

September 24, 2024
Public Hearing

The current proposal is:

Preservation Department – Item 2, LPC-24-11800

116 East 78th Street – Upper East Side Historic District
Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 852 4740 5541

Passcode: 410385

By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

888-475-4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

Landmarks Preservation Commission Presentation

116 E 78th St Townhouse New York, NY 10075

September 16, 2024

Title Page

116 E 78 St
New York, NY 10075

9/24/2024 LPC Presentation

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Street Facade

116 E 78 St
New York, NY 10075

9/24/2024 LPC Presentation



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Location Map

116 E 78 St
New York, NY 10075

9/24/2024 LPC Presentation



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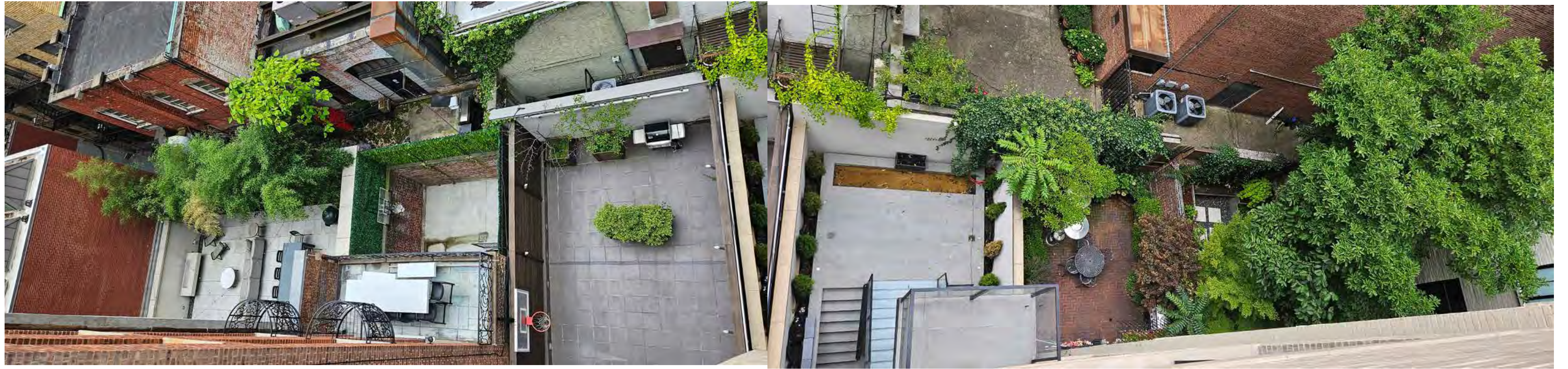
Overhead View

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Garden View

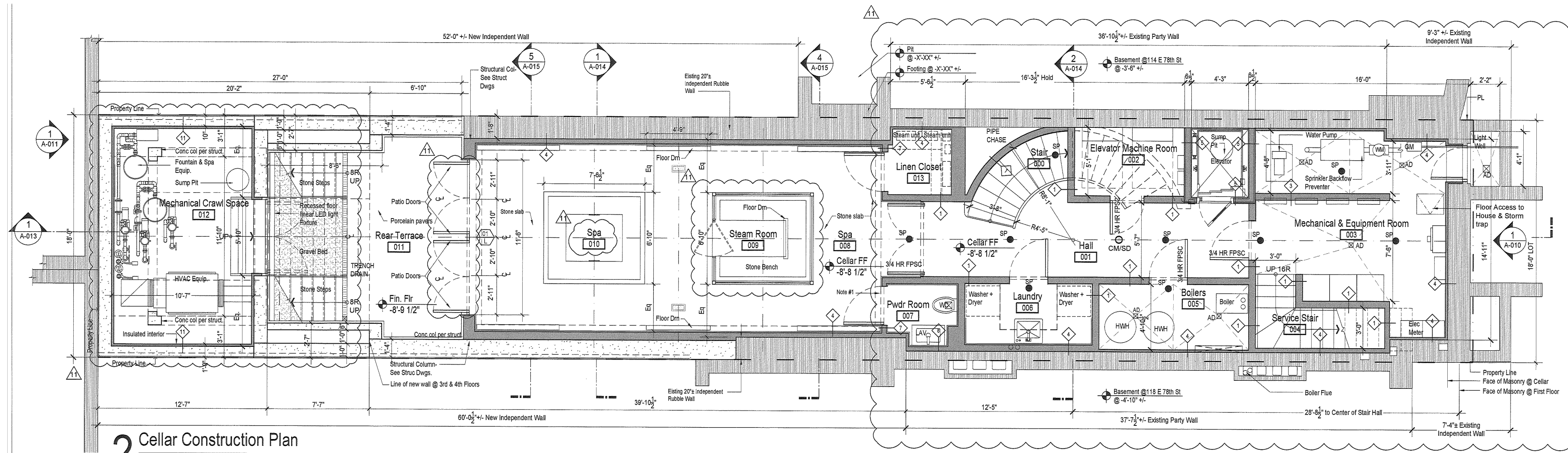
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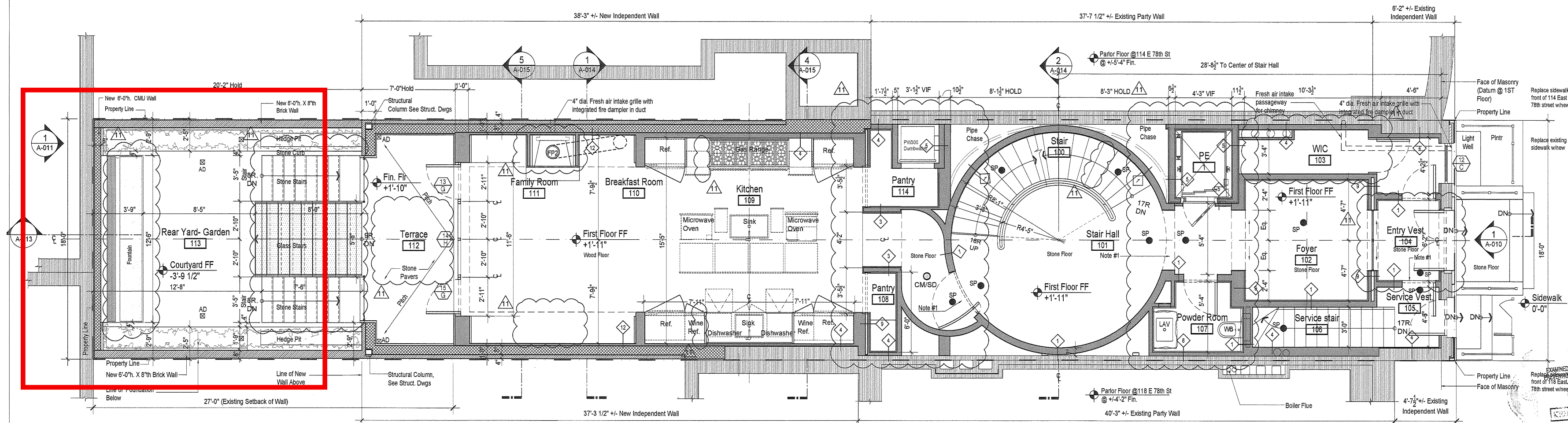


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2 Cellar Construction Plan
 Scale 1/4" = 1'-0" Gross Floor Area= 1603 SF



1 First Floor Construction Plan
 Scale 1/4" = 1'-0" Gross Floor Area= 1340 SF

ROOM	FLOOR AREA	MINIMUM LIGHT AREA	WINDOW/SKYLIGHT AREA PROVIDED	MINIMUM VENTILATION	VENTILATION PROVIDED
Family Rm, Breakfast Rm & Kitchen	403 SF	41 SF (10%)	98 SF	21 SF (5%)	48 SF

MATERIAL LEGEND

	EXISTING TO REMAIN		NEW BRICK VENEER/WALL
	EXISTING TO BE REMOVED		NEW CMU VENEER/WALL
	NEW CONCRETE WALL		
	NEW DRYWALL PARTITION PER SCHEDULE		

CONSTRUCTION NOTES

SEE ENGINEERING DRAWINGS FOR ALL STRUCTURAL, MECH., PLUMBING, SPRINKLER AND ELECTRICAL DRAWINGS.

ALL INTERIOR PARTITION TYPES ARE 1 HR RATED WALL TYPE UNLESS OTHERWISE NOTED; SEE A-115 FOR WALL TYPE DETAILS

PLAN SYMBOLS

AREA PROTECTED BY SPRINKLER & 2HR RATED PARTITION

OPENING PROTECTIVE SPRINKLER HEAD (FILED UNDER SEPARATE APPLICATION)

KIDDE COMBINED SMOKE/CARBON MONOXIDE DETECTOR INSTALLED AS PER LL 7/2004; HARDWIRED AS PER BC 908.7

EXHAUST VENT

DRYER EXHAUST VENT; SEE MECH DWGS

NOTE #1 12" MIN WALL ABOVE OPENING

RECOMMENDED PLAN



Cellar & Ground Floor Plan
 2019 As-Built

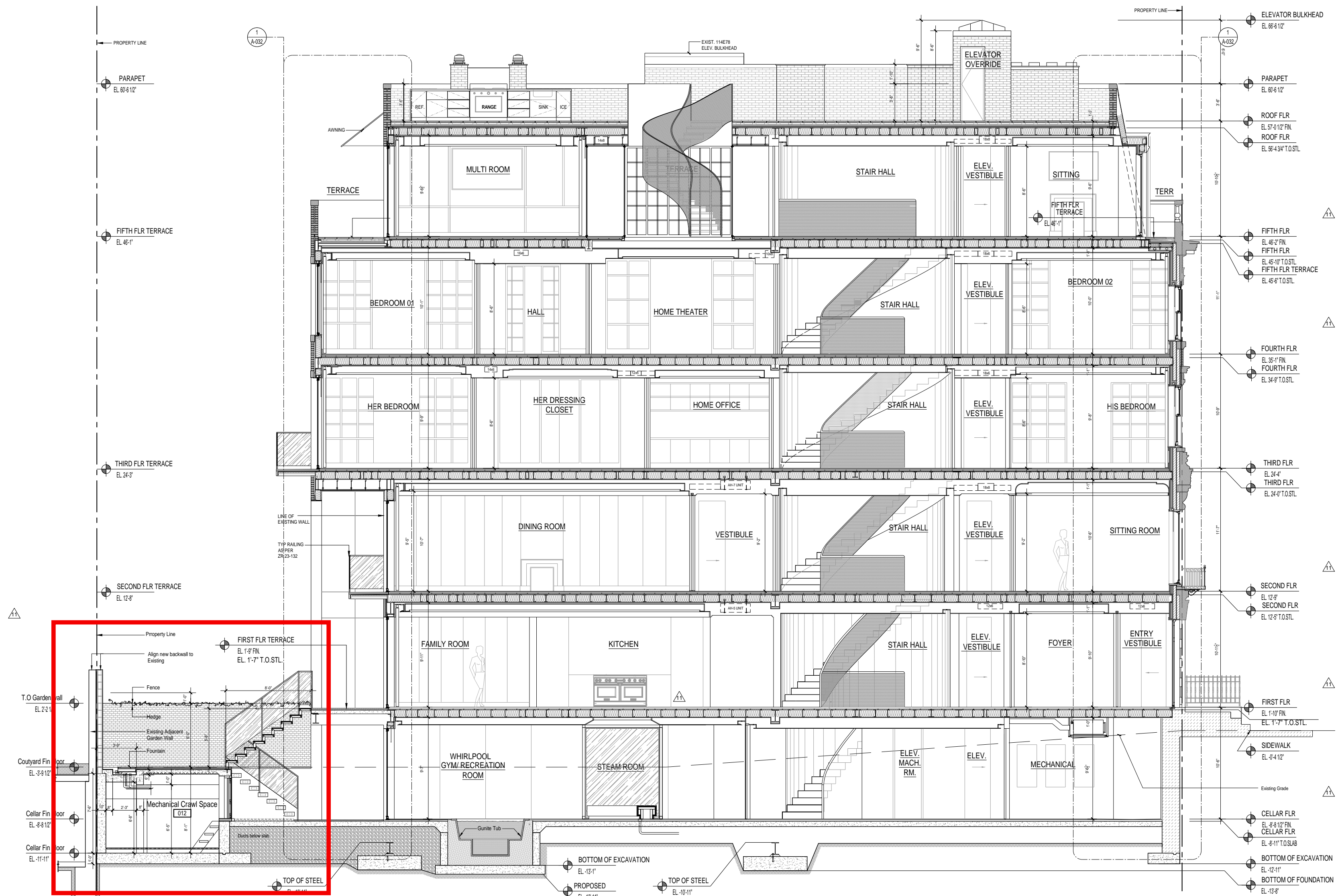
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Existing configuration and built condition

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1 North South Building Section, Looking West
Scale 1/4" = 1'-0"

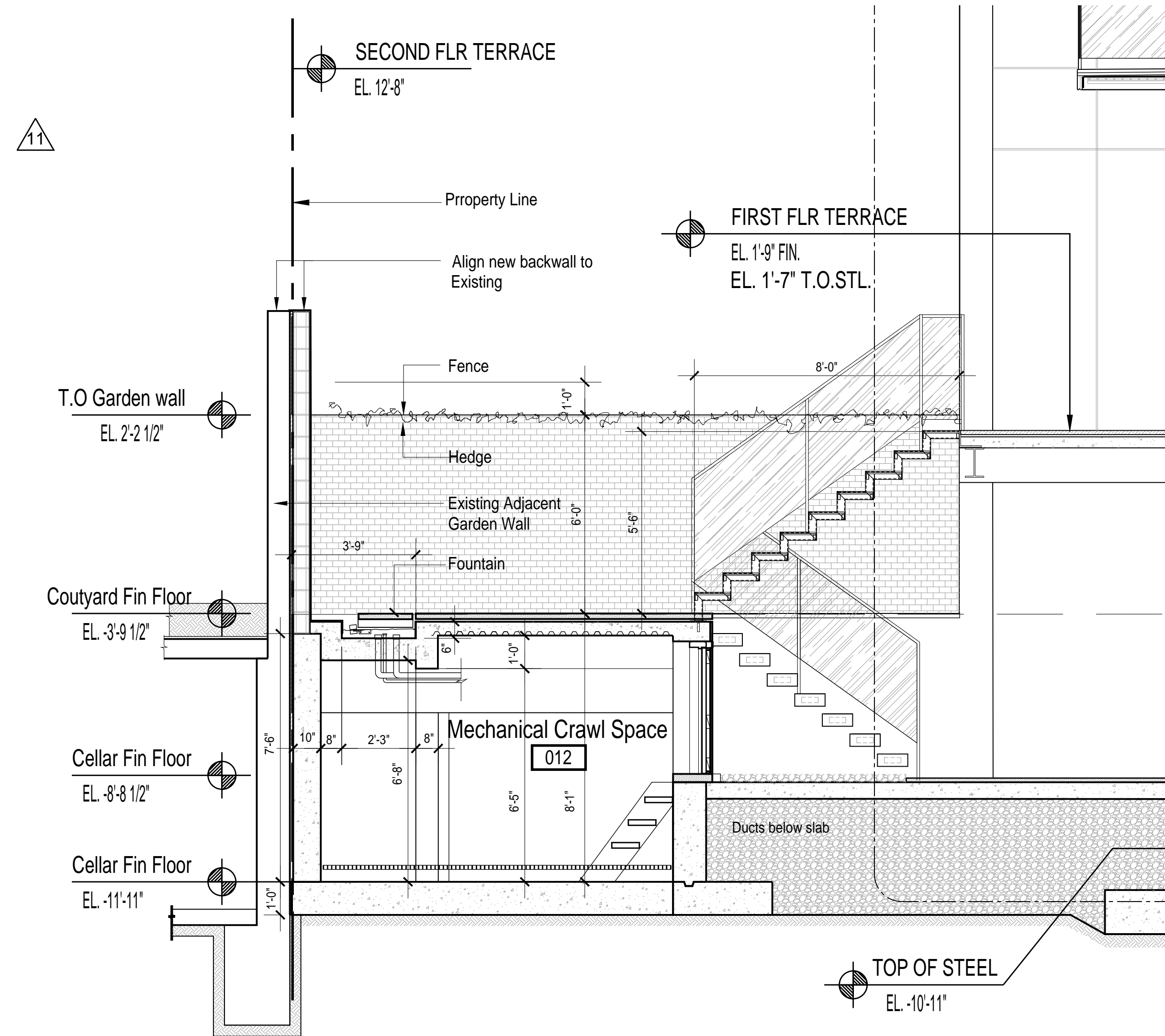
Existing configuration and built condition

**Longitudinal Section
2019 As-Built**

116 E 78 St
New York, NY 10075
9/24/2024 LPC Presentation

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Existing configuration and built condition

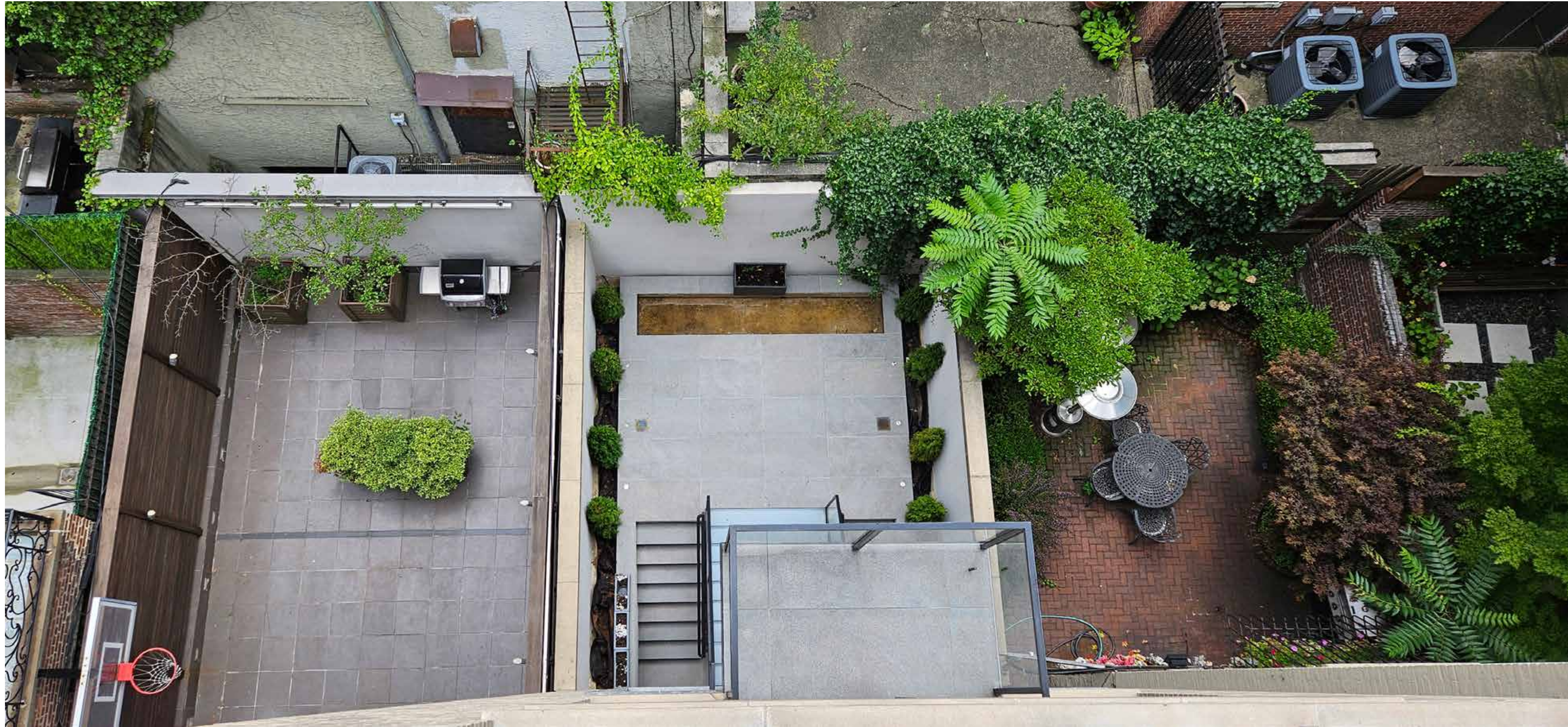
Detail Section @ Courtyard
2019 As-Built

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New York, NY 10075

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116 E 78th Courtyard with neighboring backyards
View from roof

116 E 78 St
New York, NY 10075

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Fall View from 77th Street
Fall/Winter

116 E 78 St
New York, NY 10075

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Spring View from 77th Street
Spring/Summer

116 E 78 St
New York, NY 10075

9/24/2024 LPC Presentation

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Reference Plans and Previous Approvals

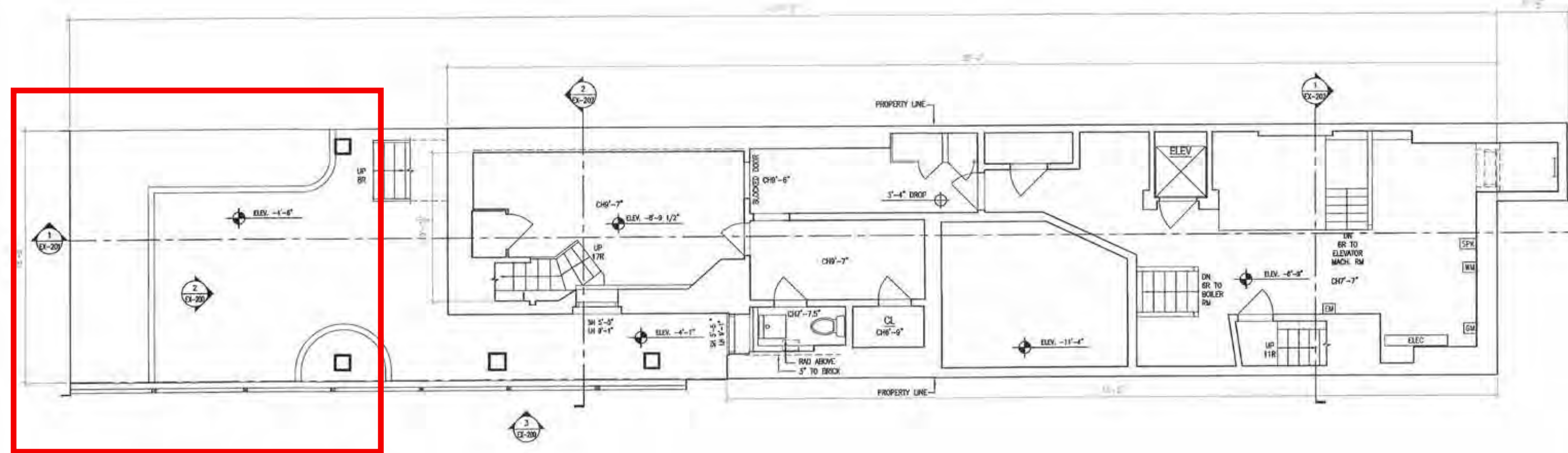
Reference Information

116 E 78 St
New York, NY 10075

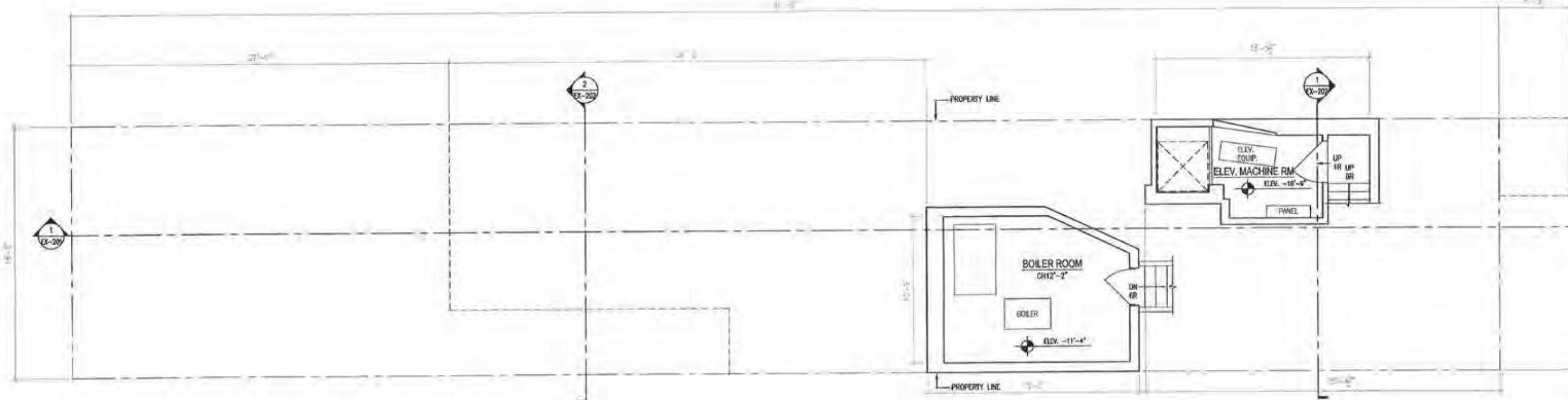
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2 EXISTING CELLAR FLOOR PLAN
SCALE: 1/4" = 1'-0"



1 EXISTING SUB CELLAR FLOOR PLAN
SCALE: 1/4" = 1'-0"

REVISIONS:
▲ 04-06-2011 ISSUED FOR DOB REVIEW

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206 FIFTH AVENUE, 4TH FLR
NEW YORK, NY 10010
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APPLICANT: HUDSON RIVER STUDIOS LIMITED
PROJECT: PRIVATE RESIDENCE
OCT 19 2011
EXAMINED FOR ZONING AND USES
PRESENTATION AS PER REGULATIONS

DRAWING TITLE:
EXISTING SUB CELLAR & CELLAR



SEAL & SIGNATURE
REGISTERED ARCHITECT
STATE OF NEW YORK



Original Cellar, Subcellar Floor Plan
1909-2011

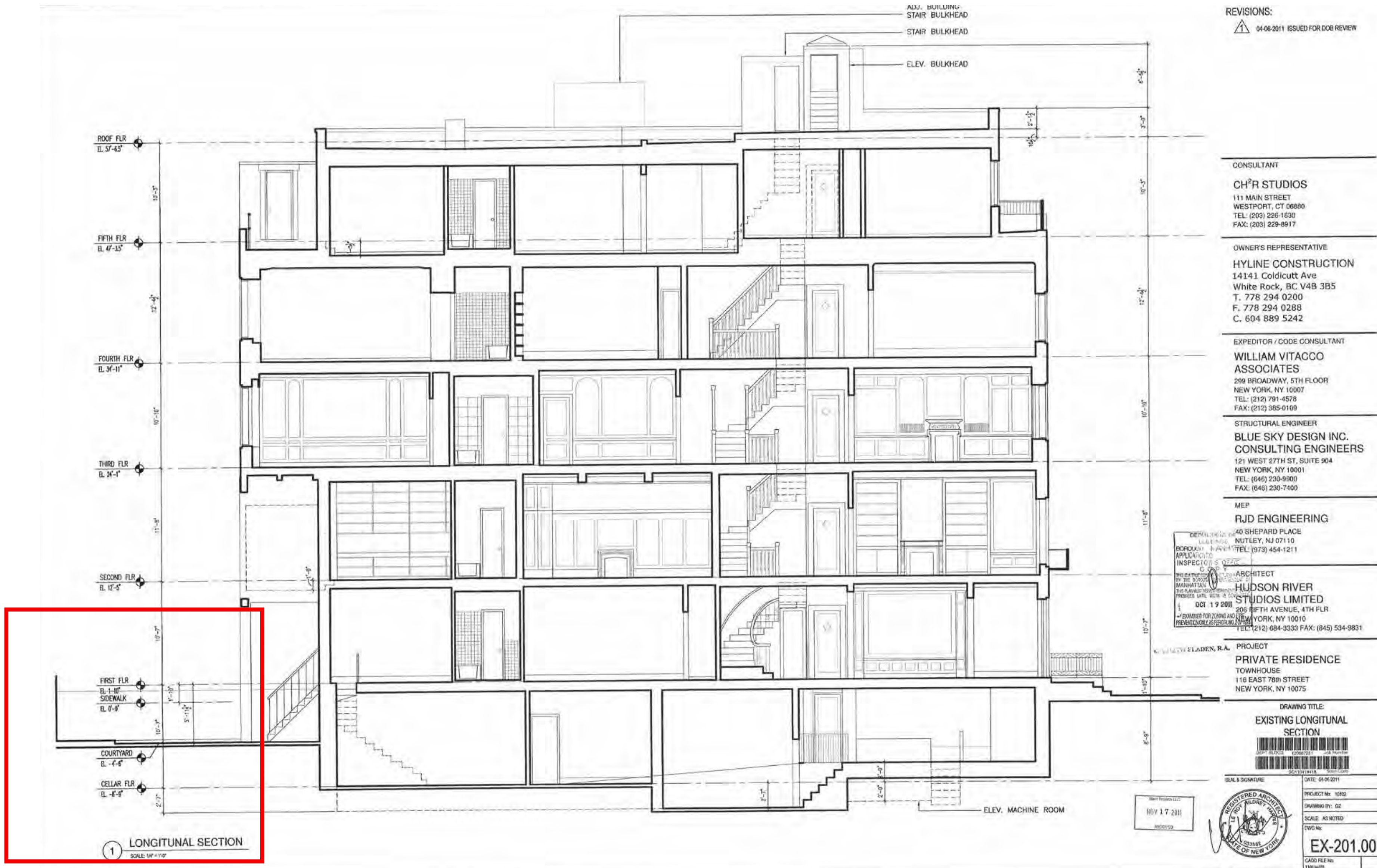
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**Original Building Longitudinal Section
1909-2011**

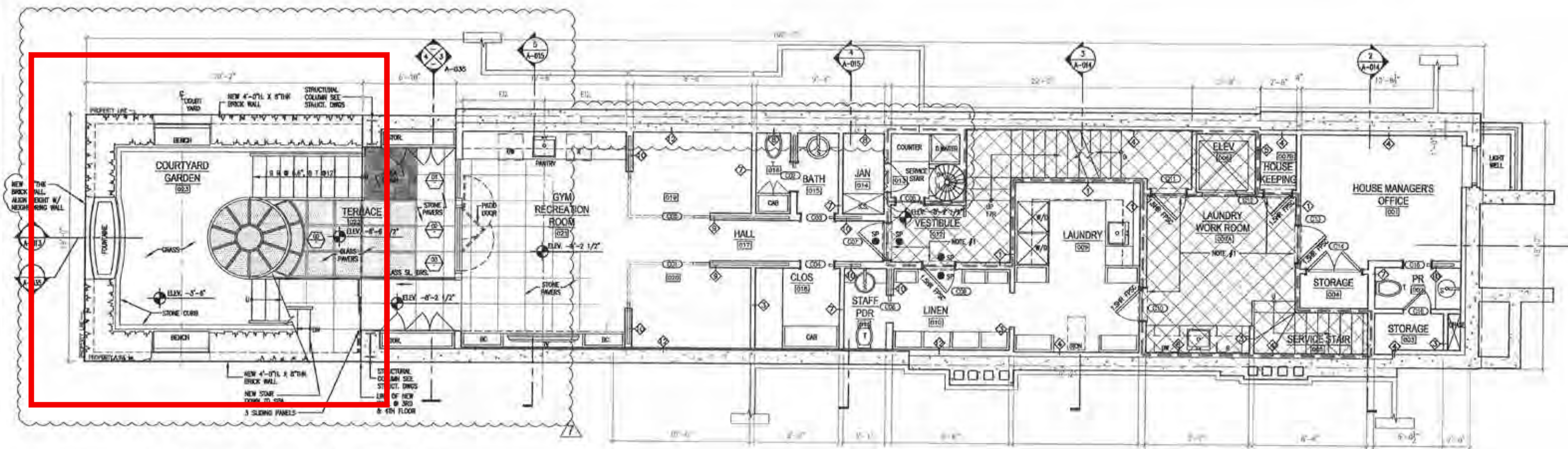
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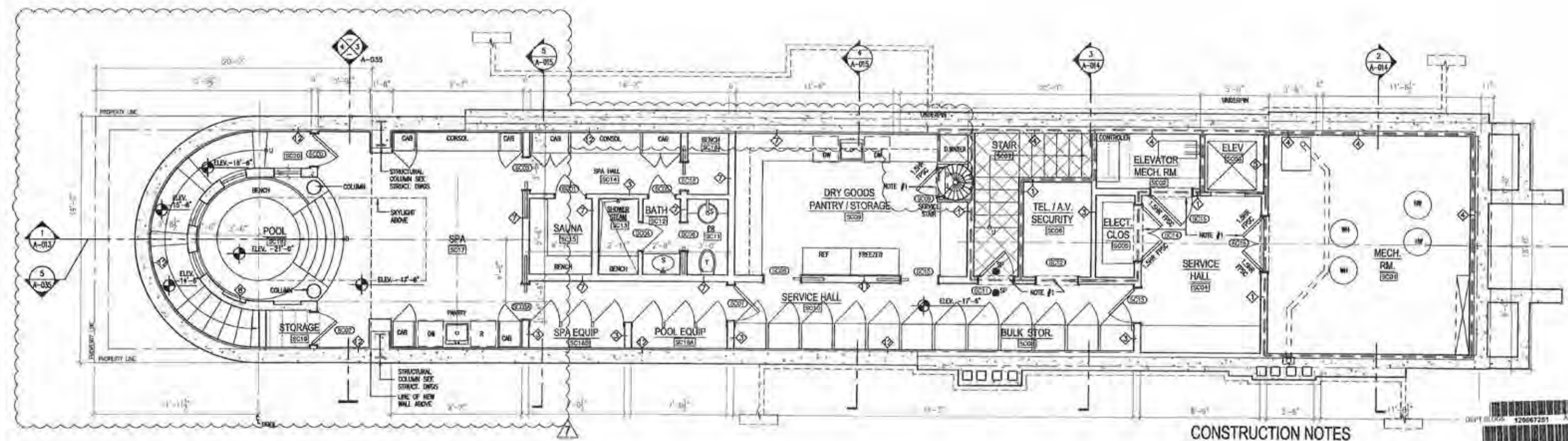
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2 PROPOSED CELLAR FLOOR PLAN
SCALE: 1/8" = 1'-0"
GROSS FLOOR AREA = 1414.59'



1 PROPOSED SUB CELLAR FLOOR PLAN
SCALE: 1/8" = 1'-0"
GROSS FLOOR AREA = 1645.25'

CONSTRUCTION NOTES

- SEE ENGINEERING DRAWINGS FOR ALL STEEL, MECH., PLUMBING, SPRINKLER AND ELECTRICAL DRAWINGS
 - ALL INTERIOR WALL TYPE IS 1 1/2" RATED WALL, TYP. UNLESS OTHERWISE NOTED
 - SEE 1-4 FOR ALL POOR WALL TYPE DETAILS
- Plan Symbols**
- AREA PROTECTED BY SPRINKLER
 - 2 HR RATED WALL
 - OPENING PROTECTIVE SPRINKLER HEAD 12" MIN. WALL ABOVE DOOR

- REVISIONS:**
- 04-06-2011 ISSUED FOR DOB REVIEW
 - 04-19-2011 ARCH. REVISIONS
 - 05-01-2011 ISSUED FOR PRICING
 - 05-15-2011 ISSUED FOR DOB REVIEW
 - 08-03-2011 ISSUED FOR DOB REVIEW
 - 10-07-2011 ISSUED FOR CONTRACT
 - 01-30-2012 AMENDED DOB FILING

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PROJECT
PRIVATE RESIDENCE
 TOWNHOUSE
 116 EAST 78th STREET
 NEW YORK, NY 10075

DRAWING TITLE:
PROPOSED SUB CELLAR & CELLAR FLOOR CONSTRUCTION PLAN

DATE: 04-09-2011
PROJECT No: 10102
DRAWING BY: GZ
SCALE: AS NOTED
DWG No: A-100.01

Project Cellar, Subcellar Floor Plan
2011 Original Approved Project

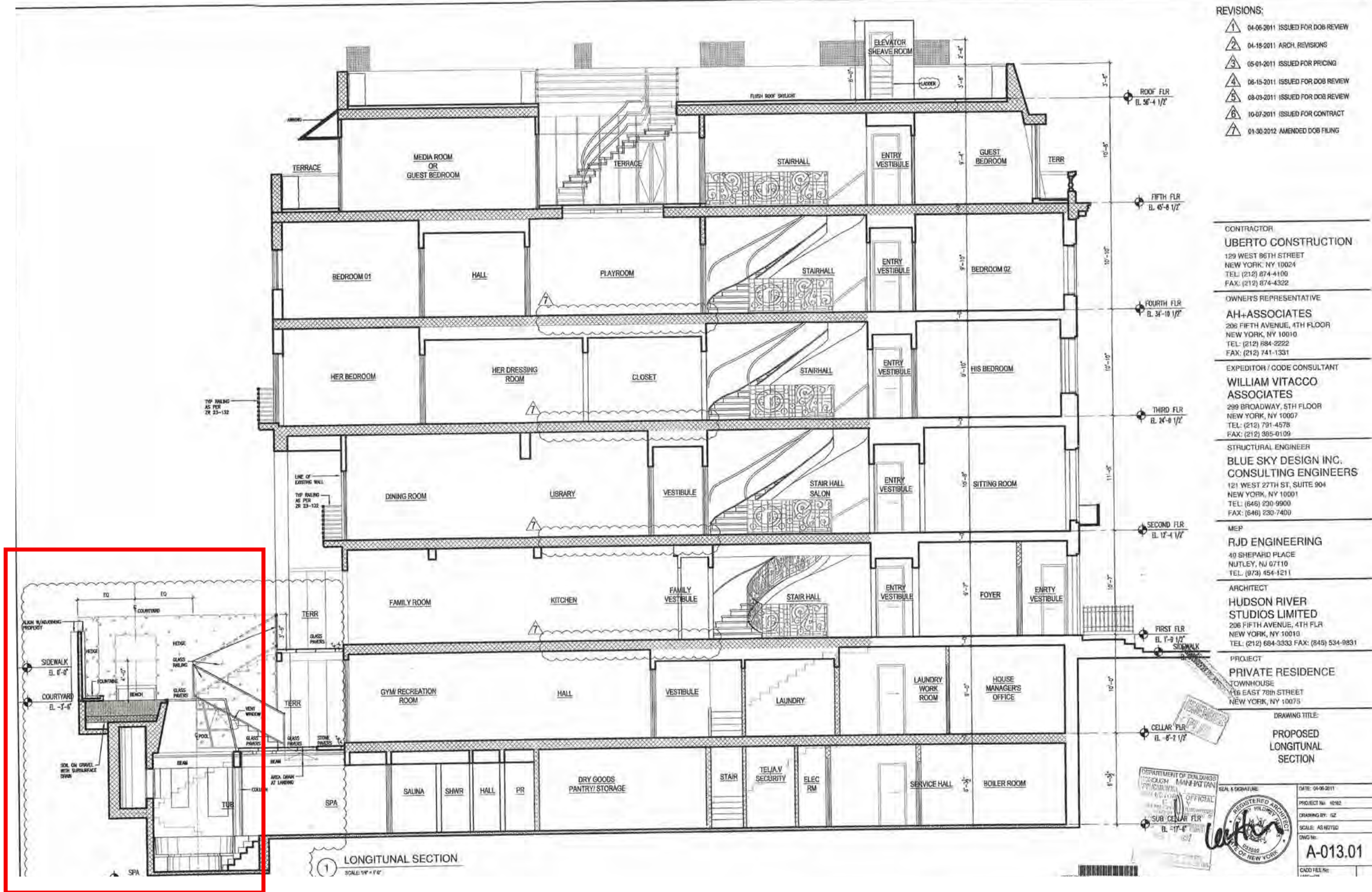
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9/24/2024 LPC Presentation

Original Project

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Longitudinal Section
2011 Original Approved Project

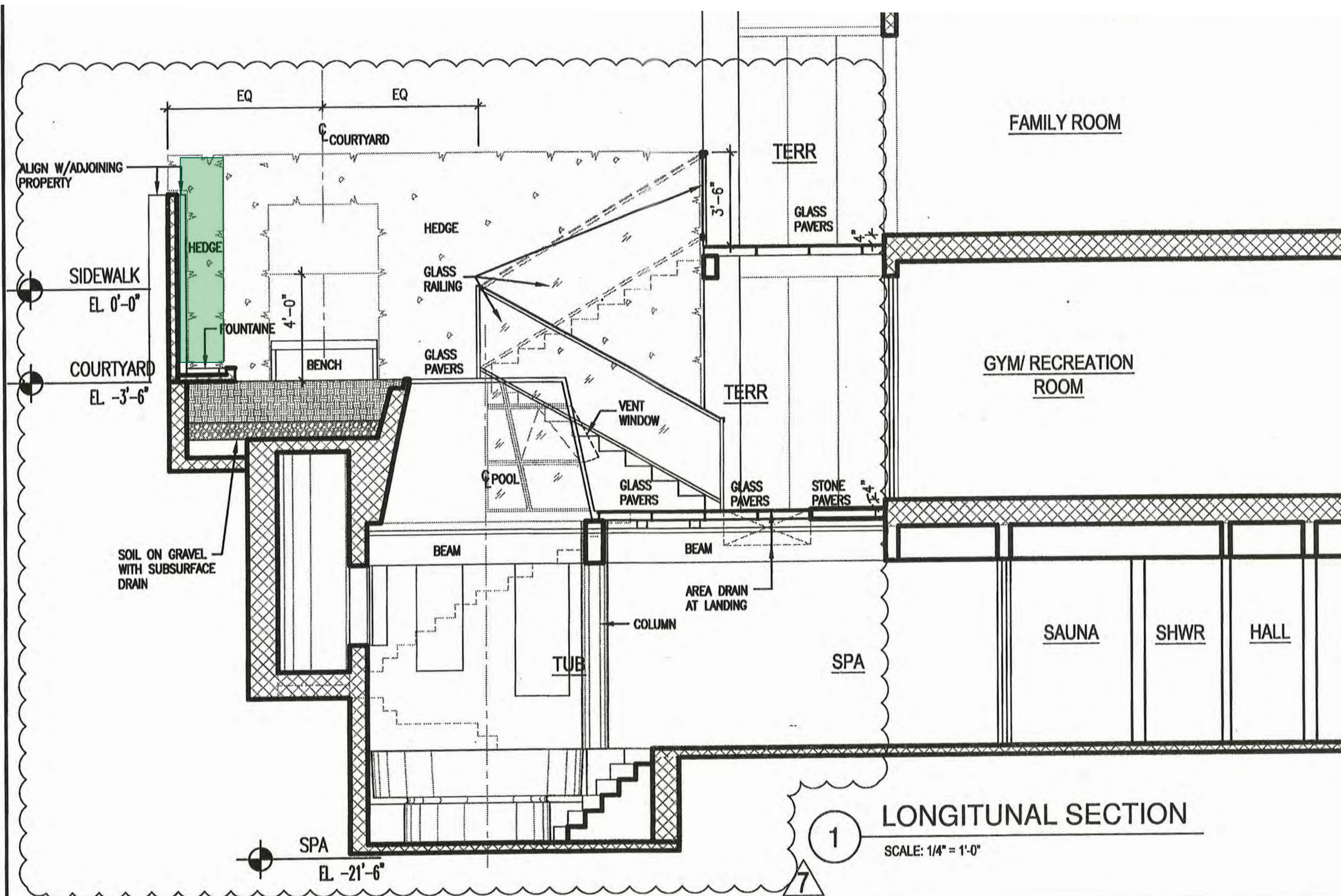
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9/24/2024 LPC Presentation

Original Project

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Detail Section @ Courtyard
2011 Original Approved Project

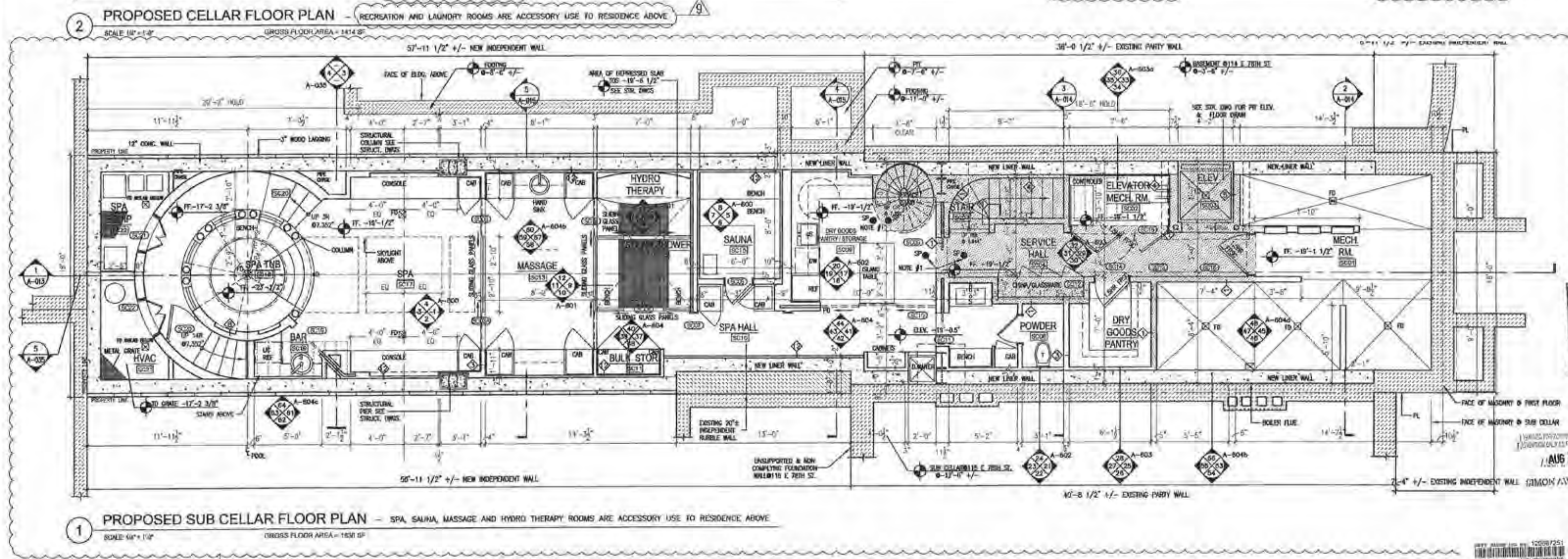
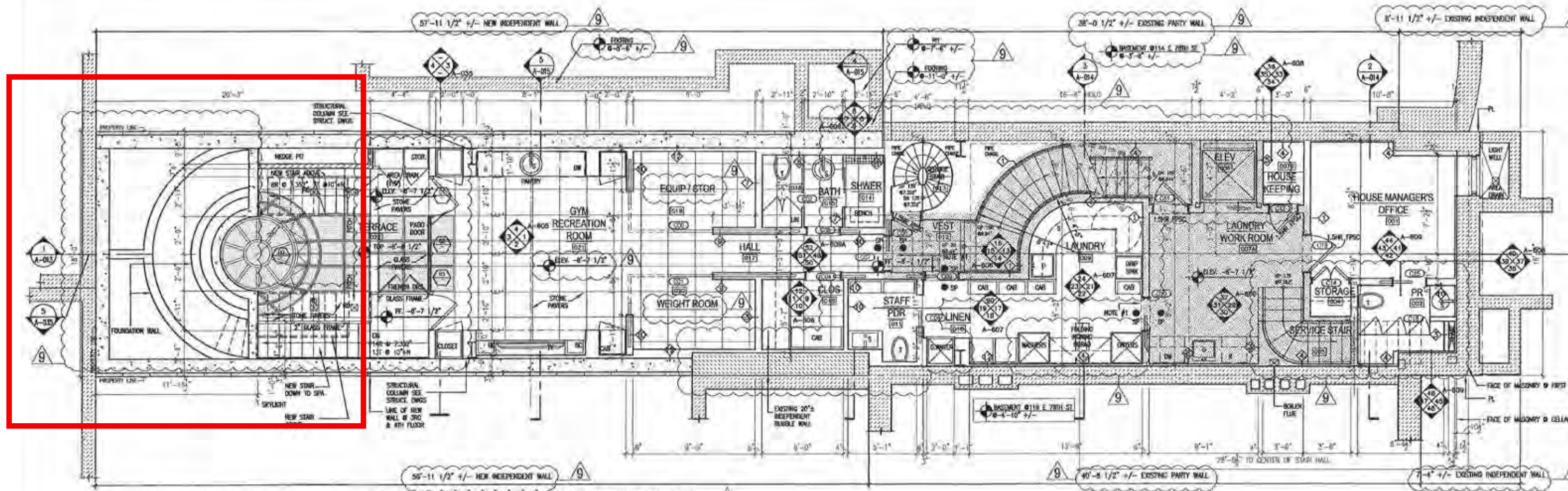
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MATERIAL LEGEND

[Symbol]	EXISTING TO REMAIN	[Symbol]	NEW BRICK VENEER WALL
[Symbol]	EXISTING TO BE REMOVED	[Symbol]	NEW CMU VENEER WALL
[Symbol]	NEW CONCRETE WALL		

CONSTRUCTION NOTES

SEE ENGINEERING DRAWINGS FOR ALL STR. MECH. PLUMBING SPRINGER AND ELECTRICAL DRAWINGS.
ALL INTERIOR WALL TYPE IS 1 1/2" RATED WALL, TYP. UNLESS OTHERWISE NOTED.
SEE 1 1/2" RATED FOR WALL TYPE DETAILS.

Plan Symbols

- [Symbol] AREA PROTECTED BY SPRINKLER AND 3/4" RATED WALL
- [Symbol] 12" MIN. WALL ABOVE DOOR
- [Symbol] OPENING PROTECTIVE SPRINKLER HEAD

- REVISIONS:**
- 04-06-2011 ISSUED FOR DOB REVIEW
 - 04-18-2011 ARCH. REVISIONS
 - 05-01-2011 ISSUED FOR PRICING
 - 05-15-2011 ISSUED FOR DOB REVIEW
 - 05-09-2011 ISSUED FOR DOB REVIEW
 - 10-07-2011 ISSUED FOR CONTRACT
 - 01-30-2012 AMENDED DOB FILING
 - 04-02-2012 REVISIONS
 - 02-17-2015 AMENDED DOB FILING

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PROJECT
PRIVATE RESIDENCE
 TOWNHOUSE
 116 EAST 78th STREET
 NEW YORK, NY 10075

DRAWING TITLE:
 PROPOSED SUB CELLAR & CELLAR FLOOR MILLWORK / FIXTURE CONSTRUCTION PLAN

REGISTERED ARCHITECT
 STATE OF NEW YORK
 AUGUST 2014

SCALE: AS SHOWN
DWG No: A-100.02
DATE: 08/20/24

Approved Cellar, Subcellar Floor Plan
2015 Amendment

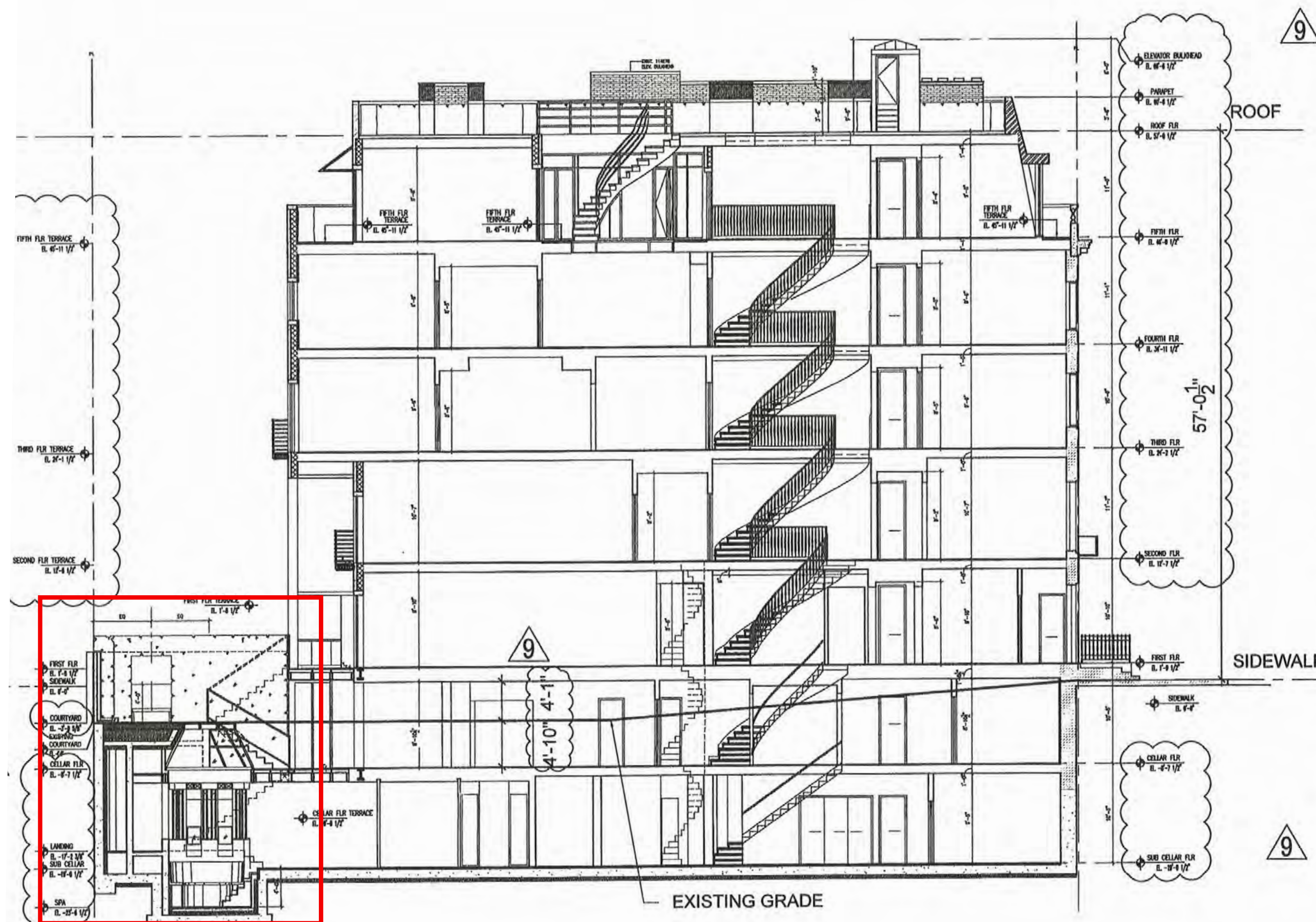
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9/24/2024 LPC Presentation

Expanding the original sub-cellar and subterranean levels below the courtyard

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**Approved Detail Section @ Courtyard
2015 Amendment**

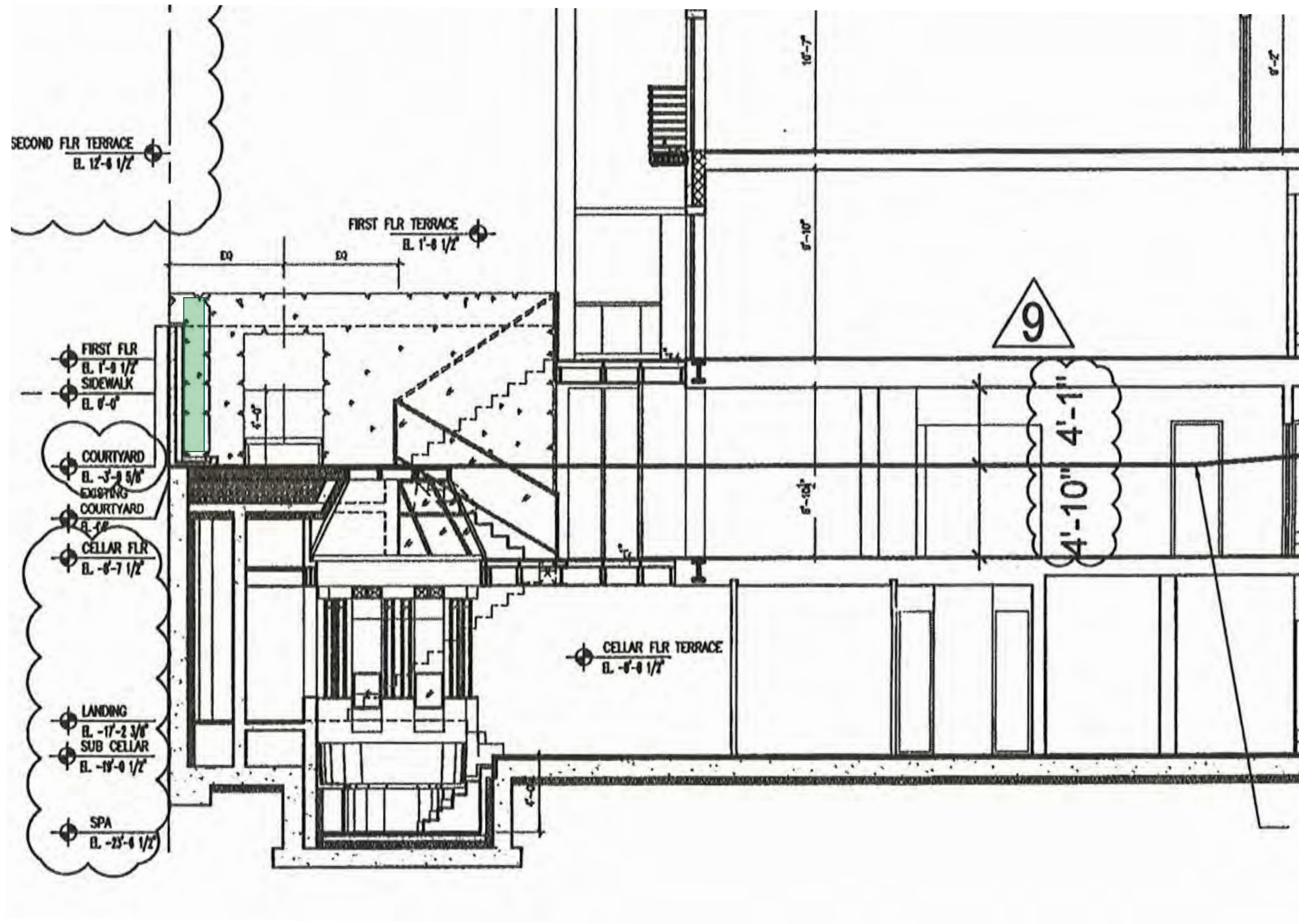
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Approved Detail Section @ Courtyard
2015 Amendment

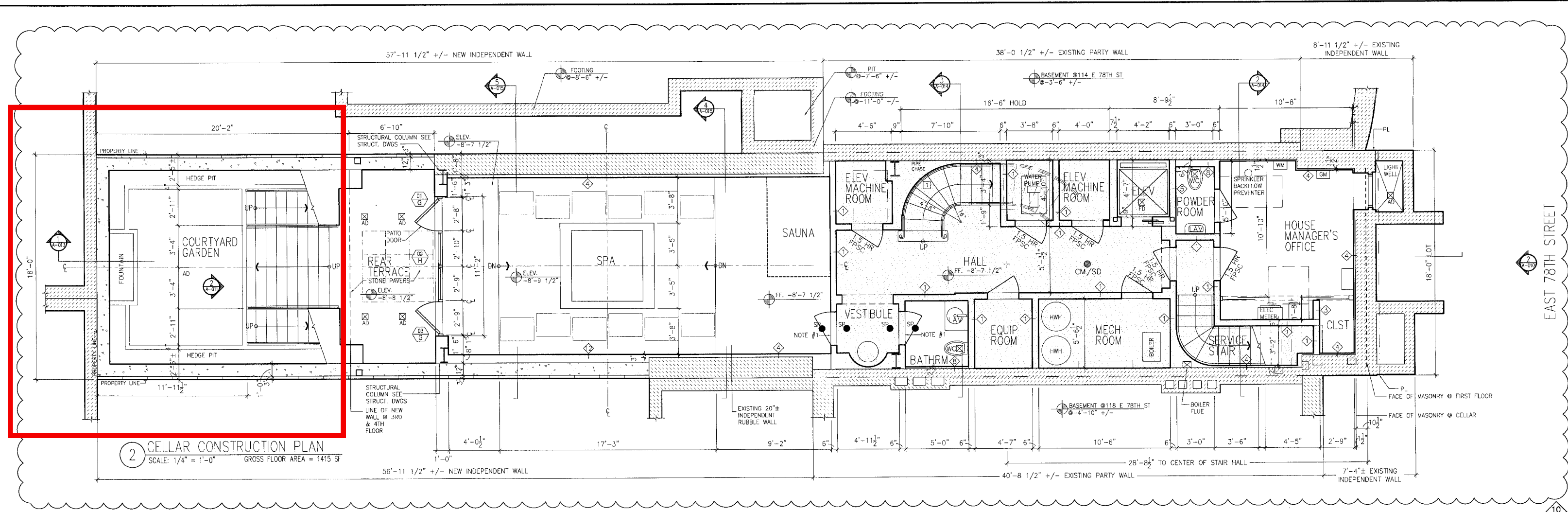
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2 CELLAR CONSTRUCTION PLAN
 SCALE: 1/4" = 1'-0" GROSS FLOOR AREA = 1415 SF

SAUNA/SPA FINISH NOTES

- Gypsum wall board to be water-resistant gypsum board (green board): ASTM C 630, in maximum lengths available; 5/8" thick with tapered edges. Only the factory edge (not a cut edge) of this board is to be placed and a 1/4" gap is to be kept adjacent to locations where water can wick into the gypsum board. Any cut edges of the board are to be treated with a sealer to maintain its water-resistance characteristics.
- Provide auxiliary materials for gypsum drywall or backer board work of the type and grade recommended by the manufacturer.
- A waterproof membrane which bonds to the substrate and to which tile can be bonded, meeting the standards of ANSI A118.10 (as well as being rated and recommended by the manufacturer for the steam room application) should be used. For thin-set applications (TCNA Handbook detail SR014), you will see that a waterproof membrane can be installed on top of, or behind, the cement board. However, some manufacturers require that the waterproof membrane be used on the front and a vapor membrane on the back. This tends to vary according to the manufacturer. A surface application of the waterproof membrane has the advantage that the cement board fasteners do not puncture the membrane. Always refer to the manufacturer's instructions and TCNA guidelines.
- Slope all horizontal surfaces (ceiling, seating, etc) as required
- Flooring should be slip resistance (A or B is best) or anti-slip strips may be added. Because surfaces with texture are harder to clean, darker finishes will look cleaner longer.
- It may also be necessary to insulate the wall cavity due to differential temperatures on both sides of the wall possibly causing condensation. Each manufacturer may specify a different application of the membrane. Always check with the manufacturer's instructions.
- Mechanical Engineer is to provide proper ventilation based upon use, configuration and equipment used.

MATERIAL LEGEND

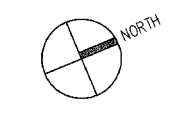
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- NEW CONCRETE WALL
- NEW BRICK VENEER WALL
- NEW CMU VENEER WALL

CONSTRUCTION NOTES

SEE ENGINEERING DRAWINGS FOR ALL STRUCTURAL, MECH., PLUMBING, SPRINKLER AND ELECTRICAL DRAWINGS.
 ALL INTERIOR PARTITION TYPES ARE 1 HR RATED WALL TYPE UNLESS OTHERWISE NOTED, SEE A-001 FOR WALL TYPE DETAILS

PLAN SYMBOLS

- AREA PROTECTED BY SPRINKLER & 2HR RATED PARTITION
- KIDDE COMBINED SMOKE/CARBON MONOXIDE DETECTOR INSTALLED AS PER LL 7200M-HANDWIRED AS PER BC 908.7
- EXHAUST VENT
- DRYER EXHAUST VENT, SEE MECH DWGS
- SP: OPENING PROTECTIVE SPRINKLER HEAD (FILED UNDER SEPARATE APPLICATION)
- NOTE #1: 12" MIN WALL ABOVE OPENING



REVISIONS:

DOB: 06.15.11
 PAAZ: 12.10.16 R10

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 Fax: (646) 530-8315

PROPOSED CELLAR CONSTRUCTION PLAN

PRIVATE RESIDENCE - TOWNHOUSE
 116 EAST 78TH STREET, MANHATTAN, NY

JOB #: A1605-316

SEAL & SIGNATURE

DATE: DEC 10, 2016

APPLICABLE FLOORS:
 CELLAR - ROOF

DWG NO.
A-100.02

NYC DOB NUMBER
 120687251

13 OF 24

Approved Cellar Floor Plan
2017 Amendment

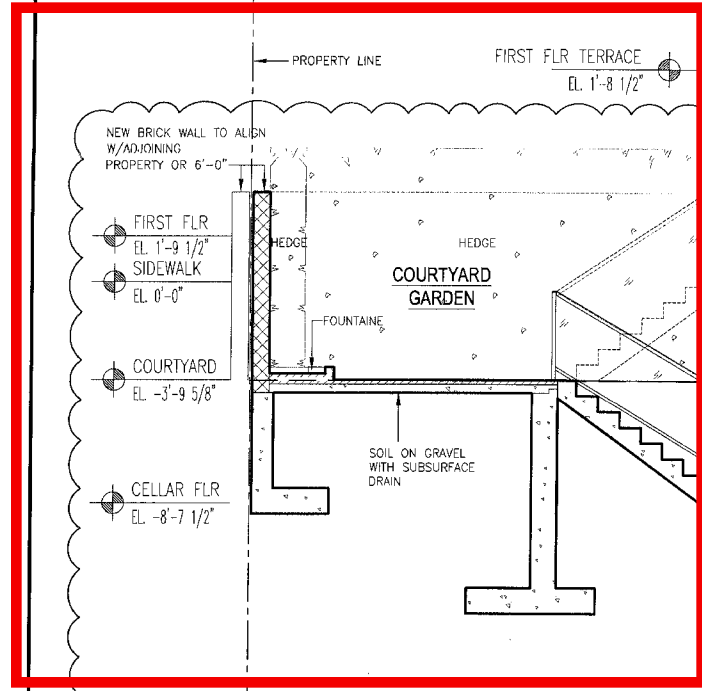
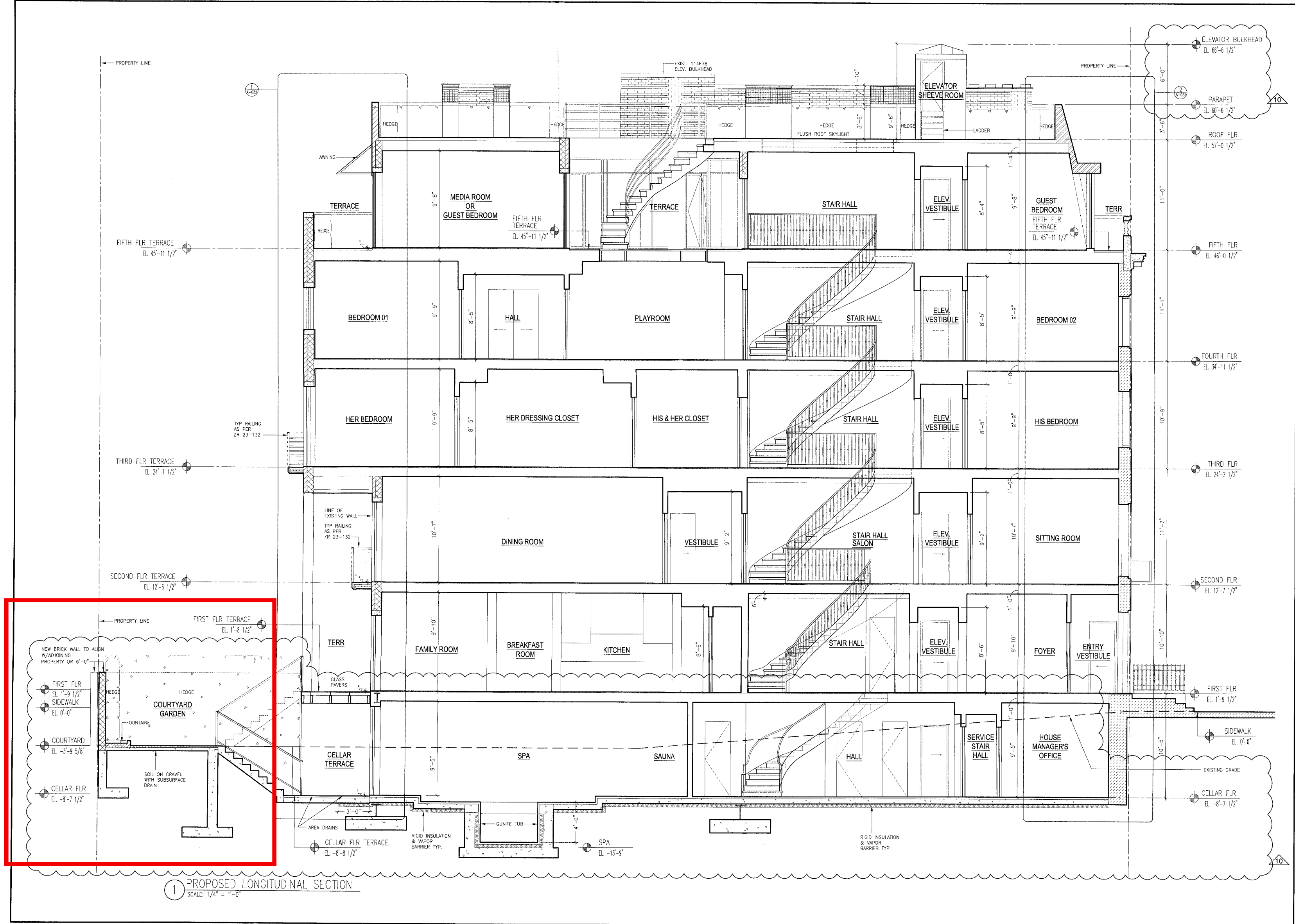
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9/24/2024 LPC Presentation


Removing the original sub-cellar and subterranean levels below the courtyard

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1 PROPOSED LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"

REVISIONS:	
DOB: 06.15.11	PA&Z: 12.10.16 R10
FIELD LINES, LTD 279 E Houston Street New York, NY 10002 Tel: (646) 530-8301 Fax: (646) 530-8315	
PROPOSED LONGITUDINAL SECTION PRIVATE RESIDENCE - TOWNHOUSE 116 EAST 78TH STREET, MANHATTAN, NY	
JOB #: A1605-316	
SEAL & SIGNATURE 	
DATE: DEC 10, 2016	
APPLICABLE FLOORS: CELLAR - ROOF	
DWG NO. A-013.02	
NYC DOB NUMBER 120667251	7 OF 24

**Approved Longitudinal Section
2017 Amendment**

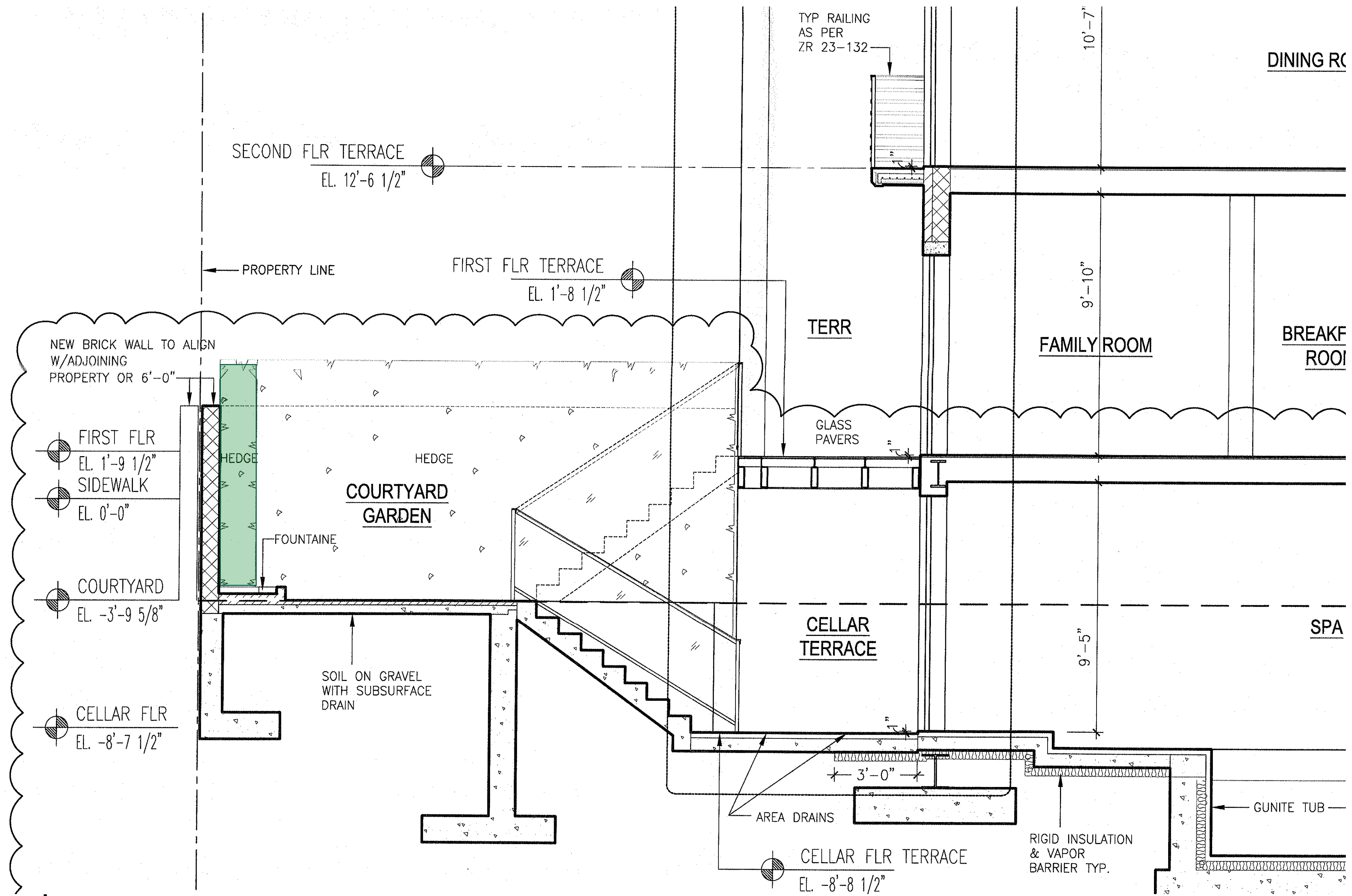
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9/24/2024 LPC Presentation

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**Approved Section @ Courtyard
2017 Amendment**

116 E 78 St
New York, NY 10075

9/24/2024 LPC Presentation

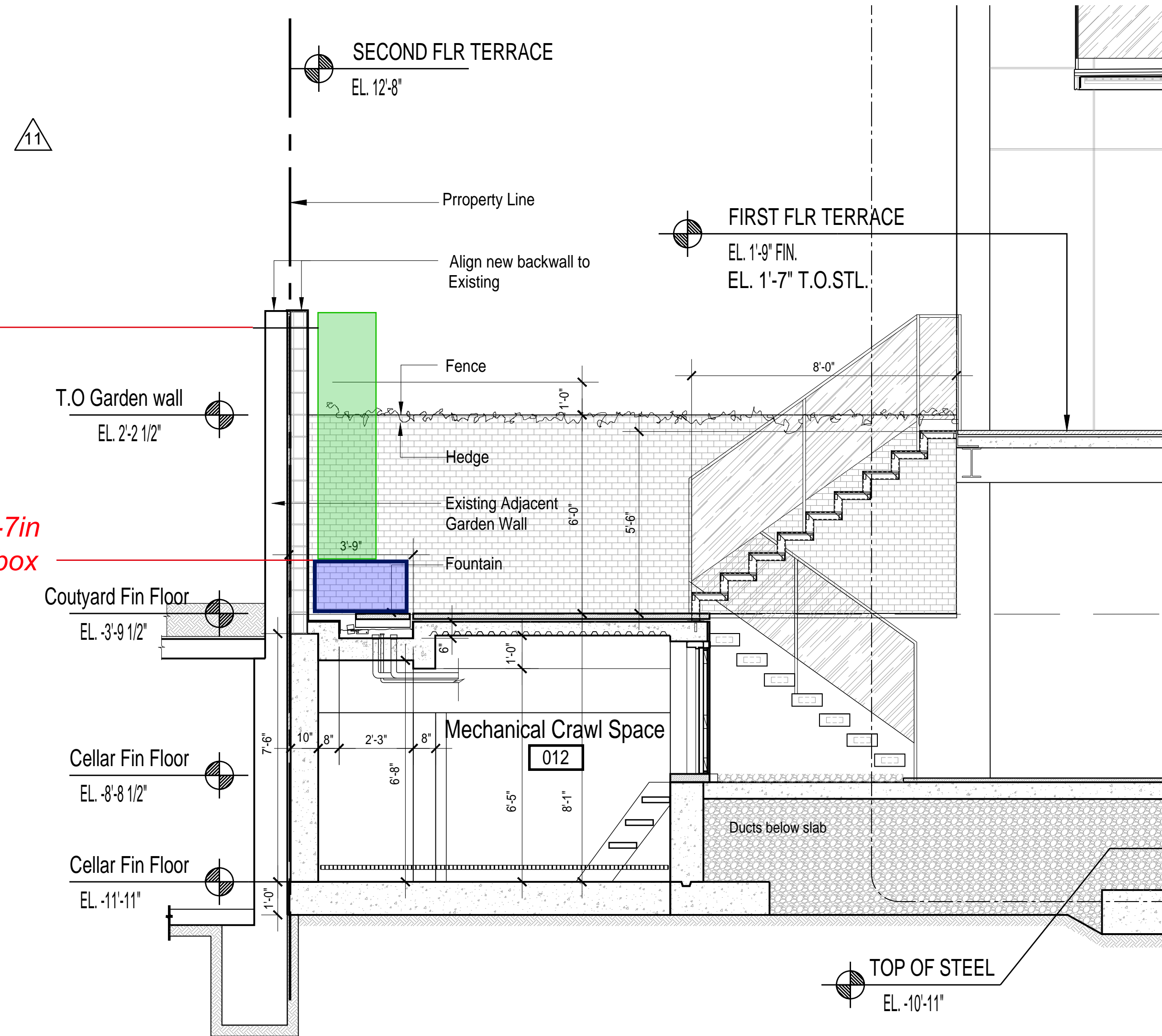
Removing the original sub-cellar and subterranean levels below the courtyard

plainspace
architecture and design dpc

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Hedge

Proposed 3ft deep x 12ft-7in wide x 18in high planter box



Existing configuration and built condition

Optional solution @ Courtyard
2019 As-Built

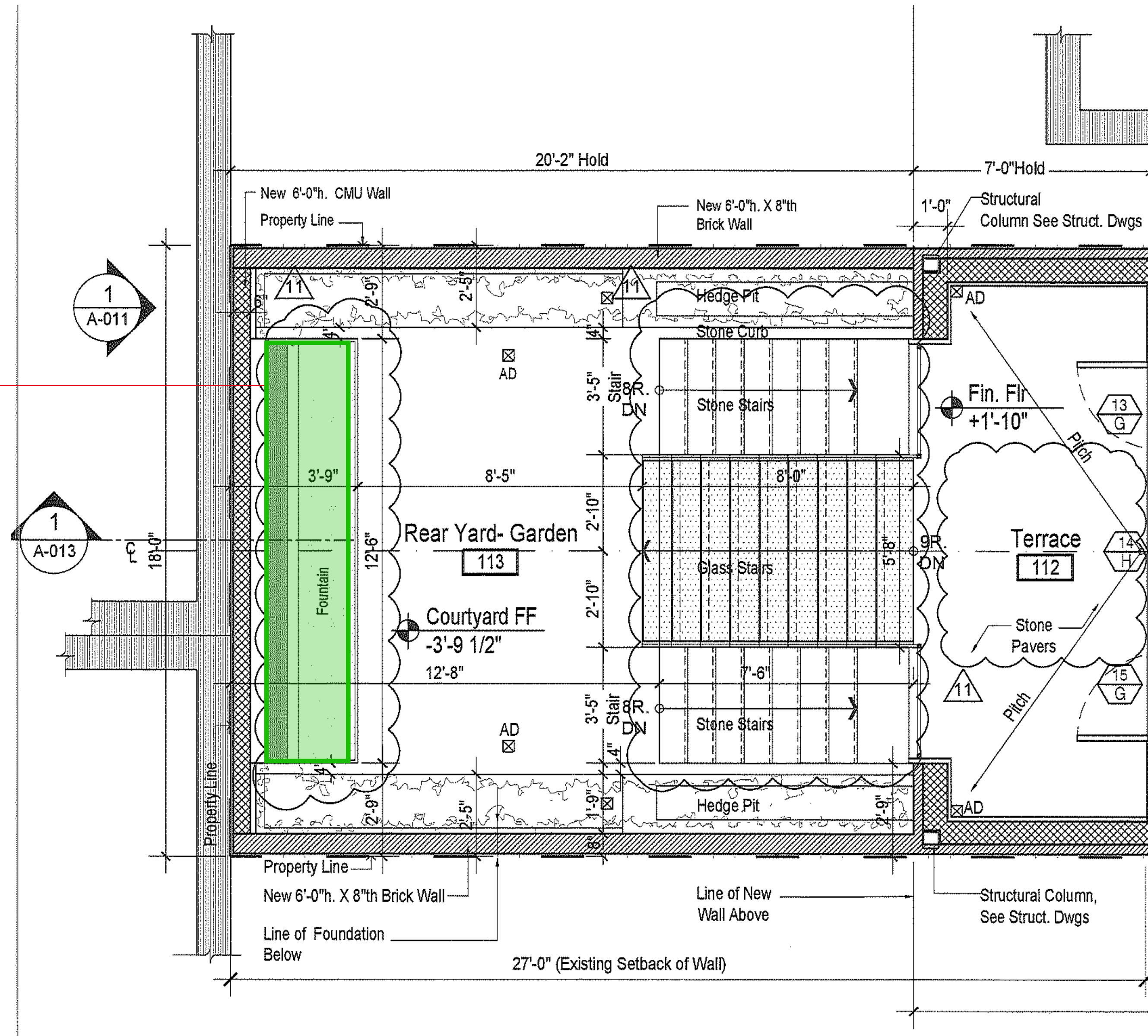
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Hedge & Planter



**Optional solution @ Courtyard
2019 As-Built**

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Existing configuration and built condition

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Landmarks Preservation Commission Presentation

**116 E 78th St Townhouse
New York, NY 10075**

September 16, 2024

Thank you!

116 E 78 St
New York, NY 10075

9/24/2024 LPC Presentation

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architecture and design dpc

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The current proposal is:

Preservation Department – Item 2, LPC-24-11800

116 East 78th Street – Upper East Side Historic District
Borough of Manhattan

To testify virtually, please join Zoom

Webinar ID: 852 4740 5541

Passcode: 410385

By Phone: 646-558-8656 (NY)

877-853-5257 (Toll free) US

888-475-4499 (Toll free)

Note: If you want to testify virtually on an item, join the Zoom webinar at the agenda's "Be Here by" time (about an hour in advance). When the Chair indicates it's time to testify, "raise your hand" via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.