existing Sightline Section



Existing Sight-line Section

Proposed Sightline Section



Proposed Sight-line Section

Roof Mock-Ups



Photo of Bulkhead looking East



Photo of Railing and HVAC Unit looking West

Roof Mock-Ups



Photo of Primary Facade looking East



Photo of Primary Facade looking West



Photo of Primary Facade

Roof Mock-Ups

51 Barrow behind these buildings

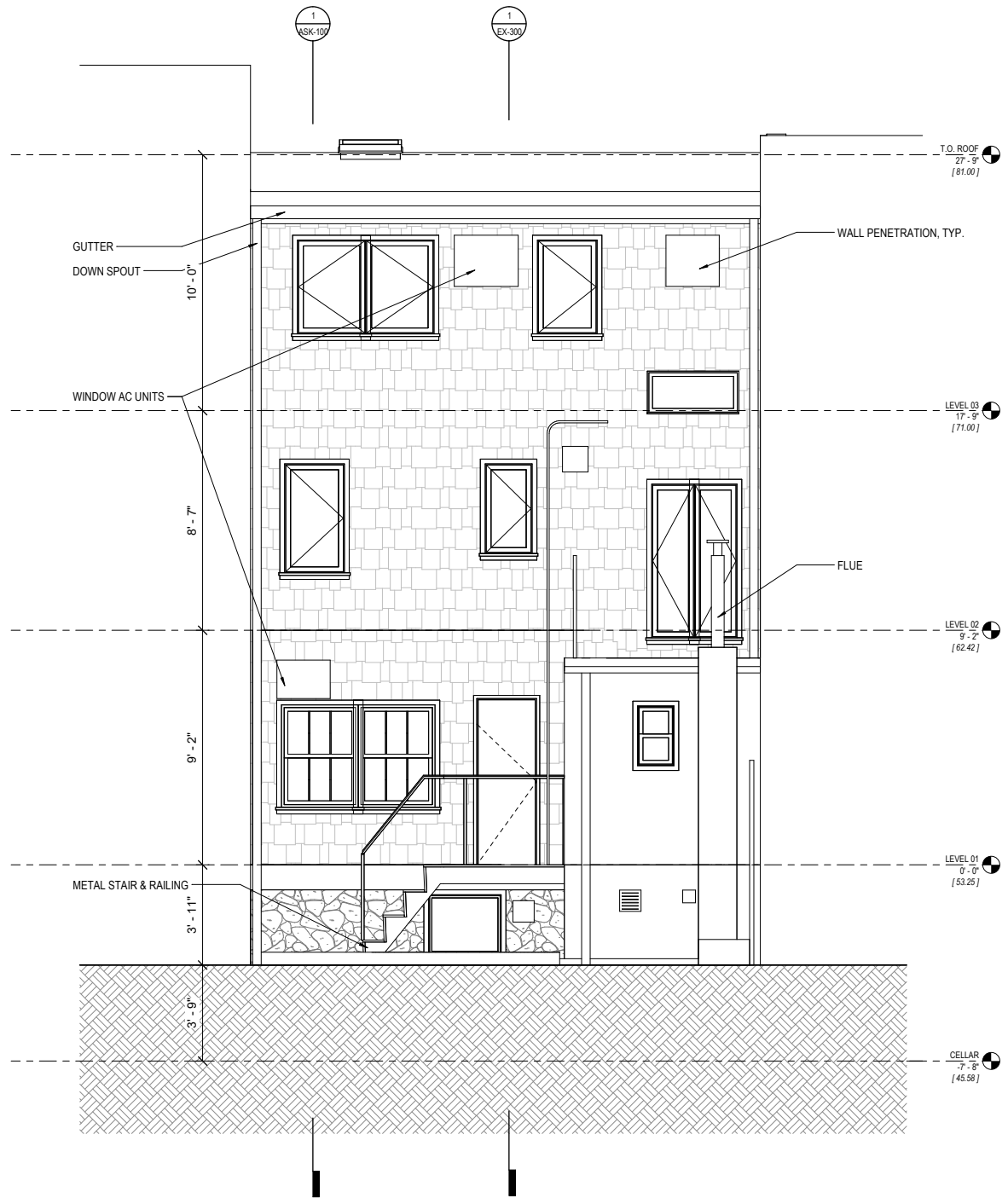


Photo from 7th Ave. Building not visible. Orange netting is at 43 Barrow.

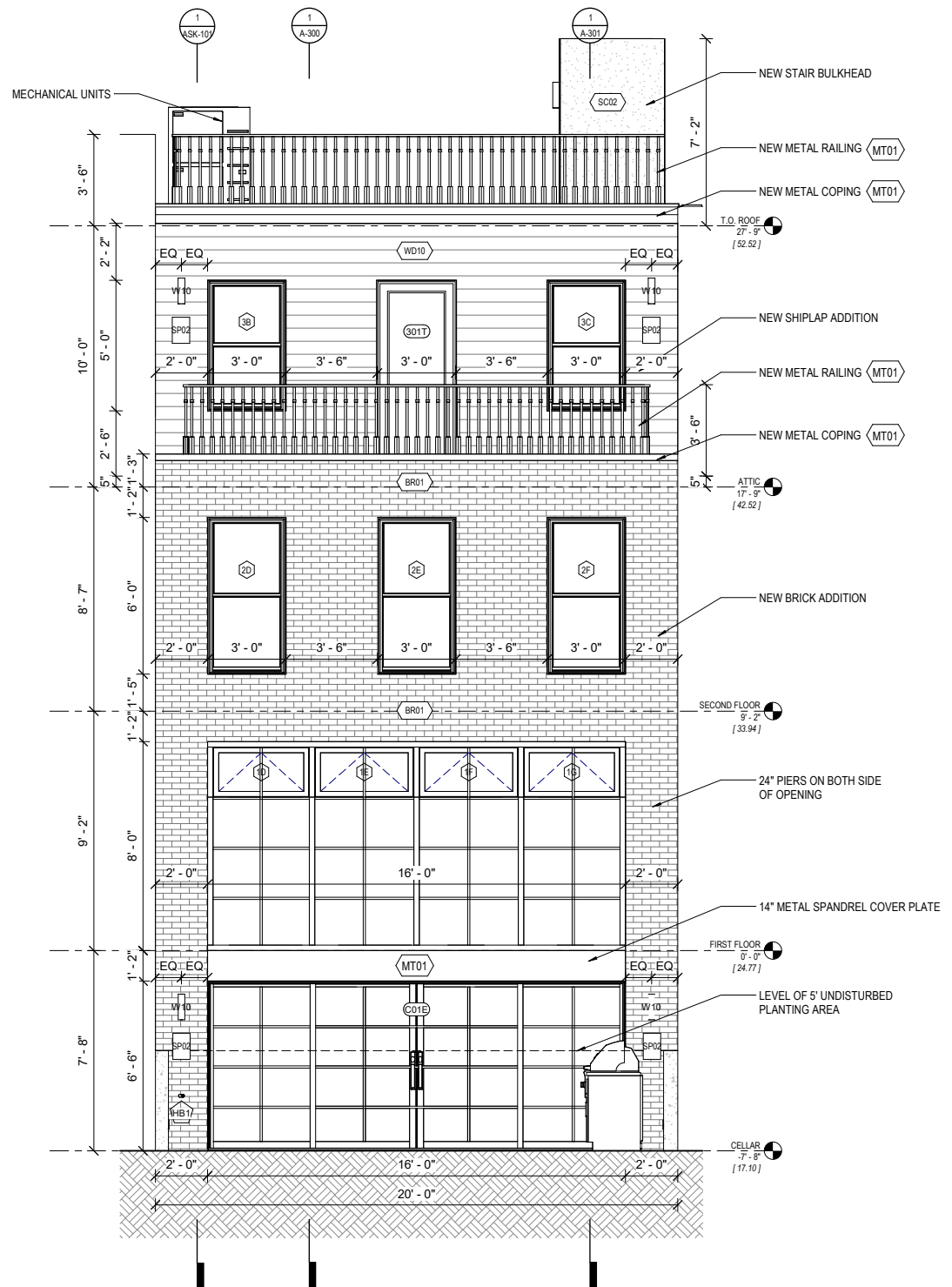


Photo from Commerce. Building not visible.

Existing & Proposed Rear Elevation



Existing Rear Elevation



Proposed Rear Elevation

Material Palette



Wood Shiplap Siding



'Rocky Mountain' Glen Gery Brick



'Covington' Glen Gery Paver



Black Steel Railings

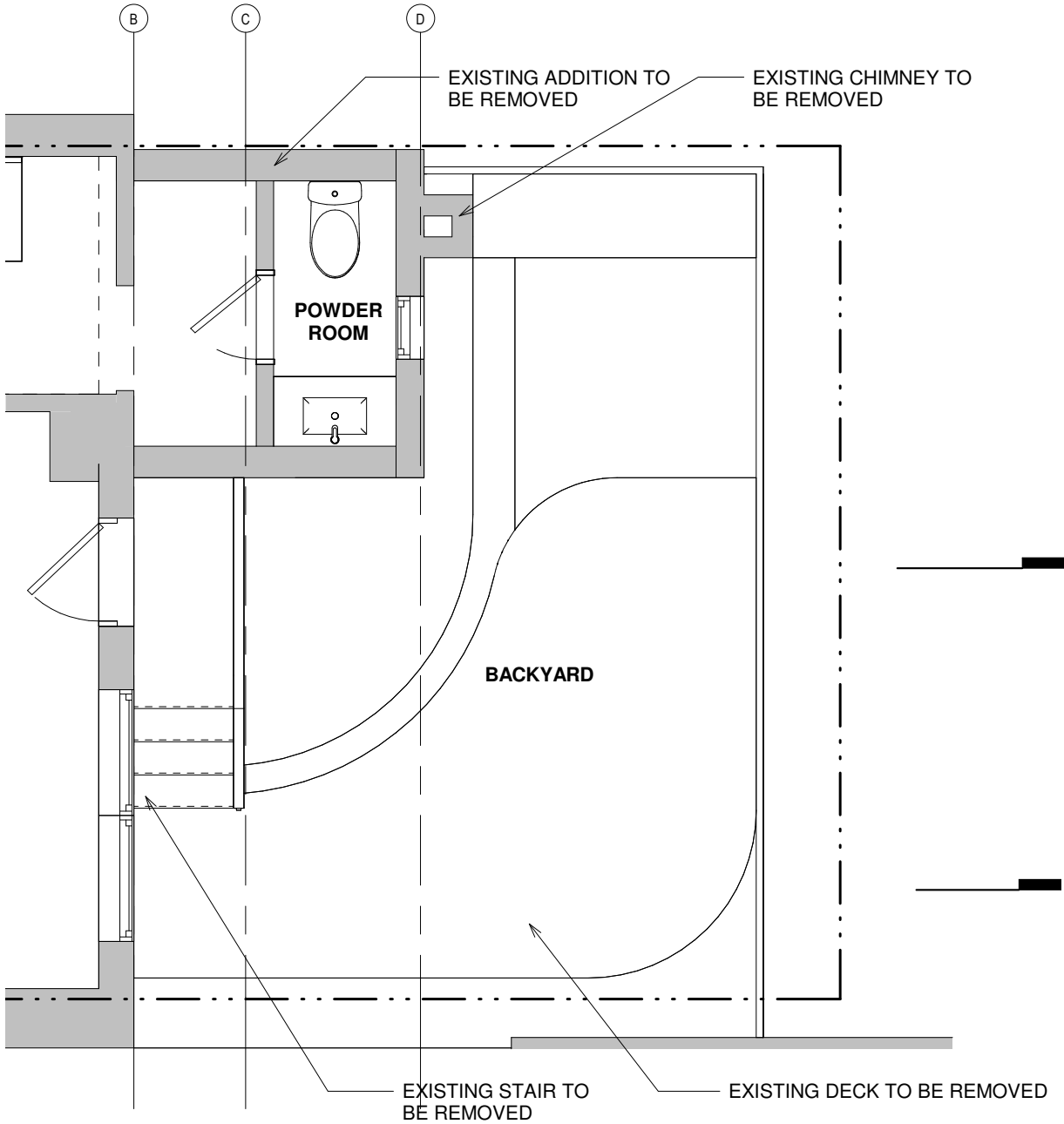


Window Frame

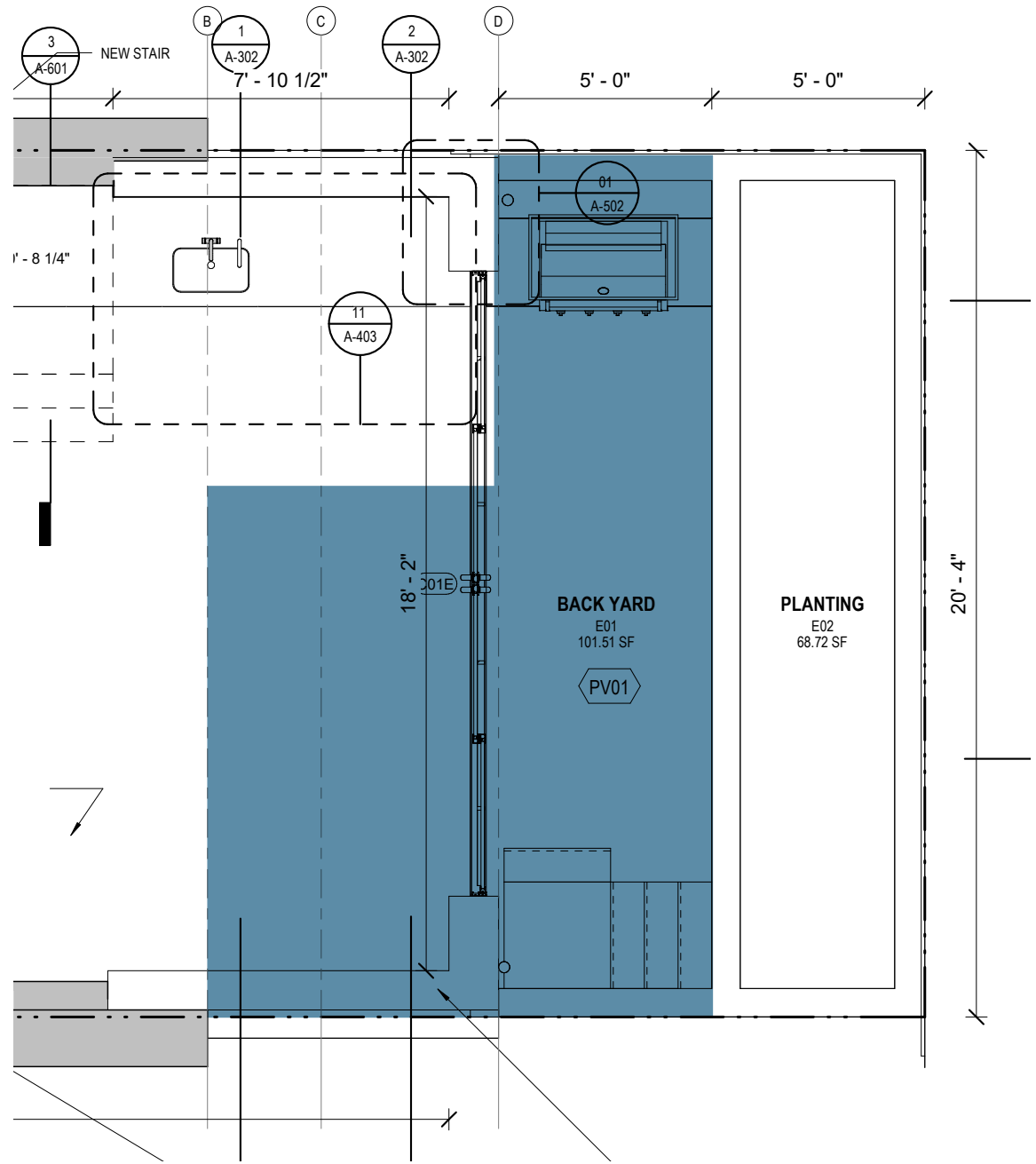


Cedar Fencing

Existing & Proposed Rear Yard Plans



Existing Yard Plan



Proposed Yard Plan ■ Area of Excavation

Existing Rear Elevation in Context



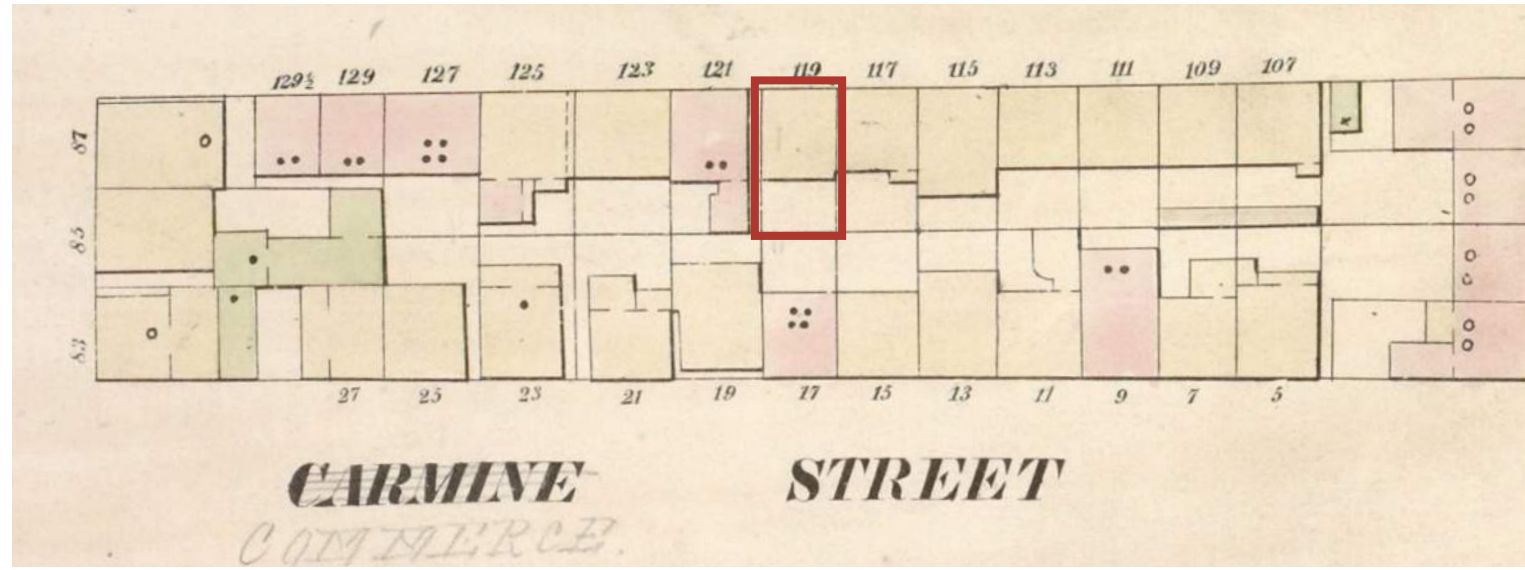
Existing Rear Elevation

Proposed Rear Elevation in Context

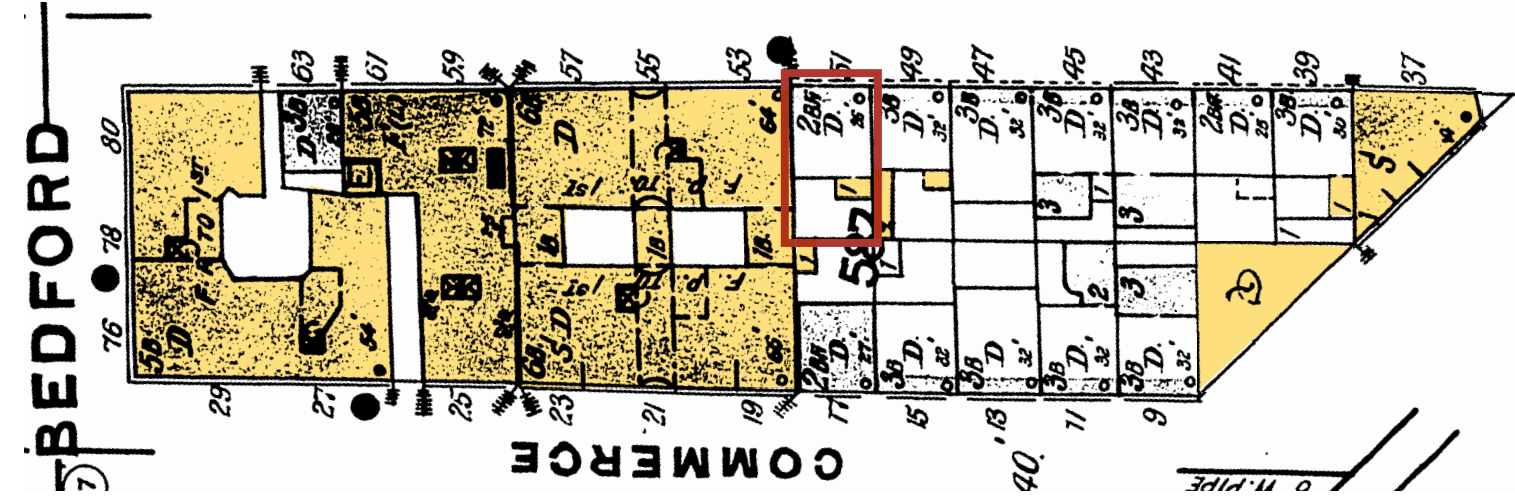


Proposed Rear Elevation

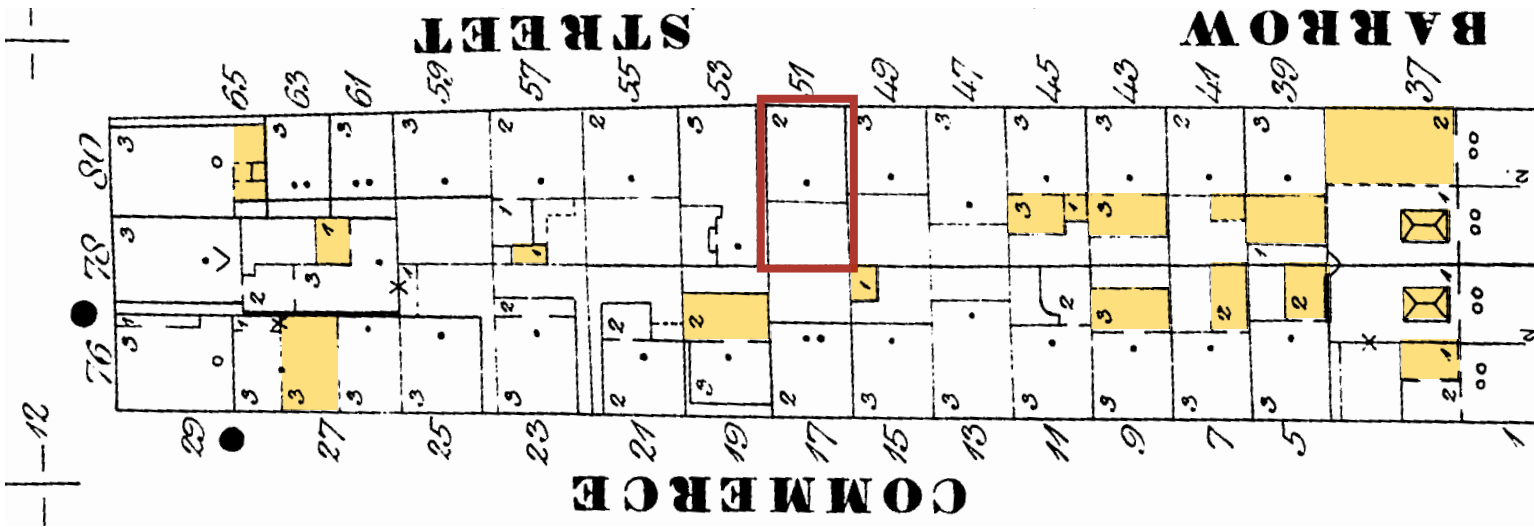
Historic Maps



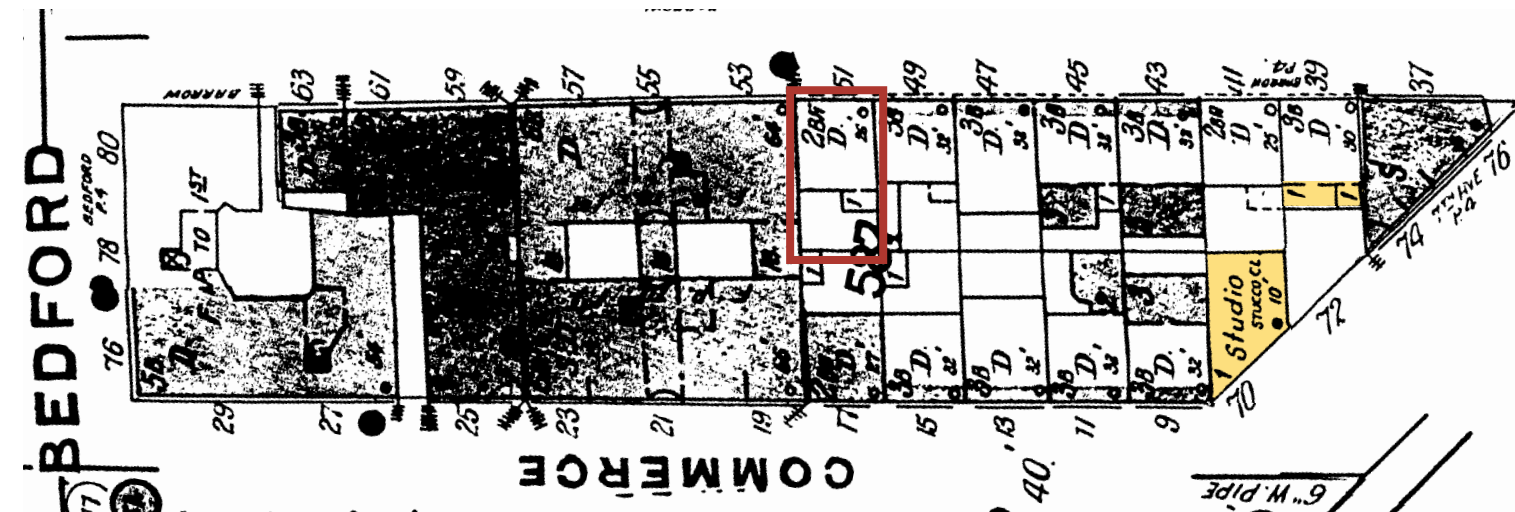
1854 Hope-Perris



1921 Sanborn

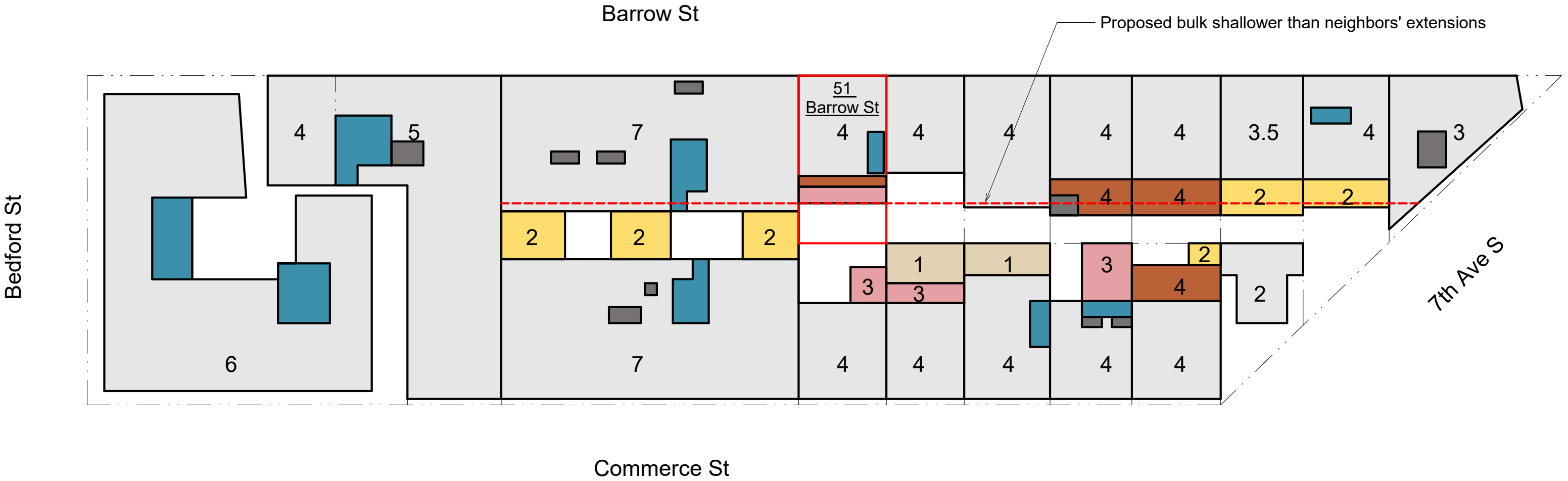


1895 Sanborn



1951 Sanborn

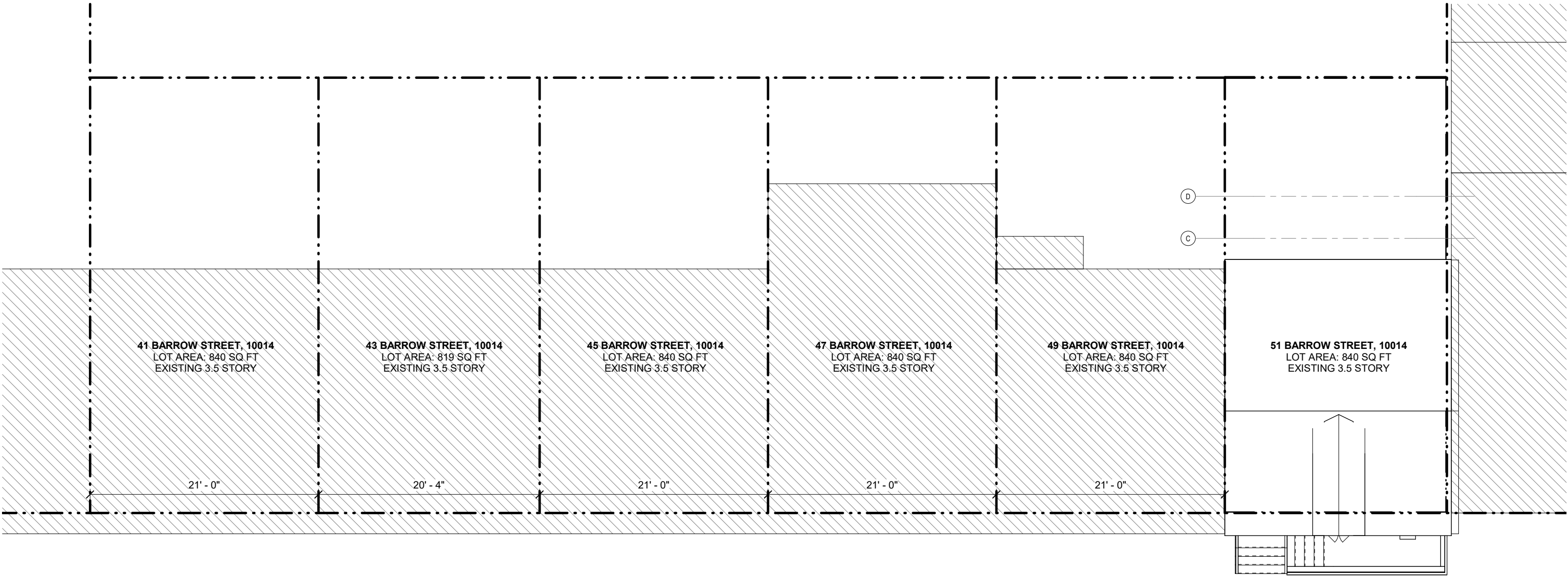
Proposed Block Plan



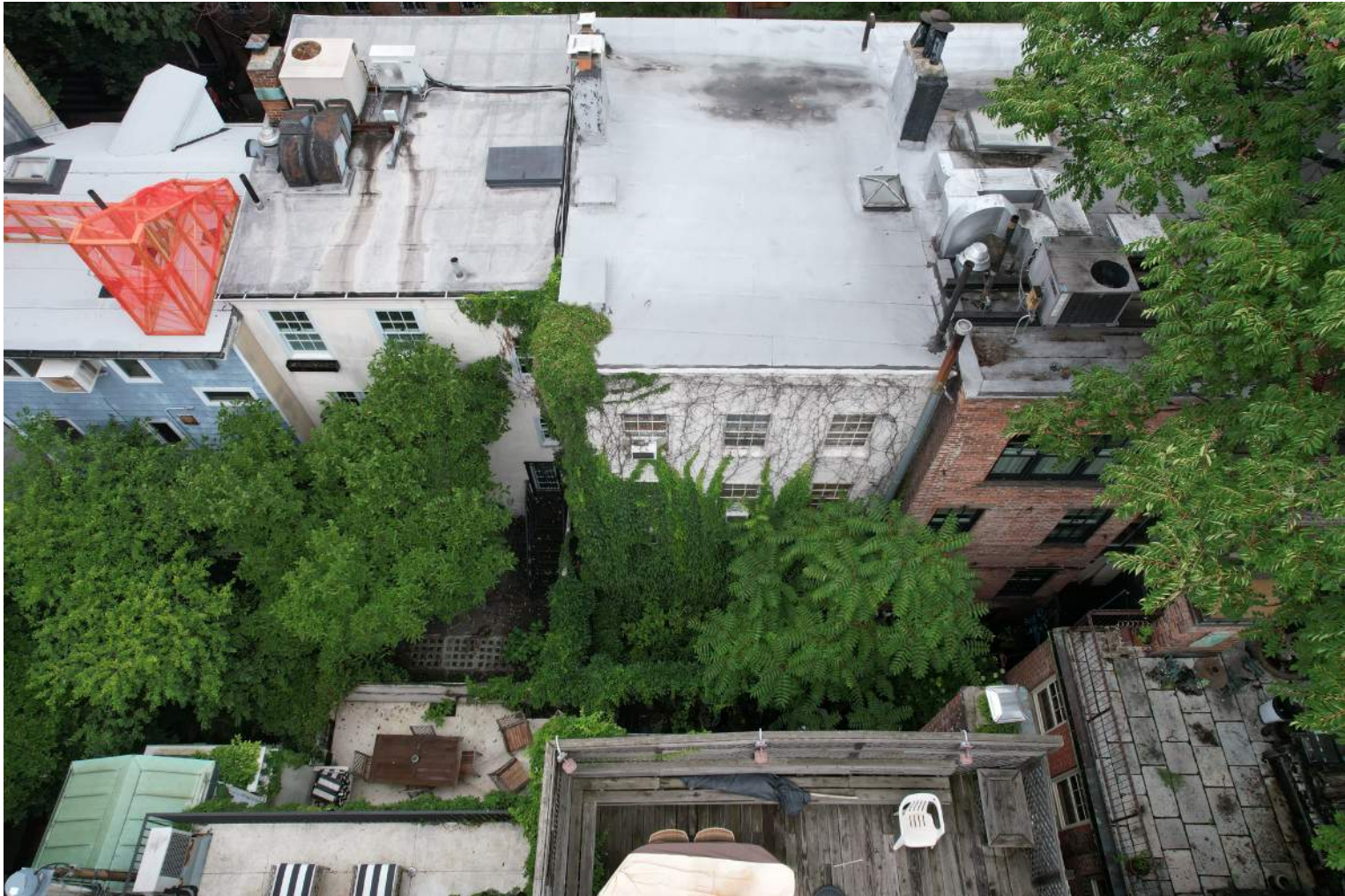
Legend

- Addition - 1 Story
- Addition - 2 Story
- Addition - 3 Stories
- Addition - 4 Stories
- Bulkhead
- Mechanical Equipment

Context Plan - 1854

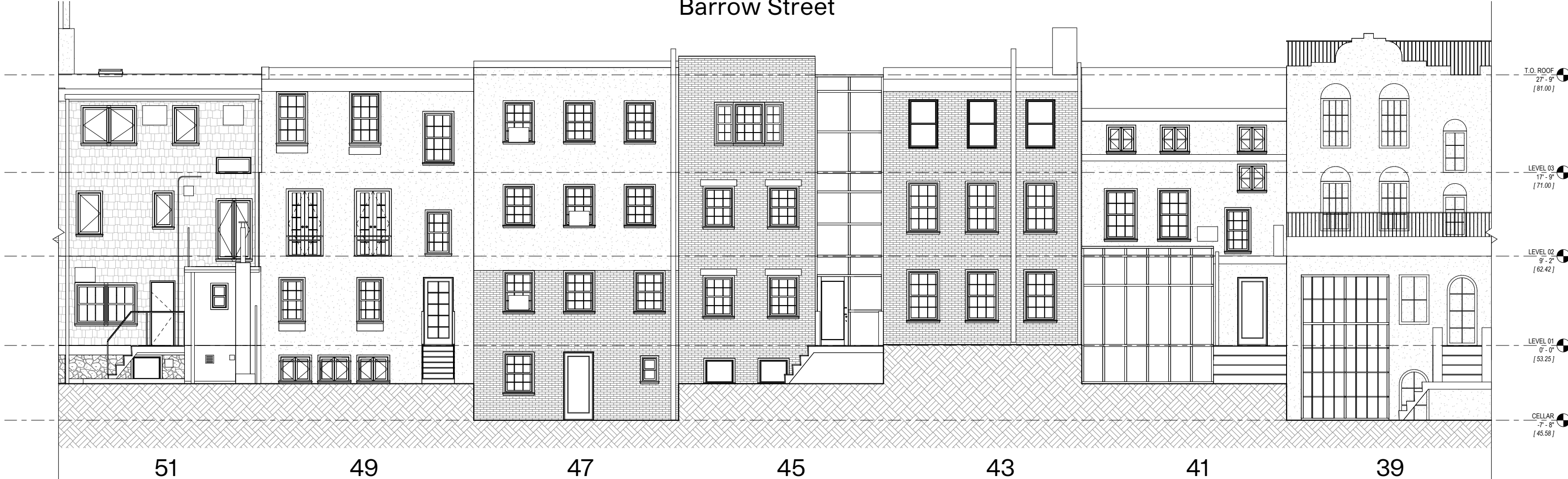


Photos of Rear Facade of Adjoining Row



Adjacent Buildings

Barrow Street



51

49

47

45

43

41

39



Rears of Buildings Facing Commerce Street



Rears of 51 & 41 Barrow Street



51 Barrow Street



41 Barrow Street

Interior Block Photos



Block Center looking East



Block Center - Aerial

Interior Block Photos

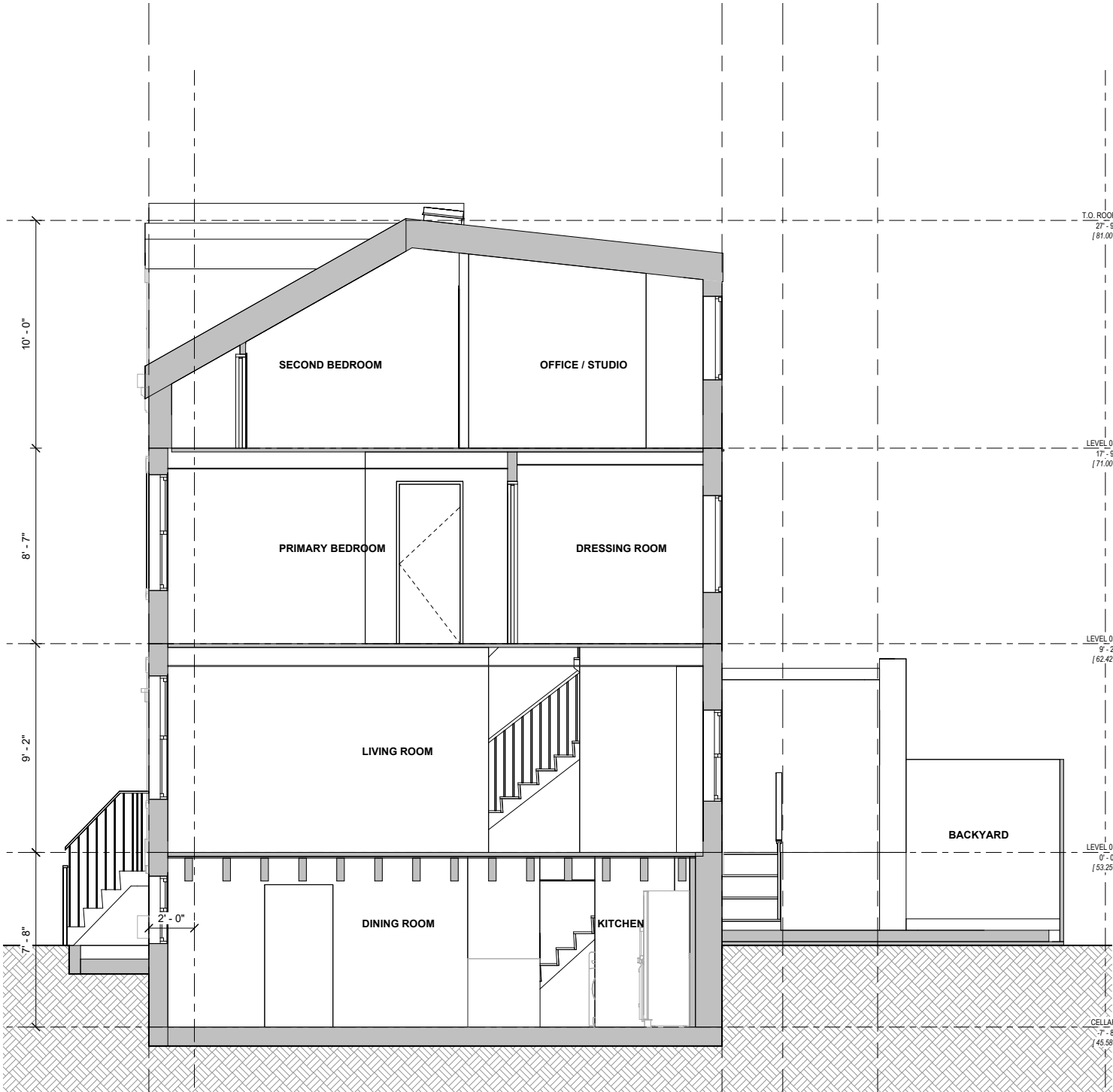


Buildings Opposite

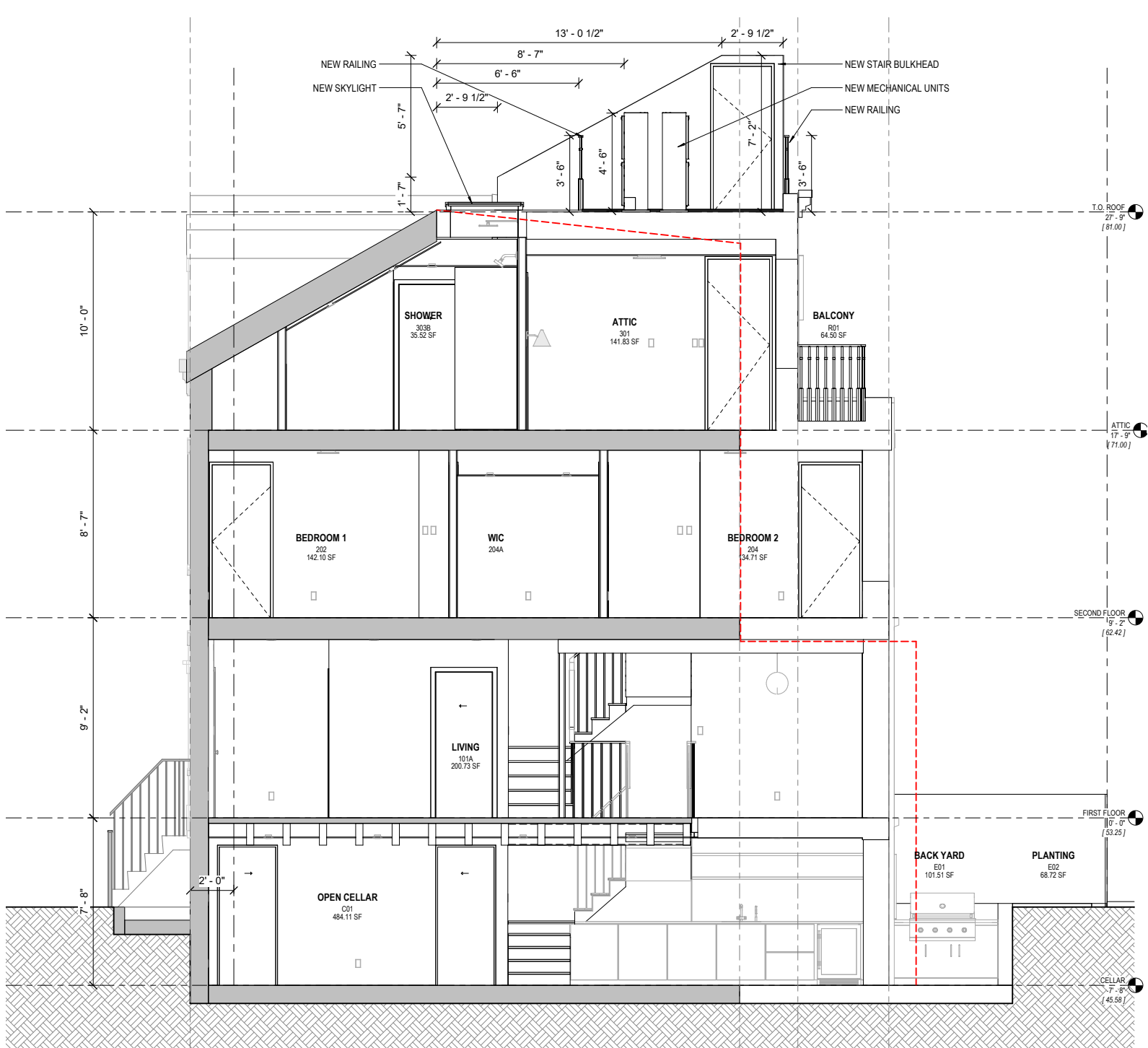


Roof Decks in the Block Center

Existing & Proposed Building Sections

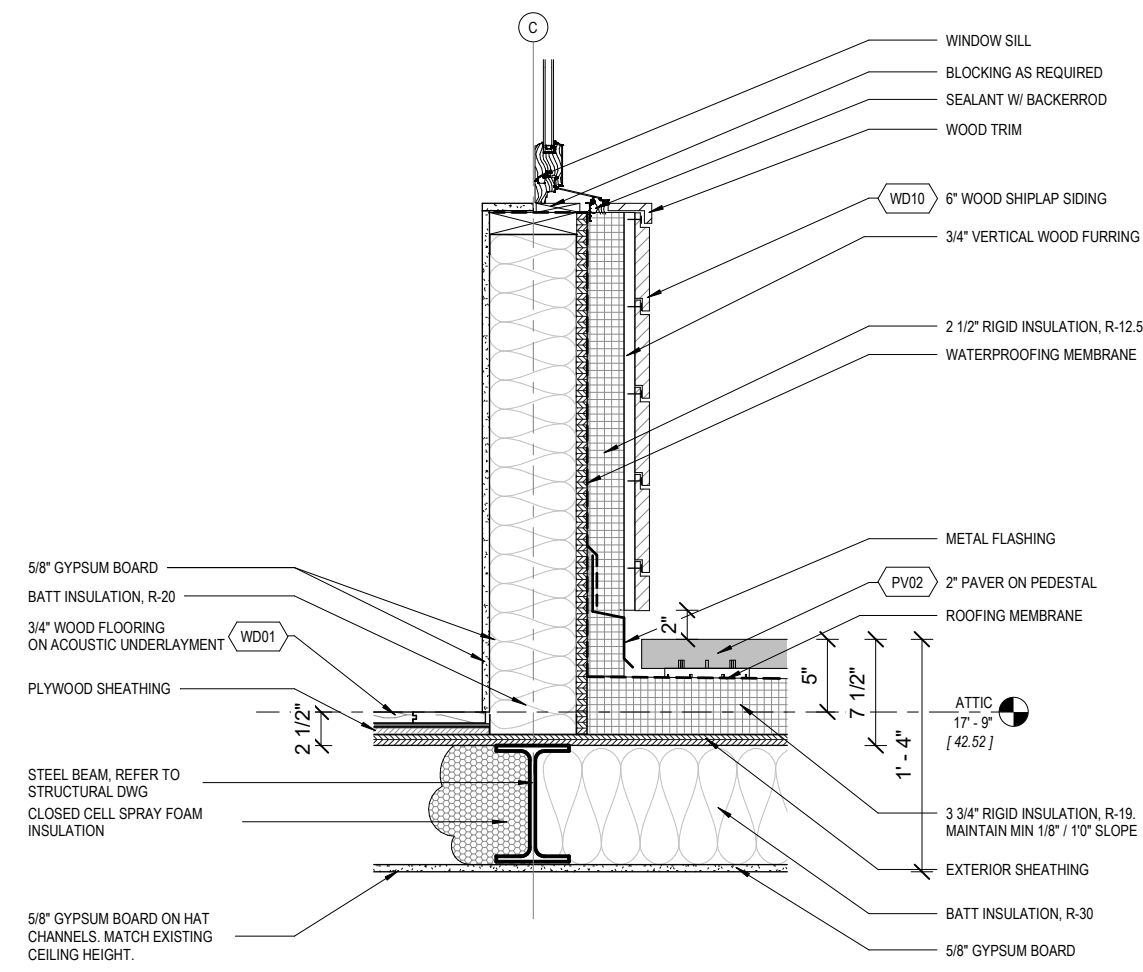


Existing Building Section

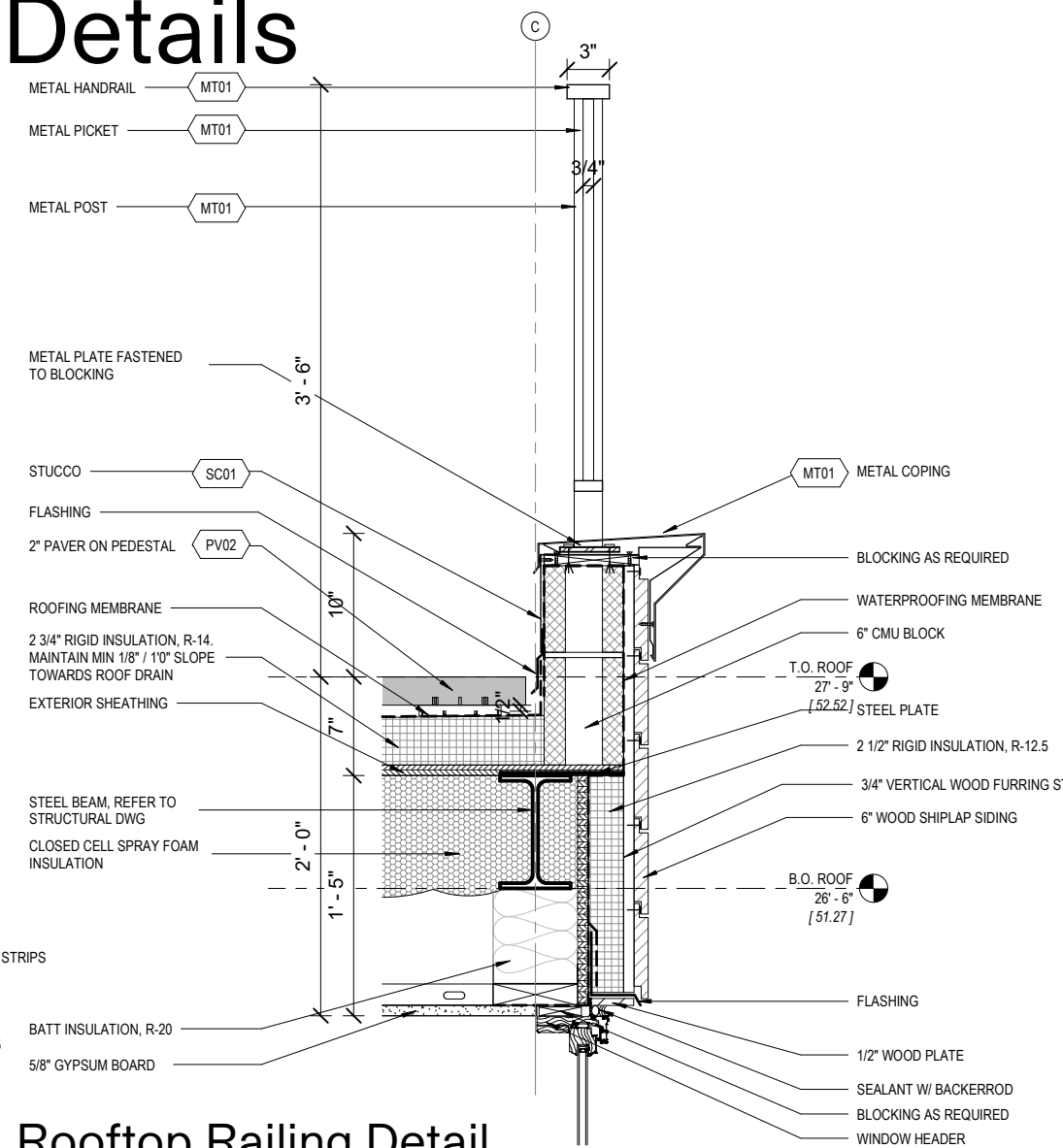


Proposed Building Section

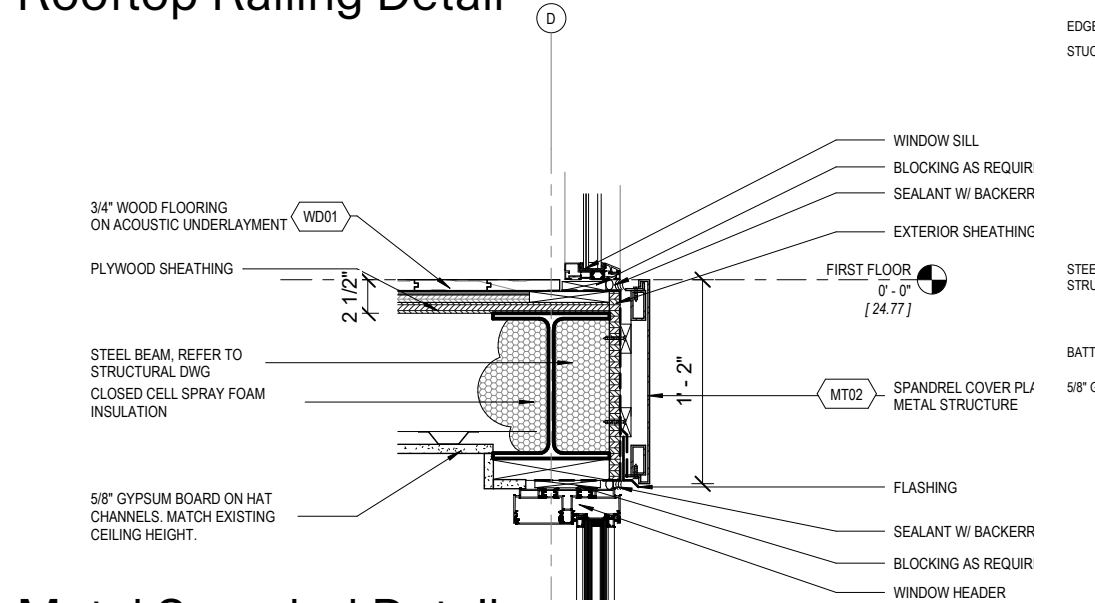
Proposed Rear Addition Details



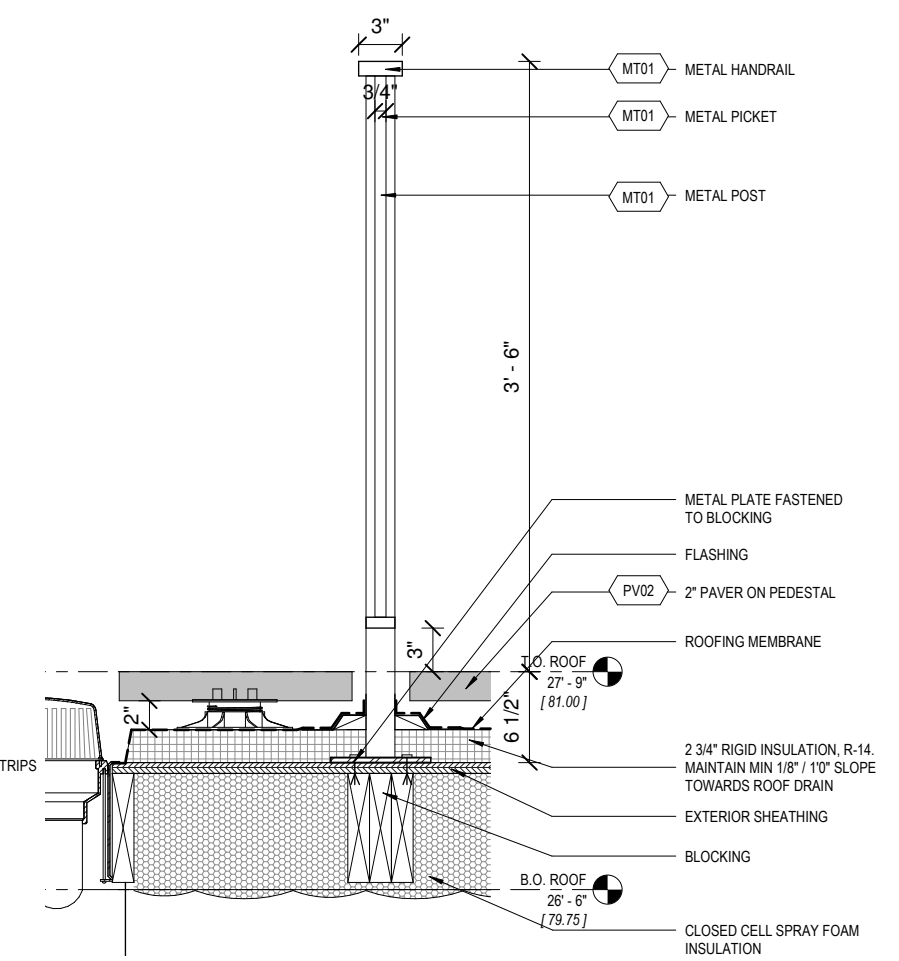
Proposed 3rd Floor Detail



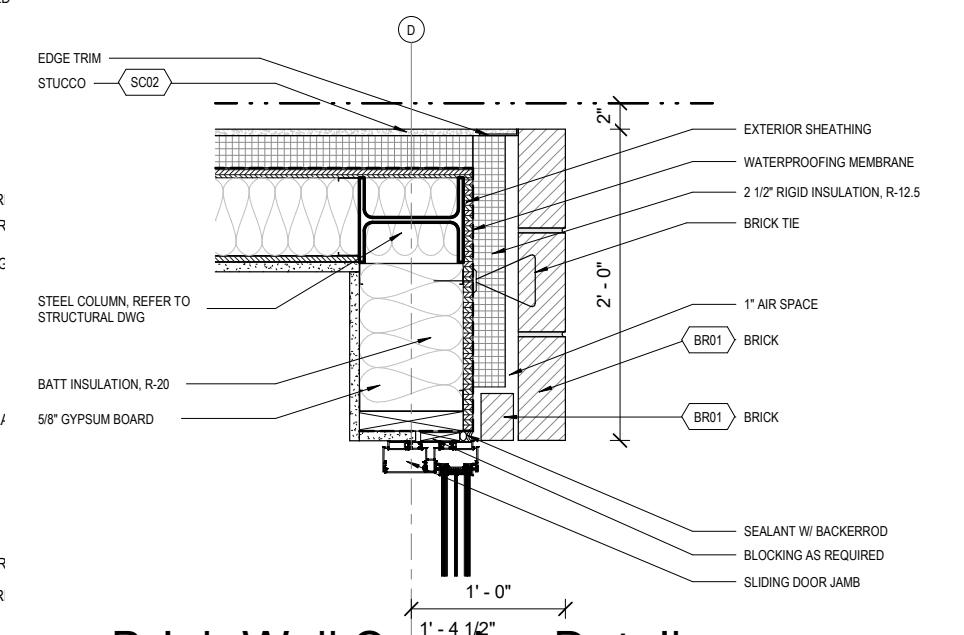
Rooftop Railing Detail



Metal Spandrel Detail



Rooftop Railing Detail

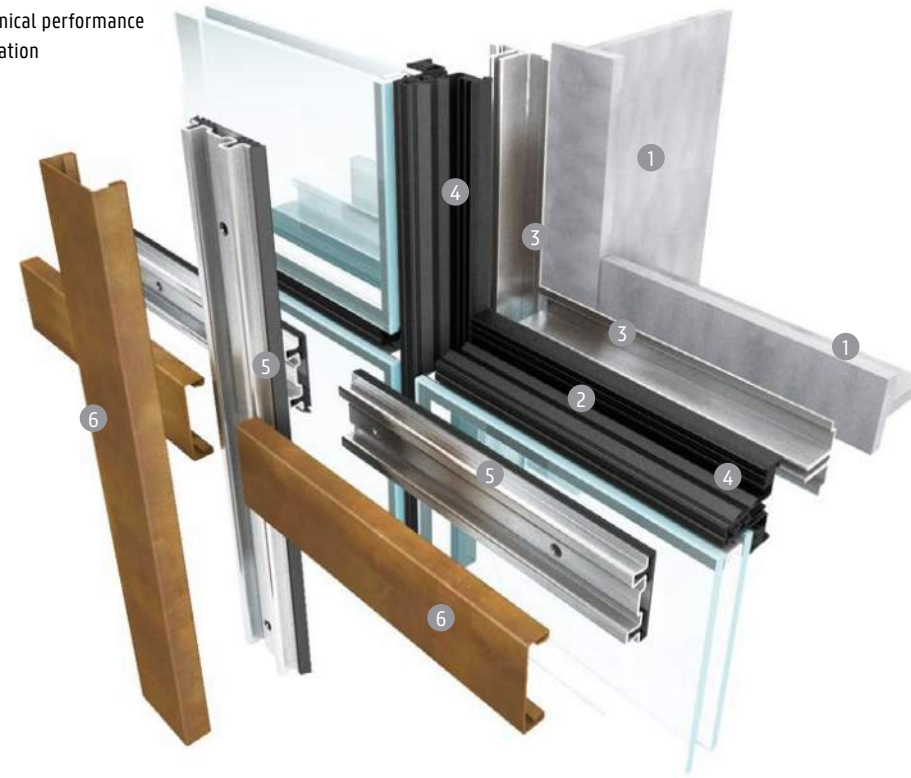
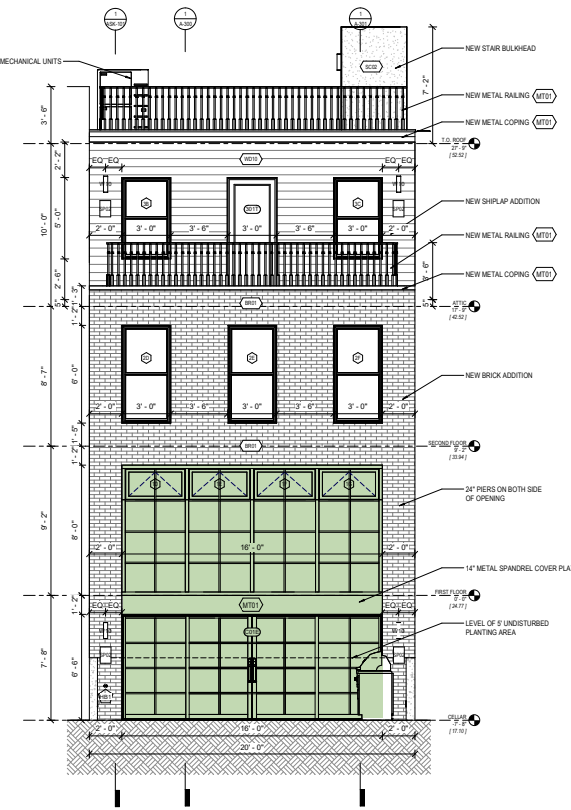


Brick Wall Opening Detail

Proposed Rear Addition Window Details

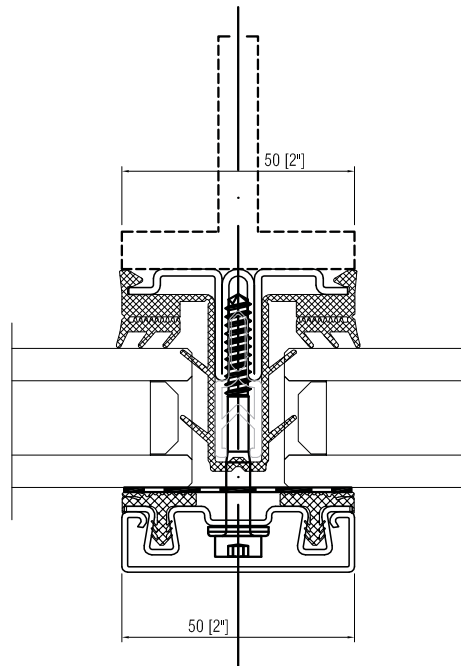
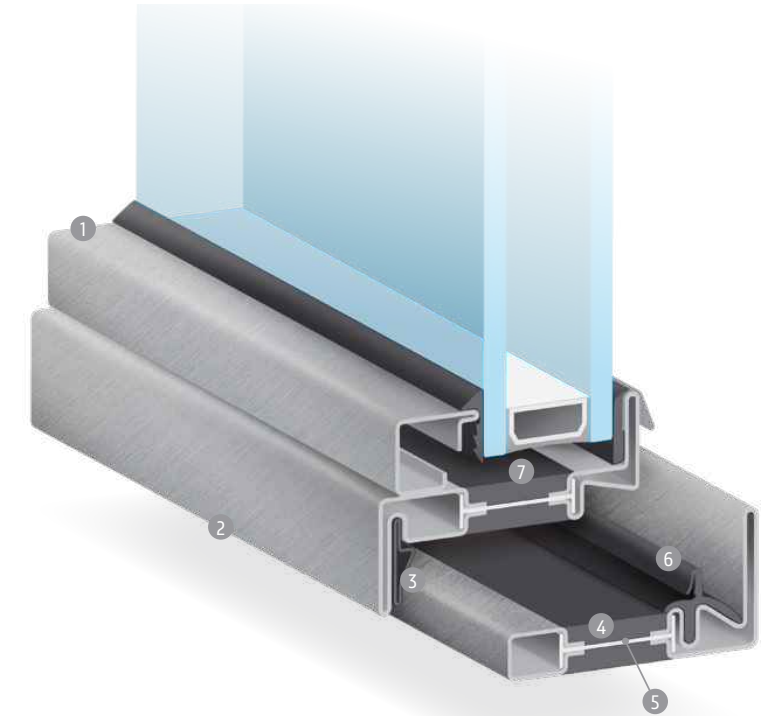
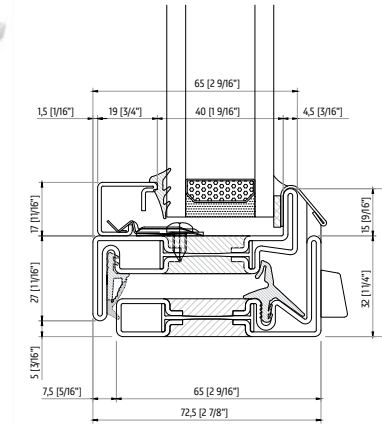
SKY 2

- 1 structure by other
- 2 maximum glazing pocket of 56mm (2 3/16")
- 3 sealing and water draining gaskets system
- 4 extruded polyethylene foam for greater technical performance
- 5 pre-drilled hold-down device for easy installation
- 6 cover profile in 7 finishes

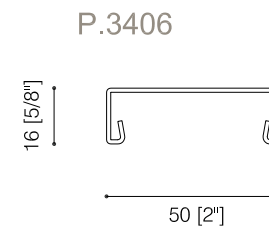
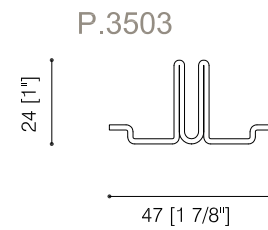


FARO 65

- 1 glazing bead
- 2 internal and external rebate
- 3 internal rebate seal
- 4 polyurethane
- 5 polyamide break
- 6 frame with weep system seal
- 7 maximum glazing pocket of 43mm (1 11/16")



profiles

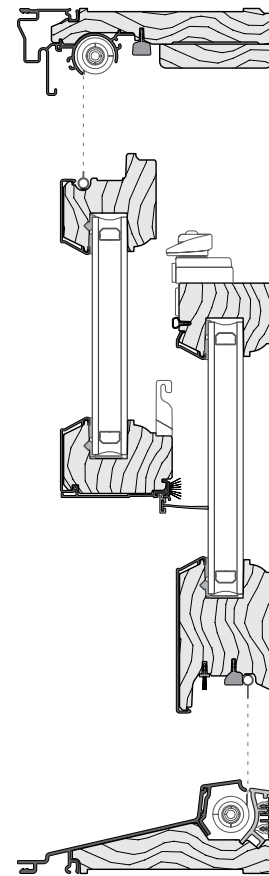
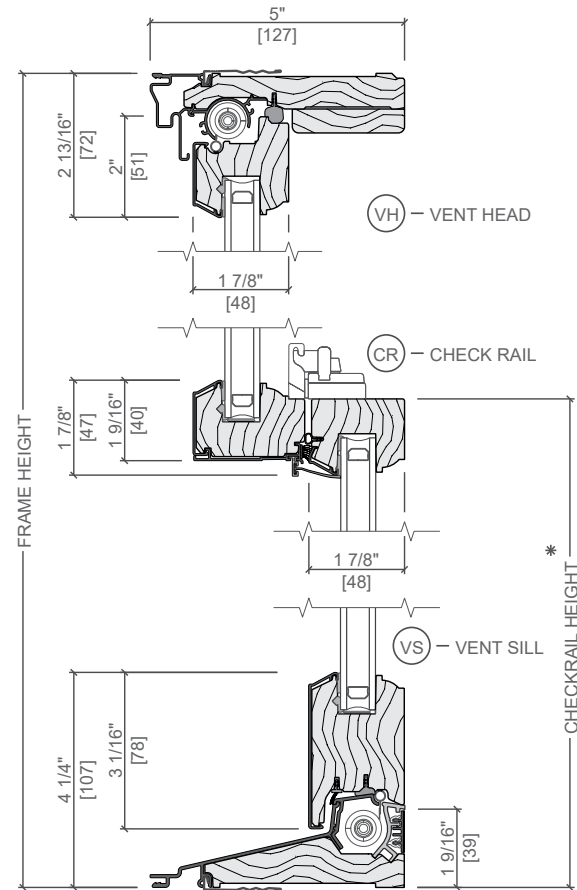
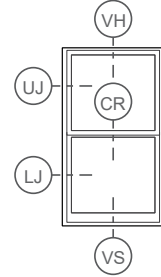
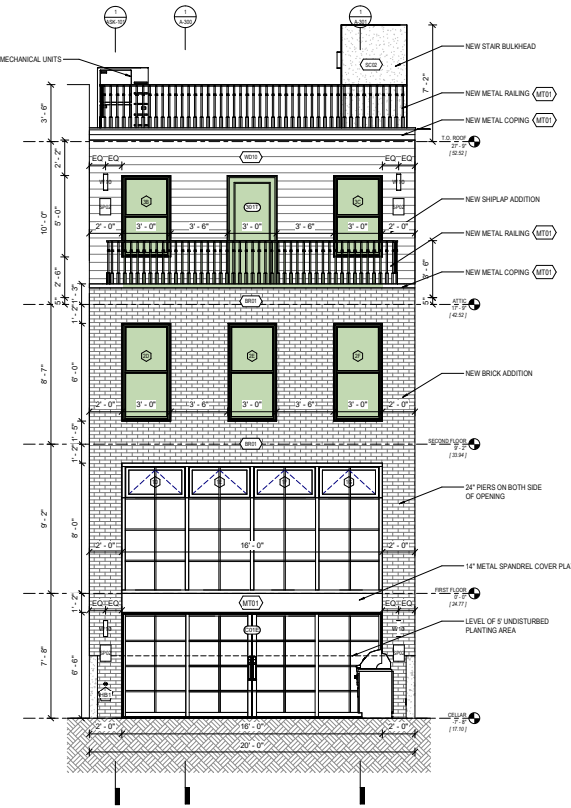


Proposed Rear Addition Window Details

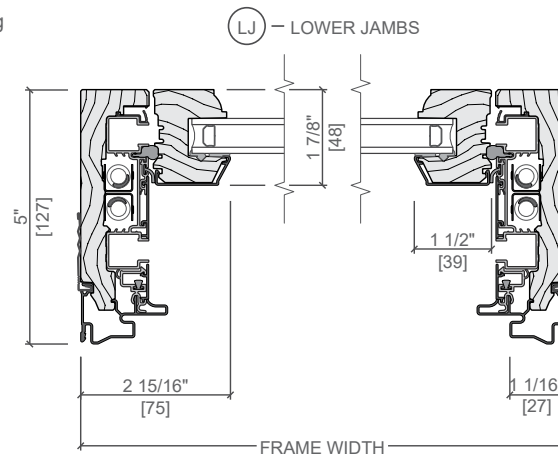
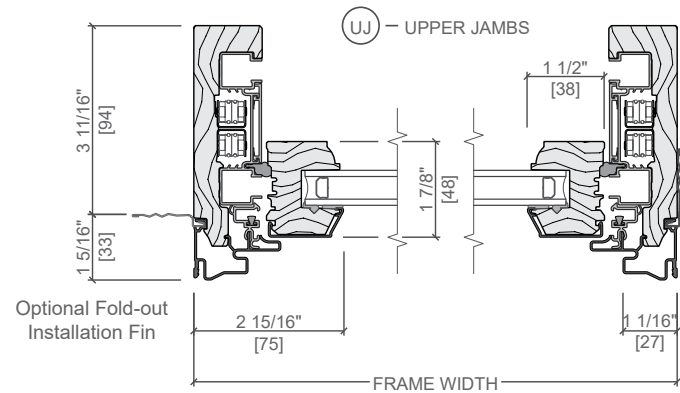


Pella® Reserve™ Traditional Hung Window

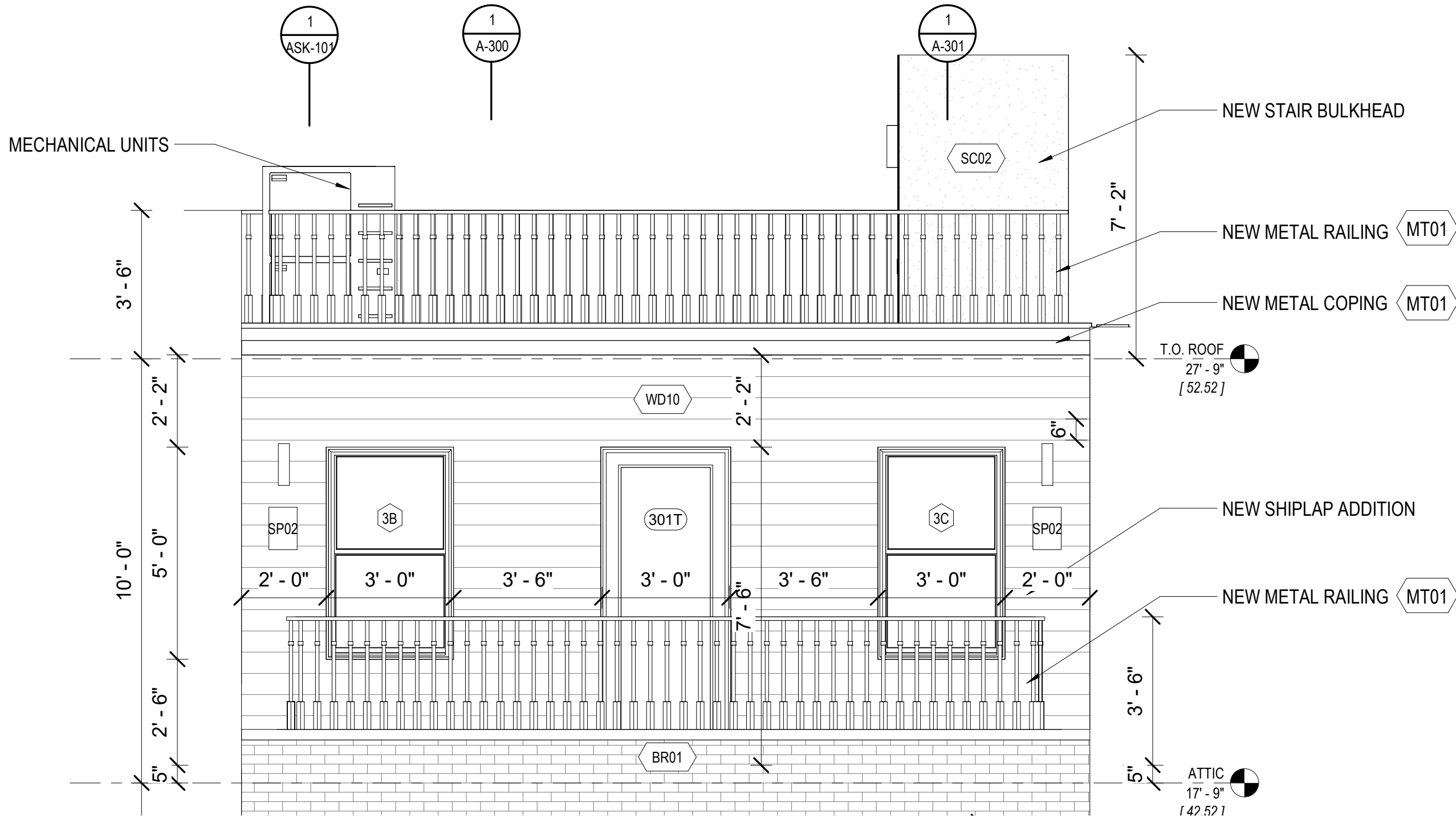
Unit Sections - Aluminum-Clad Putty Glaze Exterior Profile with Integrated Rolscreen®



* Dimension required for ordering units with unequal sash.



Proposed Top Floor Rear Facade Elevation



Top Floor Facade Elevation

Proposed Rear Facade Rendering



LPC Approvals in the District



Rear facades of 75 and 77 Jane Street, rear additions and top floor rear façade reconstructions approved in 2015 and 2017, respectively.

75 & 77 Jane Street



1 PROPOSED BUILDING ELEVATION / SECTION LOOKING EAST
SCALE: 3/8" = 1'-0"



2 PROPOSED BUILDING ELEVATION / SECTION LOOKING SOUTH (REAR)
SCALE: 3/8" = 1'-0"

11 Commerce Street

Rooftop addition at 11 Commerce Street.

LPC Approvals in the District

9 St. Lukes Place

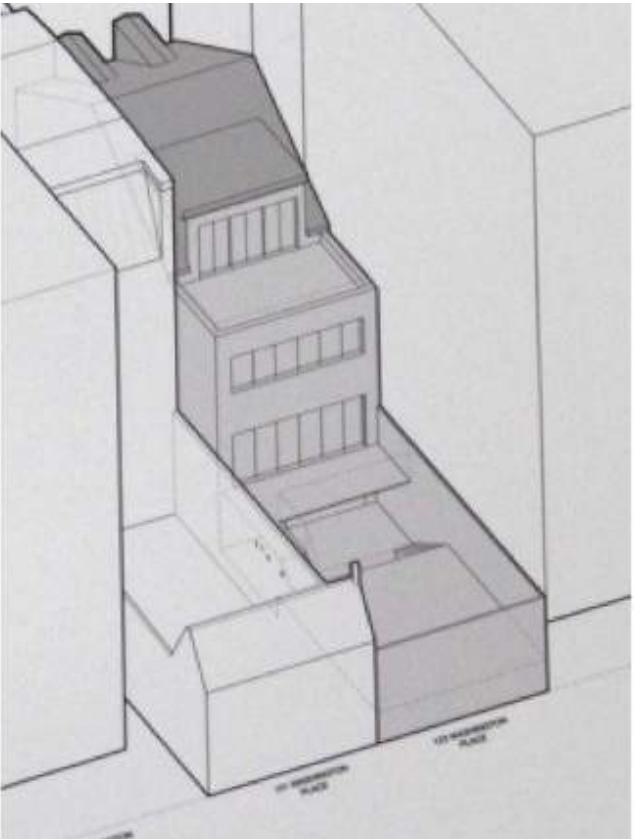
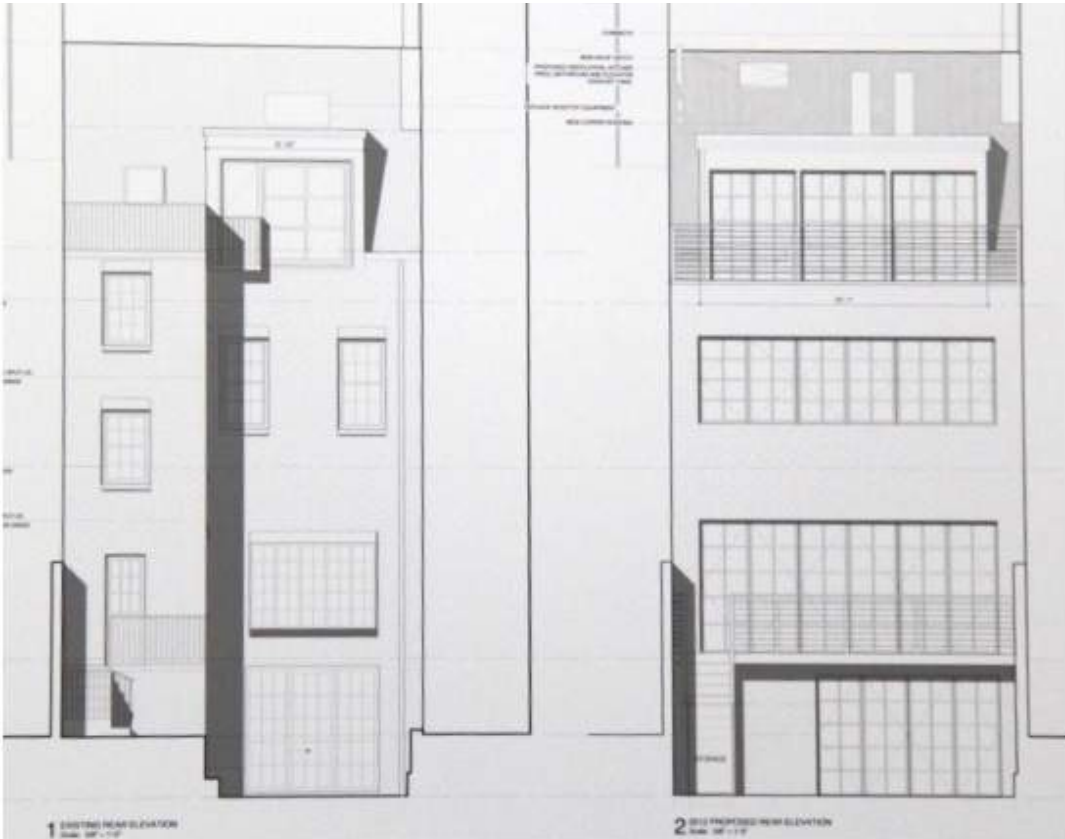


EXISTING REAR FACADE



PROPOSED REAR FACADE

123 Washington Place



Conclusion



Proposed Front Elevation



Proposed Rear Elevation

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Appendix

Survey

LEGEND

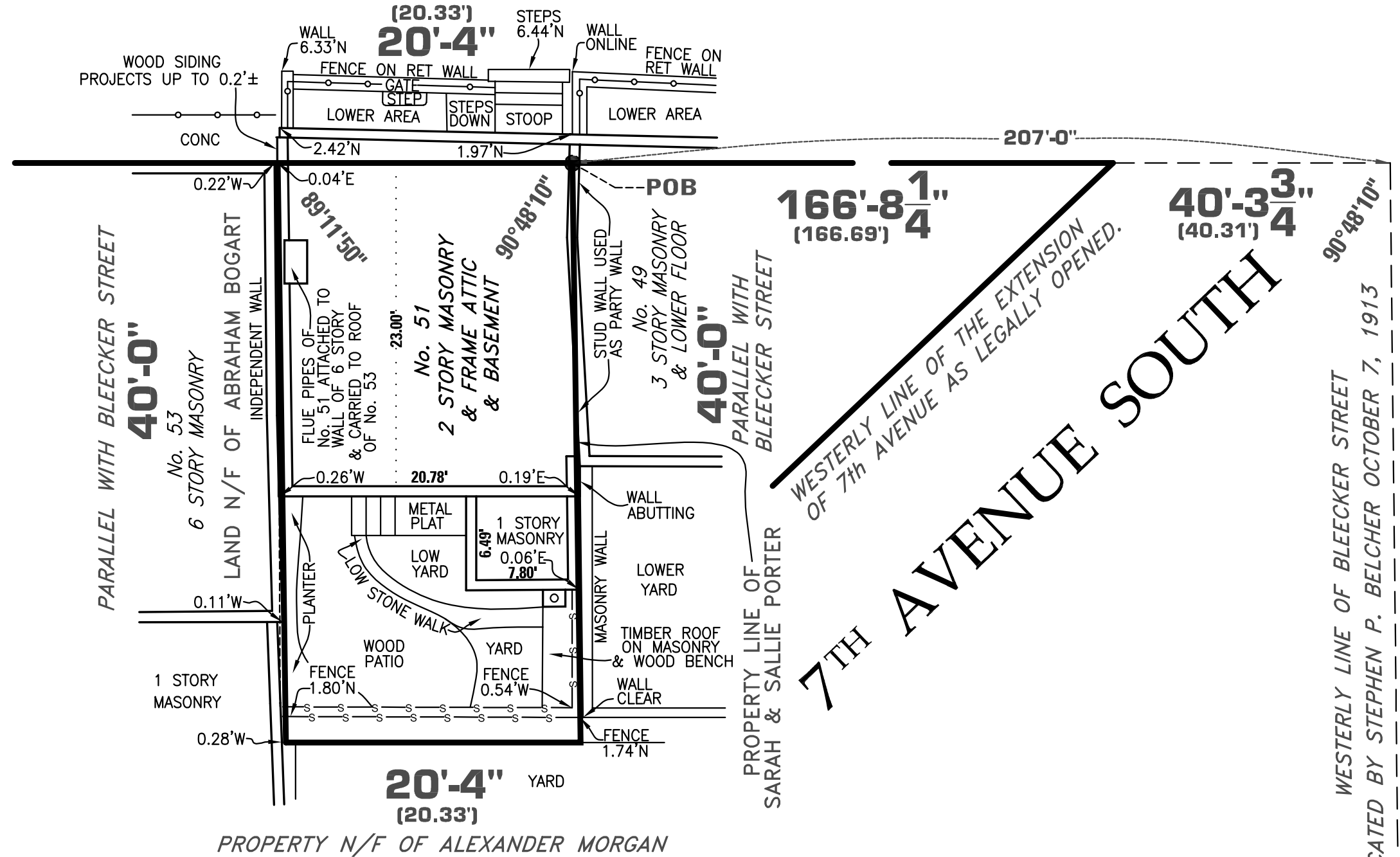
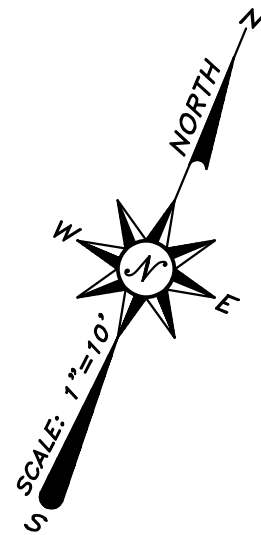
CONC.....	CONCRETE
—○—○—	IRON FENCE
—s—s—	STOCKADE FENCE
————	PROPERTY LINE
POB	POINT OF BEGINNING

BARROW

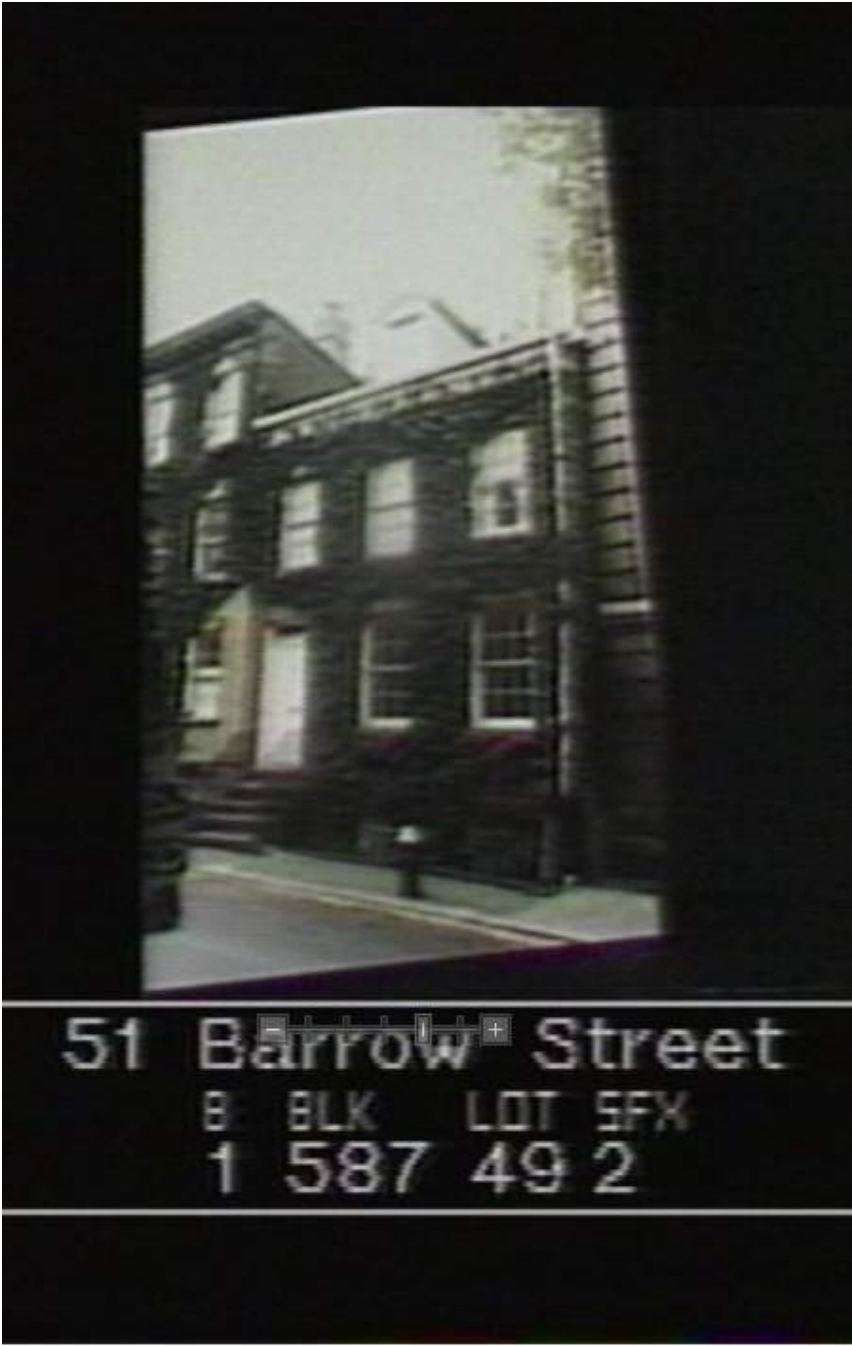
STREET

PROJECTIONS BEYOND FRONT WALL

EAVE & GUTTER.....	0.9'±
MASONRY TRIM UP TO...	0.3'±
LIGHTS.....	0.6'±



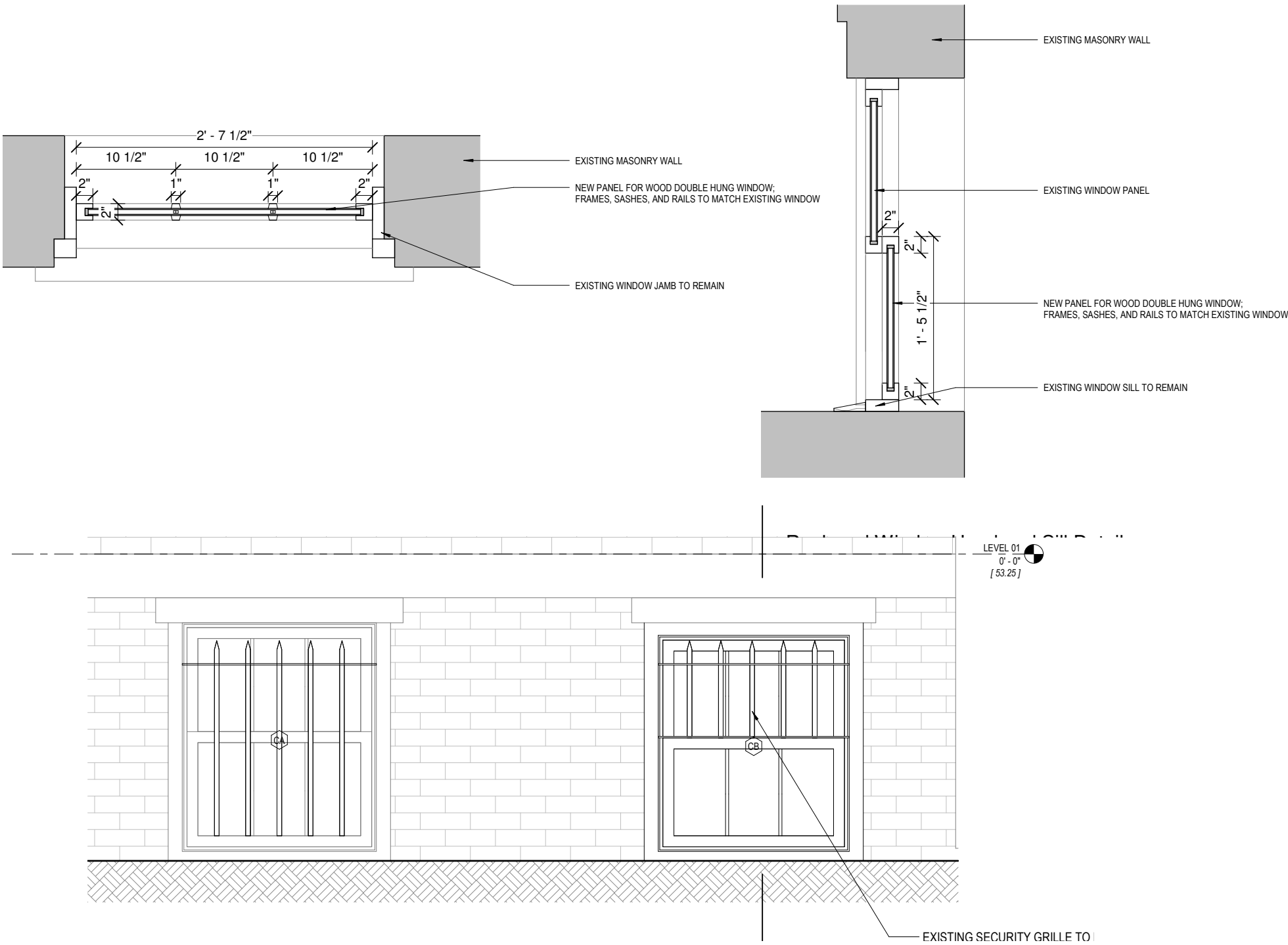
Historic Tax Photos



1939-1941 tax photo of the building, taken from Barrow St.

1983-1988 tax photo of the building, taken from Barrow St.

Replacement of Window Pane



HVAC Equipment

Date: _____ PO No.: _____

Architect: _____ GC: _____

Engr: _____ Mech: _____

Rep: _____ (Company) (Project Manager)

File Resubmit

Approval Other



ARUM048GSS5
Multi V™ S with LGRED° Outdoor Unit
4.0 Ton Heat Pump and Heat Recovery

Performance:

Cooling Mode:

Rated Capacity (Btu/h)	48,000
Power Input (kW)	3.55

Heating Mode:

Rated Capacity (Btu/h)	54,000
Power Input (kW)	3.75

Rated Capacity is based on the following conditions:

Cooling	Heating
Indoor: 80°F DB / 67°F WB	Indoor: 70°F DB
Outdoor: 95°F DB	Outdoor: 47°F DB / 43°F WB

Electrical:

Power Supply (V/Hz/Ø) ¹	208-230V, 60, 1
MOP (A)	40.0
MCA (A)	24.0
Rated Amps (A)	
Compressor Amps (A)	18.4
Fan (A) x Qty.	0.5 x 2

Piping / Connections:²

Refrigerant Charge (lbs.)	7.7
Piping / Connections for Heat Recovery Operation	
Liquid Line (in., O.D.)	3/8 Braze
Low Pressure Vapor Line (in., O.D.)	3/4 Braze
High Pressure Vapor Line (in., O.D.)	5/8 Braze
Piping / Connections for Heat Pump Operation	
Liquid Line (in., O.D.)	3/8 Braze
Vapor Line (in., O.D.)	5/8 Braze

Compressor:

Type	Hermetically Sealed Scroll
Quantity	1
Oil / Type	PVE / FVC68D

- Standard Features:**
- Night Quiet Operation
 - Fault Detection and Diagnosis
 - Smart Load Control
 - Smart Oil Management
 - Drain Pan Heater Built In

- Optional Accessories:**
- Low Ambient Baffle Kit - ZLABGP04A (2 required)³



SB_MultiV_S_wLGRED_ARUM048GSS5_2022_12_02_092941
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For continual product development, LG reserves the right to change specifications without notice.
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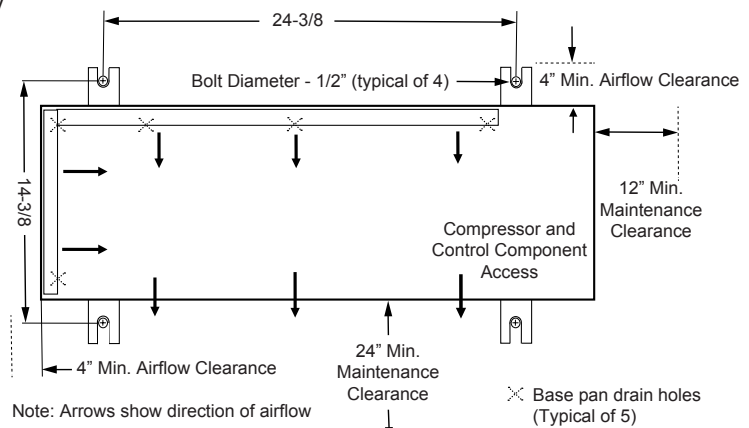
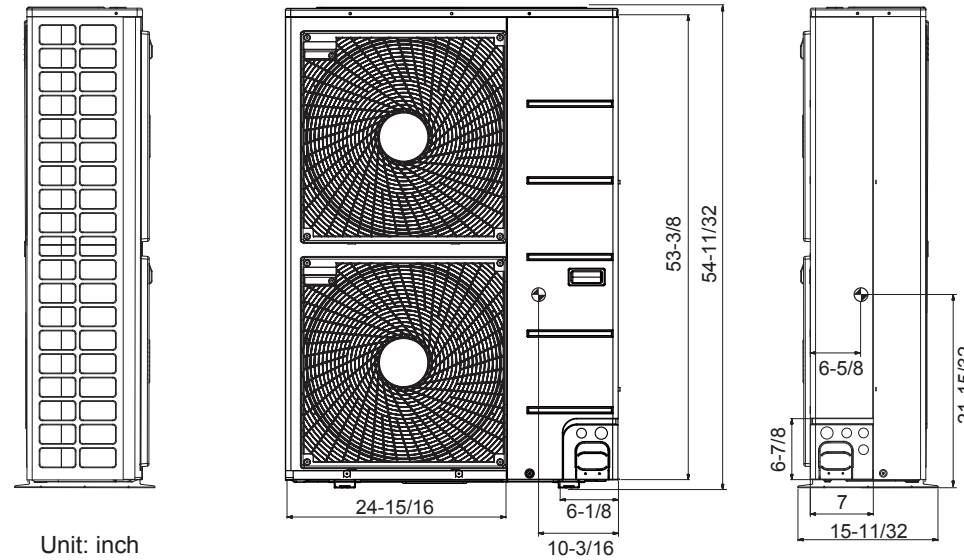
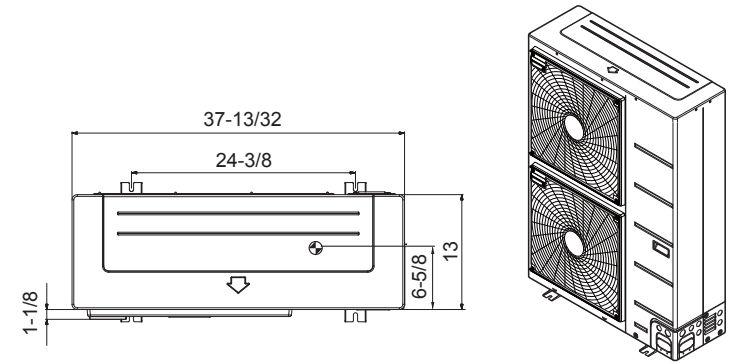
ARUM048GSS5
Multi V™ S with LGRED° Outdoor Unit
4.0 Ton Heat Pump and Heat Recovery



Tag No.: _____

Date: _____

PO No.: _____



LG Condensing Unit

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SB_MultiV_S_wLGRED_ARUM048GSS5_2022_12_02_092941
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